

156 East First Street
New Richmond, WI 54017
Ph 715-246-4268 Fax 715-246-7129
www.newrichmondwi.gov

January 26, 2016

TO ALL PLAN COMMISSION MEMBERS:

Jane Hansen	Ron Volkert
Rachel Greenwold	David Wilford
Kyle Hinrichs	Fred Horne
MaryKay Rice	Sarah Skinner (ex officio)

This is to notify you that there is a Plan Commission meeting scheduled for Tuesday, February 2, 2016 at 5:00 p.m. in the Council Chambers of the Civic Center, 156 East First Street, City of New Richmond, WI.

AGENDA:

- 1. Roll Call**
- 2. Adoption of Agenda**
- 3. Approval of the Minutes of the Previous Meeting, November 19, 2015**
- 4. Site Plan and Stormwater Review from WITC**
- 5. Sign Ordinance Presentation**
- 6. Comprehensive Plan**
- 7. Bike and Pedestrian Master Plan Update**
- 8. Communications and Miscellaneous**
- 9. Adjournment**

**Fred Horne,
Mayor**

cc:

The News	Northwest Cable	City Website
Nick Vivian	Mike Demulling	Bob Meyer
Tom Rickard	Dan Licht	Jim VanderWyst
Mark Samelstad	Beth Thompson	Steve Skinner
Nancy Petersen		

A majority of the members of the New Richmond City Council may be present at the above meeting.

Pursuant to State ex rel. Badke v. Greendale Village Board, 173 Wis. 2d 553, 494 N.W. 2nd 408 (1993) such attendance may be considered a meeting of the City Council and must be noticed as such, although the Council will not take action at this meeting.

If you need a sign language interpreter or other special accommodations, please contact the City Clerk at 246-4268 or Telecommunications Device for the Deaf (TDD) at 243-0453 at least 48 hours prior to the meeting so arrangements can be made.

PLAN COMMISSION MEETING
NOVEMBER 19, 2015 - 5:00 P.M.

Members Present: Fred Horne, Jane Hansen, Rachel Greenwold, Ron Volkert,
David Wilford and Sarah Skinner (ex-officio)

Members Absent: MaryKay Rice and Kyle Hinrichs

Others Present: Beth Thompson, Patty Van Vynckt, Ray Rivard, John and Laura Moore, and
Laurie Diaby

Fred Horne called the meeting to order and roll call was taken.

Jane Hansen moved to adopt the agenda as presented, seconded by Rachel Greenwold and carried.

Jane Hansen moved to approve the minutes of the previous meeting on November 3, 2015, seconded by David Wilford and carried.

Amendments to Ordinance Section

There was considerable discussion regarding a brewery having a food license and what type of food license should be allowed. Laurie Diaby, St. Croix County representative, explained the different levels of licensing: Simple, Moderate, and Complex. John Moore, owner of Barley John's Brewery, explained what he would like to see as a permitted kitchen. Beth Thompson explained the defined food service options to be allowed as accessory to breweries and distilleries within the Z7 District and if it is to be allowed as a permitted or conditional use.

Jane Hansen moved that Section 1. Table 3.g of the Zoning Ordinance (Industrial) be amended to add "Breweries/Distilleries: including tap room/tasting room with kitchen facilities not including grease cooking or handling equipment having a moderate or lesser restaurant license as issued by St. Croix County or catered food service" as a permitted use (A) within the Z7 Districts. Motion was seconded by Fred Horne and carried.

Communications & Miscellaneous

None

Ron Volkert moved to adjourn the meeting, seconded by David Wilford and carried.

Meeting adjourned at 5:40 p.m.

Tanya Reigel
City Clerk



3601 Thurston Avenue N, Suite 100
Anoka, MN 55303
Phone: 763.231.5840
Facsimile: 763.427.0520
TPC@PlanningCo.com

MEMORANDUM

TO: Beth Thompson

FROM: D. Daniel Licht, AICP

DATE: 22 January 2016

RE: New Richmond – WITC Expansion

TPC FILE: 164.02

BACKGROUND

The City has received plans for a proposed 5,300 square foot expansion of the existing principal building at Wisconsin Indianhead Technical College (WITC). The proposed expansion is located on the northeast corner of the existing principal building where there is currently an outdoor patio. The proposed development requires application for site plan review, which is subject to approval by the Plan Commission. The Development Review Committee reviewed the submitted plans at their meeting on 21 December 2015.

Exhibits:

- A. Site Location Map
- B. Boundary and Topographic Survey
- C. Demolition, Removals, & Erosion Control Plan
- D. Grading, Utilities, Surfacing, & Layout Plan
- E. Construction Details (3 sheets)
- F. Planting Plan (2 sheets)
- G. Floor Plans (4 sheets)
- H. Exterior Elevation

ANALYSIS

Comprehensive Plan. The Comprehensive Plan designates the subject site as an institutional use guided to continue in the future. The proposed expansion is consistent with the guided use of the property.

Zoning. The subject site is zoned Z7 District. Technical colleges are allowed in the Z7 District as a permitted use. The proposed expansion of the existing principal building is subject to application for Site Plan Review outlined by Section 121-31 of the Zoning Ordinance and approval of the Plan Commission.

Surrounding Uses. The subject site is surrounded by the existing and planned land uses shown in the table below. The proposed expansion will not affect compatibility of the existing use of the property with surrounding land uses.

Direction	Land Use Plan	Zoning Map	Existing Use
North	Industrial	Z7 District	Industrial
East	Commercial	Z3 District	Elementary school City park Commercial
South	Industrial	Z7 District	Industrial
West	LD residential	Z4 District	City trail Single Family

Building Design. The proposed expansion is one story in height and will have a brick exterior finish consistent with that of the existing principal building. The proposed building materials comply with Section 121-49.G.3 of the Zoning Ordinance.

Landscaping. A landscape plan has been provided to illustrate the site restoration and plantings for the new outdoor patio located east of the proposed building expansion. The landscape plan includes one additional ornamental tree adjacent to the patio and two shade trees in the open area between the existing gravel trail and Knowles Avenue, east of the principal building as required by Table 15 of the Zoning Ordinance for new industrial development. Section 121-55.E.4 of the Zoning Ordinance requires that 20 percent of the required trees be a minimum of 3.5 caliper inches in diameter with the remaining trees being at least 2.5 caliper inches in diameter in accordance with Table 15. One of the proposed shade trees is shown as being 2.5 inches in diameter and the other is 3.5 caliper inches in diameter, in compliance with the requirements of the Zoning Ordinance.

Lot Requirements. Lots within the Z7 District require a minimum width of 80 feet and are limited to 60 percent lot coverage. The lot complies with the minimum lot width requirement being approximately 540 feet wide adjacent to Knowles Avenue. The Lot coverage requirements of the Zoning Ordinance include the total coverage of buildings and impervious surfaces as defined by Section 121-15 of the Zoning Ordinance and Table 10 of the Zoning

Ordinance limits lot coverage to 60 percent within the Z7 District. The grading plan identifies the building coverage on the site as 30.76 percent, which is within the limit established by the Zoning Ordinance for the Z7 District.

Setbacks. The proposed building addition is subject to a 10 foot setback from the north property line and 30 foot setback from the east property line abutting Knowles Avenue in accordance with Table 10 of the Zoning Ordinance. The proposed building is also subject to a 75 foot setback from Paperjack Creek in accordance with Section 109-2555(f) of the City Code. The proposed building expansion does not encroach into any required setback and complies with the Zoning Ordinance.

Off-Street Parking. Table 14 of the Zoning Ordinance requires education uses to provide one off-street parking stall per full-time employees (or equivalent) plus one off-street parking stall per three students. The developer states that the proposed expansion is intended to accommodate existing programs within the building allowing for the same activities within an improved environment; no increases in staff or students are anticipated. As such, there is no requirement to add additional off-street parking stalls to the subject site as part of the expansion project.

Exterior Lighting. The submitted plans identify the extent of exterior lighting to be added to the site as wall mounted fixtures above the exterior doors. These fixtures must have a 90 degree horizontal cutoff as required by Section 121-51.A.1.e of the Zoning Ordinance. Based on the location of the proposed exterior fixtures, it would not be possible for light to be cast from these fixtures onto adjacent properties and public streets and would be in compliance with the Zoning Ordinance. As such, submission of a photometric lighting plan is not to be required.

Grading. The developer has submitted a grading plan and storm water report for the proposed building expansion and patio. The grading plan includes construction of a storm water basin northeast of the principal building above the slope that descends to Paperjack Creek. City staff identified that the discharge pipe from this storm water basin conflicts with existing City utilities adjacent to Knowles Avenue and must be relocated. The "Stormwater Operations and Maintenance Plan" located in Exhibit 7 of the report is to be signed by WITC and can be accepted and kept on file as the Maintenance Plan required by the City's Ordinance. All grading, drainage and erosion control issues are subject to review and approval of the Public Works Director.

Utilities. The proposed building expansion and patio do not impact existing sanitary sewer, water or electric service connections to the building. City staff does suggest that the developer utilize cast iron cleanout covers for the private storm water system to avoid damage from maintenance vehicles, but this is not a requirement. Any utility issues are subject to review and approval of the Public Works Director.

RECOMMENDATION

The proposed expansion of WITC is consistent with the policies of the Comprehensive Plan and complies with the requirements of the Zoning Ordinance. The DRC recommends approval of the application as outlined below.

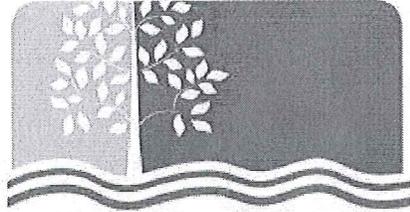
POSSIBLE ACTIONS

- A. Motion to **approve** a site plan for expansion of WITC, subject to the following conditions:
 - 1. All grading, drainage and erosion control issues are subject to review and approval of the Public Works Director.
 - 2. Any utility issues are subject to review and approval of the Public Works Director.

- B. Motion to **deny** the application based on a finding that the request does not comply with the requirements of the Zoning Ordinance.

- C. Motion to **table**.

- c. Mike Darrow, City Administrator
Sarah Skinner, Building Inspector
Jeremiah Wendt, Public Works Director
Tanya Reigel, City Clerk



CITY OF NEW RICHMOND
THE CITY BEAUTIFUL

City of New Richmond
156 East First Street ❖ New Richmond, WI 54017
Phone: (715) 246-4268 ❖ Fax: (715) 246-7129



By: _____

CITY ORDINANCE SECTION 117 & 121
www.newrichmondwi.gov

- SITE PLAN/STORM WATER REVIEW FEE: \$250.00 ESCROW: \$1,500.00
- CONCEPT PLAN FEE: \$150.00 ESCROW: \$1,500.00
- CERTIFIED SURVEY MAP FEE: \$200.00 ESCROW: \$1,500.00
- AMENDED CERTIFIED SURVEY FEE: \$200.00 ESCROW: \$1,500.00

Application fees should be made payable to City of New Richmond upon submittal of completed application. Escrow funds will be drawn to cover project-related costs. Additional funds may be required; surplus funds will be returned.

Please complete the application by typing or printing in ink. Use additional paper if necessary.

1. Property Owner Information:

Company name: Wisconsin Indianhead Technical College

Last name: Decker First name: Steve

Address: 505 Pine Ridge Drive City/State/Zip: Shell Lake, WI 54871

Phone number: 715-468-2815 ext. 2234 Email address: steve.decker@witc.edu

2. Applicant Information: (if different from above)

Company name: LHB

Last name: Phillips First name: Sara

Address: 701 Washington Ave N, Suite 200 City/State/Zip: Minneapolis, MN 55401

Phone number: 612-752-6965 Email address: sara.phillips@lhbcorp.com

3. Address(es) of Property Involved: (if different from above)

1019 South Knowles Ave, New Richmond, WI 54017

4. Zoning Designation: Z7 Special Use District

5. Statement of Intent: Briefly describe what will be done on or with the property: _____
 See attached for this Statement of Intent and the Additional Required Information section below.

6. Additional Required Information:

- a. **Legal Description and PIN:** Provide the Parcel Identification Number(s) and the complete legal description(s) of the property involved.
- b. **Consultant Fees:** Whenever third party consultants are utilized in the preparation of application materials (e.g., a traffic study) or the City's review of an application (e.g., traffic study analysis), the applicant shall be responsible for paying the entirety of those costs.
- c. **Other Information:** In addition to a full size site plan and an 11" x 17" copy, topographic survey, landscape plan, grading and drainage plan, exterior building elevation drawings, and other information may also be required if deemed necessary by City Staff. Please refer to Sec. 121-31 for further information on Site Plans.

7. Signature(s): By signing below, you attest that the information above and attached is true and correct to the best of your knowledge.

Property Owner:  Date: 12/10/2015

Applicant:  Date: 12/10/15

Fee Paid: 250.00 Date: 12/11/15 Receipt # 62090

Escrow Paid: 1500.00 Date: 12/11/15 Receipt # 62090

Zoning change applications must be received by the first Thursday of each month; applications received after this date cannot be heard at the Planning Commission meeting the following month.

Site Plan / Storm Water Review
WITC – New Richmond

5. Statement of Intent:

An approximately 5,300 square foot addition and existing building renovation is proposed for the Wisconsin Indianhead Technical College (WITC) New Richmond facility. The addition, to be located on the northeast side of the existing facility, would be used as an extension to the Learning Resource Center and Student Commons to further enhance the quality of student life. Structural modifications will be required to the existing building to accommodate this addition. A Nursing Simulation Lab will be created in an existing classroom along with additional building renovations to: the Learning Resource Center, Student Life area, Conference Center, Student Life area, Bookstore, and Student Commons.

Site work will include a concrete patio, biofiltration basin, swale (rock and then grassed past the patio), and additional landscaping.

6. Additional Required Information:

PID: 261120995000

Property Description: PT OL 468-ALL SW 1/4 SE 1/4 & E 1/2 SE 1/4 OF SEC 3 T30N R18W LYING E OF R/W CH. ST P M & O RR & S OF S LN OF PARCEL DESC IN V 504/410 & P1945 & P 66 X 480 V 645/294 (PT ST. CROIX PRESS) & EXC PT TO HWY PROJ 1540-03-21

SANITARY ID (S#)	DESCRIPTION	ELEVATION
S1	RM	980.17
NVERT-8" East		964.37
NVERT-8" West(Stub)		964.37
NVERT-8" South		964.47
S2	RM	983.20
NVERT-8" East		962.50
NVERT-8" West		962.60
S3	RM	979.92
NVERT-8" West		961.57
NVERT-8" South		961.57
NVERT-8" North		961.47
S4	RM	984.23
S5	RM	976.74
NVERT-8" South		956.29
NVERT-8" North		956.19
NVERT-8" East		956.29
S6	RM	975.01
NVERT-8" West-abandoned?		964.46
NVERT-10" North		952.41
NVERT-8" South		952.51
S7	RM	971.25
NVERT-8" South		948.75
NVERT-8" North		948.65
NVERT-8" East		971.16
NVERT-8" South		971.26
S8	RM	978.16
NVERT-8" Northeast		971.26
NVERT-8" East		971.16
NVERT-8" South		971.26
S9	RM	978.44
S10	RM	978.0

STORM ID (R#)	DESCRIPTION	ELEVATION
R1	CURB INLET-RM	979.77
NVERT-12" East		976.22
NVERT-15" Northwest		976.12
R2	INLET MANHOLE-RM	978.84
NVERT-15" Southeast		973.84
NVERT-18" South		972.54
NVERT-18" West		972.44
NVERT-30" North		972.34
R3	INLET MANHOLE-RM	978.32
NVERT-30" South		969.57
NVERT-15" West		971.72
NVERT-30" North		969.47
R4	INLET MANHOLE-RM	977.98
NVERT-12" West		973.58
NVERT-15" East		973.55
R5	INLET MANHOLE-RM	977.83
NVERT-12" East		974.03
R6	NVERT-15" CMP	977.58
NVERT-15" CMP		977.40
R8	NVERT-15" CMP	976.71
R9	NVERT-15" CMP	967.63
R10	INLET MANHOLE-RM	977.90
NVERT-12" Easterly		975.05
R11	CURB INLET-RM	976.55
NVERT-12" Westerly		972.55
NVERT-18" South		972.40
R12	INLET MANHOLE-RM	976.56
NVERT-30" South		967.51
NVERT-30" Northeast		967.4
NVERT-30" North-not measurable		NA
R13	CURB INLET-RM	975.77
NVERT-12" East		973.52
R14	CURB INLET-RM	975.31
NVERT-12" West		971.06
NVERT-30" Southwest		966.06
NVERT-30" East		966.98
R15	STORM MANHOLE-RM	973.60
R16	STORM MANHOLE-RM	978.12
NVERT-8" North		975.17
NVERT-8" West		975.14
R17	STORM MANHOLE-RM	976.91
INLET FLOWLINE		975.71
NVERT-8" East		972.31
NVERT-10" Northwest		972.21
NVERT-Bottom		971.01
R18	STORM MANHOLE-RM	977.73
INLET FLOWLINE		975.93
NVERT-10" Northerly		972.08
NVERT-Bottom		971.98
R19	NVERT-10" PVC	969.80
R20	NVERT-10" PVC	969.83
R21	NVERT-8" PVC	971.10
R22	NVERT-24" CMP	966.82
R23	NVERT-24" CMP	963.73
R24	NVERT-8" PVC	965.74
R25	STORM MANHOLE-RM	976.87
NVERT-15" West		971.68
NVERT-18" Northeast		971.67
R26	NVERT-Concrete endwall	968.62
5.5" X 0.4" Wide French Drain		975.12
NVERT		974.72

PROPERTY ZONING:
 I-1 Light Industrial, Authority-City of New Richmond
 (c) Area requirements.
 (1) Maximum building height: 75 feet.
 (2) Minimum side yard: 30 feet.
 (3) Minimum front yard: 30 feet.
 (4) Minimum rear yard: 25 feet.
 (5) Minimum lot width: None.
 (6) Minimum lot area: None.

Elevation Datum- NAVD 1988 derived from St. Croix County HARN Monuments.

FLOOD ZONE DESIGNATION: (From FIRM 55109C0206E Effective Date March 16, 2009)
 The majority of the property is located in Zone X (Area of Minimal Flood Hazard). Areas along Paperjack Creek below Elevation of 967 (NAVD 1988 Datum) are in Zone AE.

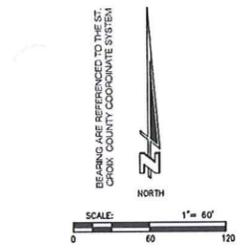
SURVEYOR'S NOTES:

- The boundaries determined hereon are that property originally conveyed in a Warranty Deed in Volume 505 Page 331. Portions of said property were conveyed to St. Croix Press by Warranty Deed in Volume 645 Page 294. Portions of the property were also conveyed to the State of Wisconsin Department of Transportation by Warranty Deed in Volume 1615 Page 313, subject to conveyances for State Trunk Highway 65. Conveyances to the City of New Richmond for Campus Drive were completed in Volume 467 Page 110 and portions released in Volume 504 Page 116. See Number 4. Below for additional information regarding street location and conflicts. This Boundary Survey conforms to the current title boundaries for the property.
- Underground utilities are shown in markings provided through Diggers Hotline, information provided by WITC Campus personnel and field observation of facilities. Actual verification of depths, sizes, and location by excavation may be needed dependent on design requirements for the surveyed site.
- Easements shown are from surveyor's research and may not include all potential easements of record.
- An area of the property is subject to possible rights for City Street as shown hereon. The City of New Richmond acquired the area from New Richmond Development Corporation by Quit Claim Deed in Volume 467 Page 110 and released a portion in Volume 504 Page 116. A portion remained in city ownership, however, concurrent with City of New Richmond Staff indicate this area has not been maintained as a City street. Contact with the City of New Richmond to determine proper procedure for discontinuance/vacation of this area is recommended.

UTILITY CONTACTS:
 Sanitary Sewer:
 New Richmond Utilities
 Dennis Holtz - Wastewater Supervisor
 (715) 246-4167
 Storm Sewer/Streets:
 City of New Richmond
 Dan Koski
 (715) 246-0439
 Water:
 New Richmond Utilities
 Rick Powers - Water Superintendent
 (715) 246-4167
 Gas:
 Xcel Energy
 1-800-893-4999
 Telephone/Fiber Optic:
 Frontier Communications
 (715) 246-2271
 Cable TV:
 Northwest Communications
 (715) 246-2145

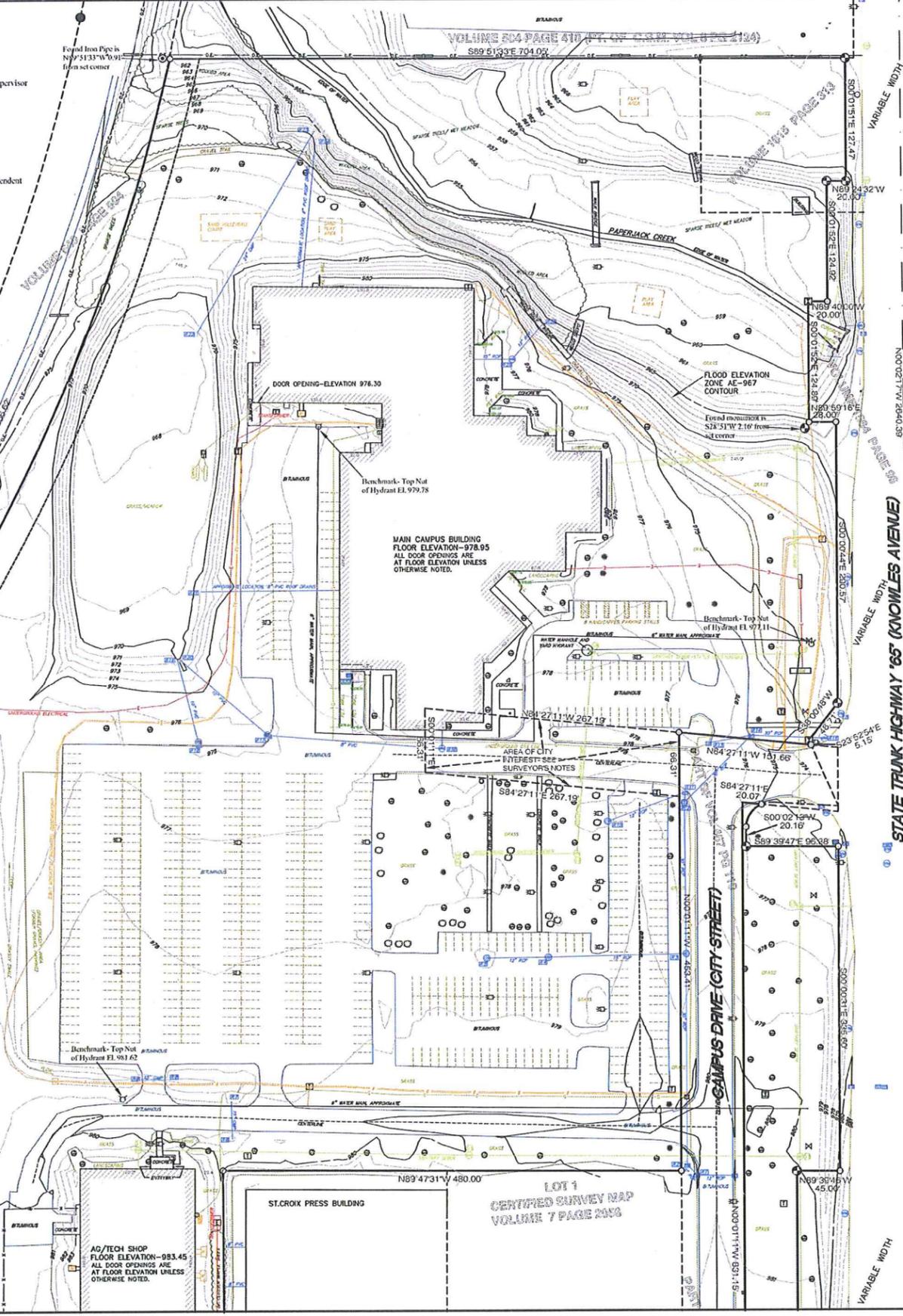
LEGEND

- PROPERTY LINE
- EXISTING SFT CONTOUR
- EXISTING SPOT ELEVATION
- EXISTING BITUMINOUS EDGE
- EXISTING CURB AND GUTTER
- EXISTING CONCRETE EDGE
- EXISTING TREES AND BUSHES
- EXISTING UNDERGROUND FIBER OPTICS LINE
- EXISTING UNDERGROUND GAS LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING UNDERGROUND TELEPHONE LINE
- EXISTING OVERHEAD ELECTRIC LINE
- M EXISTING GATE VALVE
- HYD EXISTING HYDRANT
- SM EXISTING SANITARY MANHOLE
- SRM EXISTING STORM SEWER MANHOLE
- SI EXISTING STORM SEWER INLET
- PP EXISTING POWER POLE
- TE EXISTING TELEPHONE PEDESTAL
- TV EXISTING TELEVISION PEDESTAL
- BM EXISTING BUILDING MACHINERY
- LP EXISTING LIGHT POLE
- GM EXISTING GAS METER
- FD FOUND 2" ALUMINUM DOT MARKING ON 3/4" DIAMETER REBAR SET PER NAL
- FO FOUND 1" OUTSIDE DIAMETER BY 18" LONG IRON PIPE, W/8" HD 1.13 LES PER LVAR FOOT
- FO2 FOUND 2-3/8" OUTSIDE DIAMETER FROM PPE
- FO1 FOUND 1" OUTSIDE DIAMETER FROM PPE
- FO3 FOUND 3/4" DIAMETER REBAR
- FO4 FOUND 1-1/4" OUTSIDE DIAMETER FROM PPE
- (1) RECORDED DISTANCE



I hereby certify that this survey was prepared by me or under my direct supervision, that it is true and correct to the best of my knowledge and belief, and that I am a registered land surveyor under the laws of the State of Wisconsin.

Ty R. Dodge, RLS #2484 Date
 S&N Land Surveying/ Auth Consulting/associates
 2920 Enloe Street Suite 101
 Hudson, WI 54016
 (715) 386-2007



Legend
 architects LLC
 15954 Rivers Edge Drive
 Suite 204
 Hayward, WI 54843
 (715) 934-2770
 www.legendarch.com

A.C/a
 S&N Land Surveying
 Auth Consulting/associates

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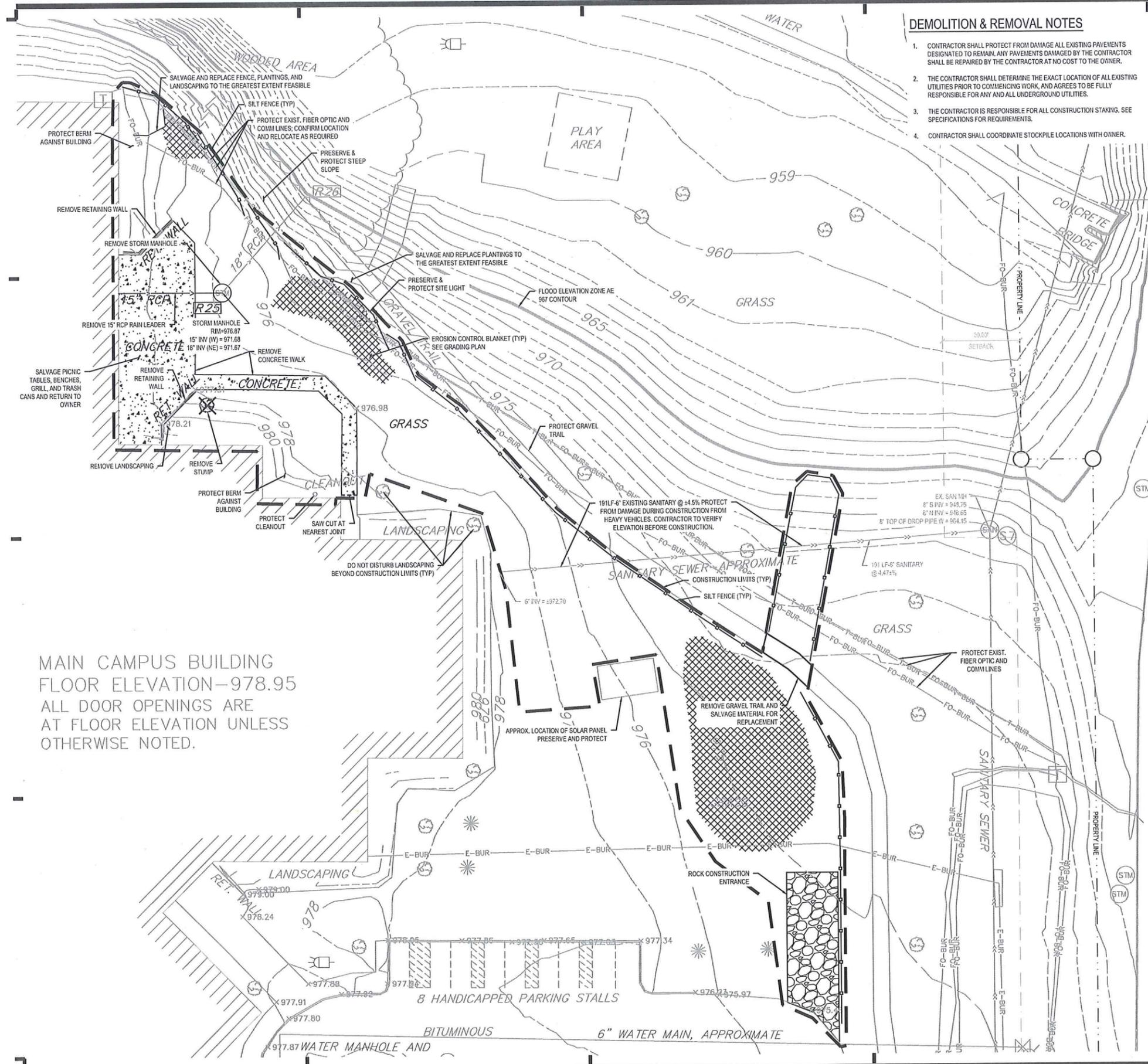
Revisions		
No.	Description	Date

WITC New Richmond Campus
Boundary and Topographic Survey
 Pt. of Sec. 3-30-18 City of New Richmond, Wisconsin

Job Number	6904-01
Date	06-26-09
Drawn By	TRD
Checked By	TRD

Boundary & Topo
 1 of 4

Exhibit C



DEMOLITION & REMOVAL NOTES

- 1. CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING PAVEMENTS DESIGNATED TO REMAIN...
2. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES...
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION STAKING...
4. CONTRACTOR SHALL COORDINATE STOCKPILE LOCATIONS WITH OWNER.

EROSION CONTROL NOTES

- 1. CONTRACTOR SHALL MAINTAIN AN INSPECTION AND MAINTENANCE PROGRAM FOR ALL EROSION CONTROL MEASURES...
2. CONSTRUCT OR INSTALL EROSION CONTROL MEASURES BEFORE LAND DISTURBING ACTIVITIES BEGIN...
3. PROVIDE ADDITIONAL ON-SITE PROTECTION, IN ADDITION TO THAT SHOWN...
4. MAINTAIN TEMPORARY EROSION CONTROL DEVICES UNTIL PERMANENT FACILITIES ARE CONSTRUCTED...

CONTRACTOR PARKING & STAGING

- 1. CONTRACTORS SHALL PARK IN THE STAFF PARKING & DELIVERIES LOT LOCATED ON THE WEST SIDE OF THE BUILDING...
2. LONG-TERM STOCKPILING AND STORAGE SHALL BE LOCATED ON THE WEST SIDE OF THE STUDENT PARKING LOT...
3. SHORT-TERM STOCKPILING AND STORAGE SHALL BE LOCATED ON THE PROPOSED CONSTRUCTION SITE...

FLOOD ZONE DESIGNATION

(FROM FIRM S510902006E EFFECTIVE DATE MARCH 16, 2009) THE MAJORITY OF THE PROPERTY IS LOCATED IN ZONE X (AREA OF MINIMAL FLOOD HAZARD)...

LEGEND

- SILT FENCE OR BIO-LOG, SEE 2/C3.00
ROCK CONSTRUCTION ENTRANCE, SEE 1/C3.00
CONSTRUCTION LIMITS
EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR
CONCRETE REMOVAL
CLASS I TYPE A EROSION CONTROL BLANKET, SEE 3/C3.00
REMOVE TREE OR STUMP
SAWCUT
PROPERTY LINE
30' SETBACK
SANITARY SEWER
FIBER OPTIC LINE
TELEPHONE LINE
ELECTRIC LINE

MAIN CAMPUS BUILDING FLOOR ELEVATION-978.95 ALL DOOR OPENINGS ARE AT FLOOR ELEVATION UNLESS OTHERWISE NOTED.

DIGGERS HOTLINE
Call 3 Work Days Before You Dig!
TOLL FREE 1-800-242-8511
MILW. AREA (414) 259-1181
TDD 1-800-542-2289

LHB PERFORMANCE DRIVEN DESIGN. LHBcorp.com
701 Washington Ave. N, Ste 200 | Minneapolis, MN 55401 | 612.338.2029

WITC WISCONSIN INDIANHEAD TECHNICAL COLLEGE

CLIENT: WISCONSIN INDIANHEAD TECHNICAL COLLEGE

505 PINE RIDGE DRIVE SHELL LAKE, WI 54871

Table with 3 columns: NO, DATE, REVISION. Includes a note: THIS SQUARE APPEARS 1/2" x 1/2" ON FULL SIZE SHEETS.

PRELIMINARY NOT FOR CONSTRUCTION 1/7/16

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PROJECT NAME: WITC NEW RICHMOND CAMPUS - 2016 RENOVATION & ADDITION

1019 SOUTH KNOWLES AVE NEW RICHMOND, WI 54017

DRAWING TITLE: DEMOLITION, REMOVALS, & EROSION CONTROL PLAN

FILE: ..150495600 Drawings\150495 C1.00 Demo & Erosion Control.dwg
DRAWN BY: MRH
CHECKED BY: DGS
PROJ. NO: 150495
DRAWING NO:

C1.00

Exhibit E

CLIENT:
WISCONSIN INDIANHEAD TECHNICAL COLLEGE

505 PINE RIDGE DRIVE
 SHELL LAKE, WI 54871

THIS SQUARE APPEARS 1/2" x 1/2" ON FULL SIZE SHEETS.

NO	DATE	ISSUED FOR
2	1/7/16	95% REVIEW
1	12/4/15	60% REVIEW
NO	DATE	ISSUED FOR

NO	DATE	REVISION

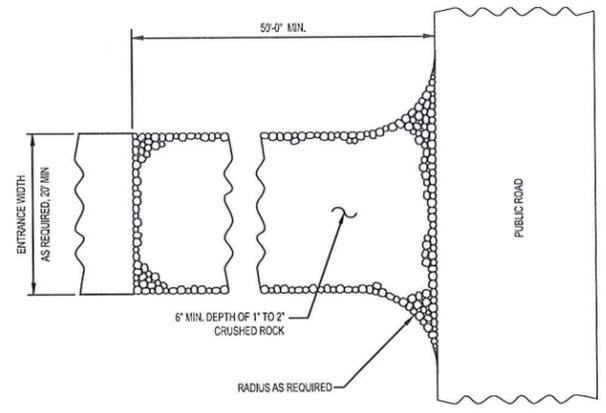
PRELIMINARY NOT FOR CONSTRUCTION
 1/7/16

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 PROJECT NAME:
WITC NEW RICHMOND CAMPUS - 2016 RENOVATION & ADDITION
 1019 SOUTH KNOWLES AVE
 NEW RICHMOND, WI 54017

DRAWING TITLE:
CONSTRUCTION DETAILS

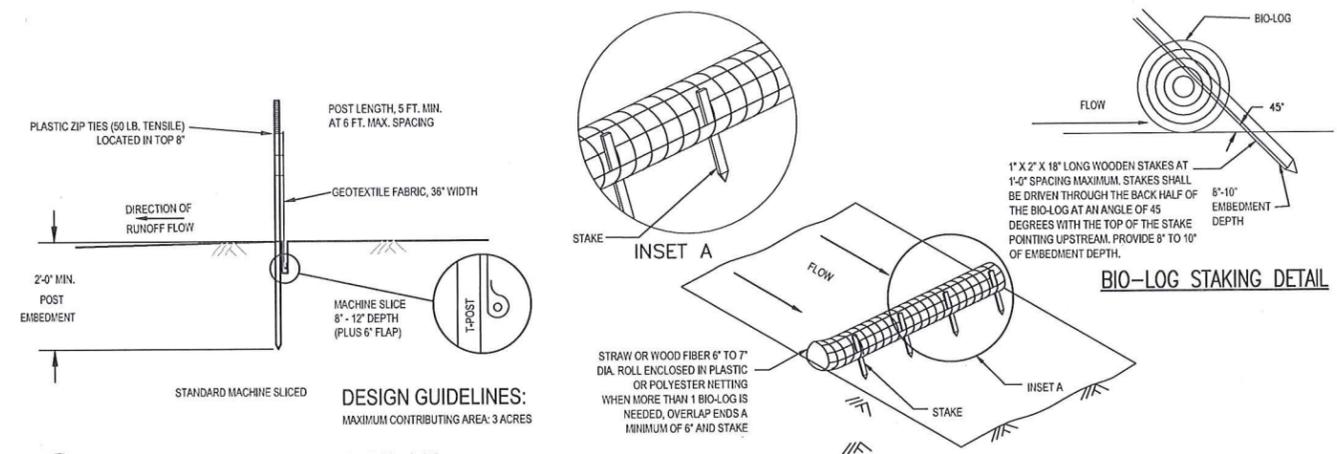
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C3.00

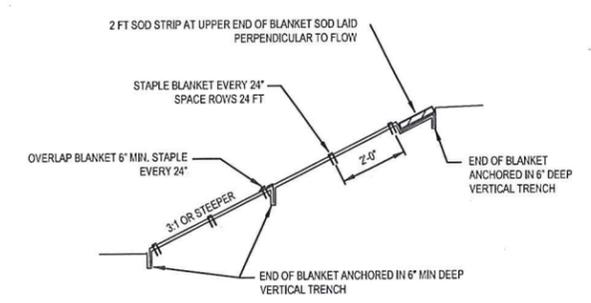


- CONSTRUCTION ENTRANCE SPECIFICATIONS**
- STONE SIZE: USE 1'-2" CRUSHED ROCK OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - THICKNESS: NOT LESS THAN 6-INCHES.
 - FILTER CLOTH: SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
 - WASHING: WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN EVENT.

1 ROCK CONSTRUCTION ENTRANCE
 NOT TO SCALE



2 SILT FENCE MACHINE SLICED OR BIO-LOG
 NOT TO SCALE



NOTE: EROSION CONTROL BLANKET ON 3:1 SLOPES OR STEEPER AND SWALES WITH LONGITUDINAL SLOPES OF 2.0% OR GREATER

3 EROSION CONTROL BLANKET
 NOT TO SCALE

THIS SQUARE APPEARS 1/2" x 1/2" ON FULL SIZE SHEETS.

NO	DATE	ISSUED FOR
2	1/7/16	95% REVIEW
1	12/4/15	60% REVIEW
NO	DATE	REVISION

PRELIMINARY NOT FOR CONSTRUCTION 1/7/16

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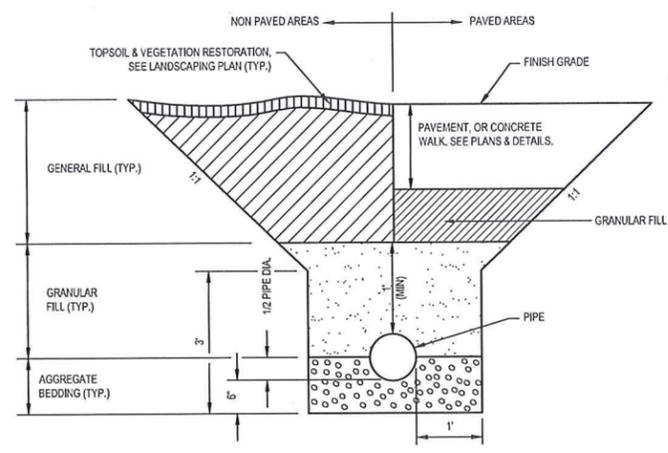
PROJECT NAME:
WITC NEW RICHMOND CAMPUS - 2016 RENOVATION & ADDITION

1019 SOUTH KNOWLES AVE
 NEW RICHMOND, WI 54017

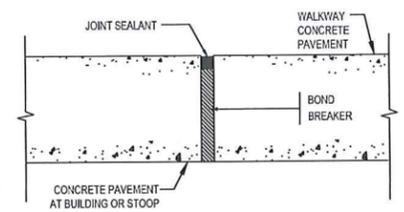
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CONSTRUCTION DETAILS

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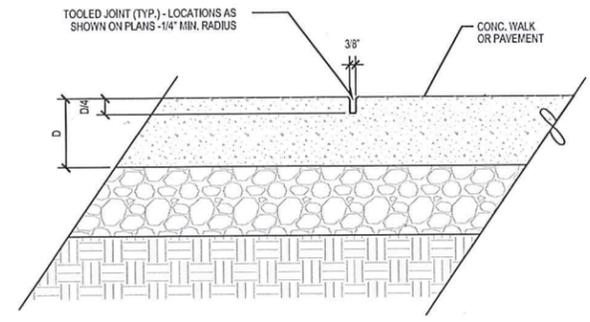
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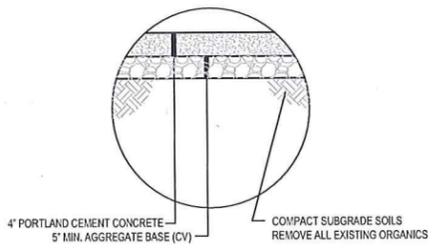
1 SOIL TRENCH - ALL SEWER PIPE
 NOT TO SCALE



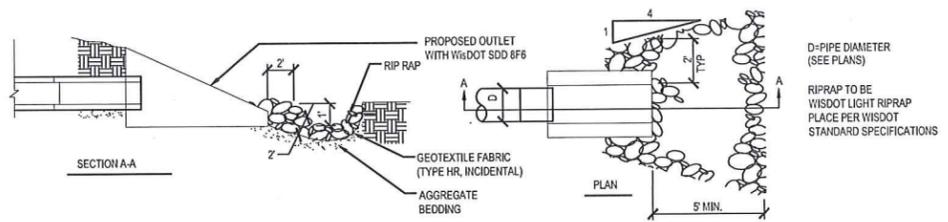
2 TYPICAL CONCRETE EXPANSION JOINT
 NOT TO SCALE



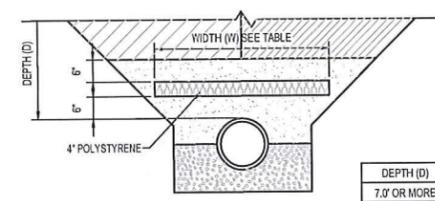
3 TYPICAL CONCRETE CONTROL JOINT
 NOT TO SCALE



**4 4\"/>
 NOT TO SCALE**



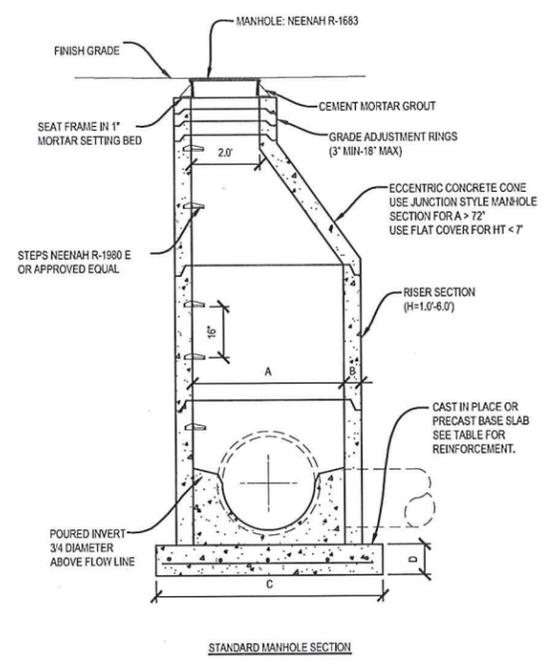
5 RIPRAP AT OUTLETS
 NOT TO SCALE



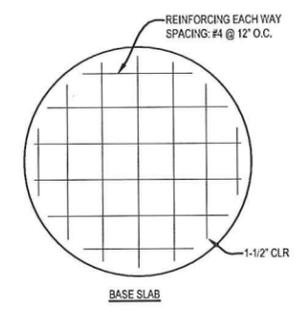
NOTES:
 1. REFER TO UTILITY TRENCH SECTIONS, SOIL OR ROCK, FOR TRENCHING AND BACKFILL REQUIREMENTS.
 2. LAYERING OF 2\"/>

DEPTH (D)	WIDTH (W)
7.0' OR MORE	NONE
4.5' TO 6.9'	5 FEET
4.0' TO 4.4'	6 FEET
3.5' TO 3.9'	7 FEET
3.0' TO 3.4'	8 FEET
2.5' TO 2.9'	9 FEET
0' TO 2.4'	10 FEET

7 PIPE INSULATION
 NOT TO SCALE



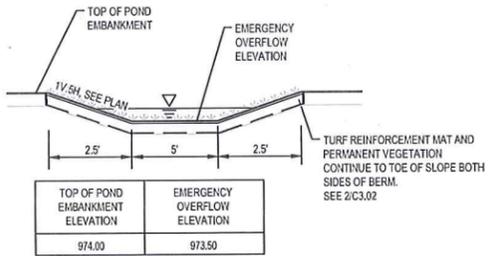
6 PRECAST MANHOLE
 NOT TO SCALE



8 CLEANOUT
 NOT TO SCALE

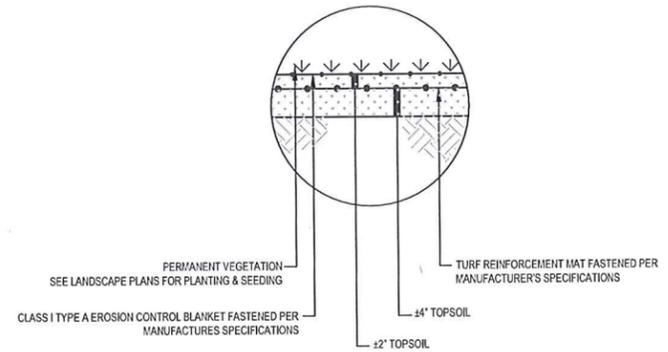
GENERAL NOTES:
 MANHOLES SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM C478.
 PIPE OPENINGS SHALL BE OVERSIZED FOR PLACEMENT AND FIELD GROUTED TO PLAN INVERT ELEVATIONS.
 PRECAST SECTIONS TO BE SEALED WITH A RUBBER GASKET JOINT.
 ALL CONCRETE SECTIONS DESIGNED FOR AASHTO HS20 LOADING.
 STEPS TO BE PLACED AT A MAXIMUM 16\"/>

A	B	C	D
48"	5'	64"	6'

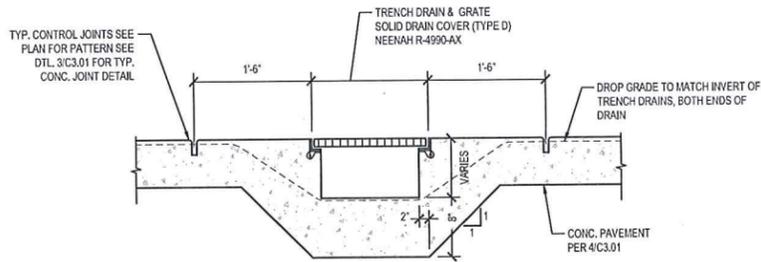


1 OVERFLOW SPILLWAY WITH TURF REINFORCEMENT MAT
NOT TO SCALE

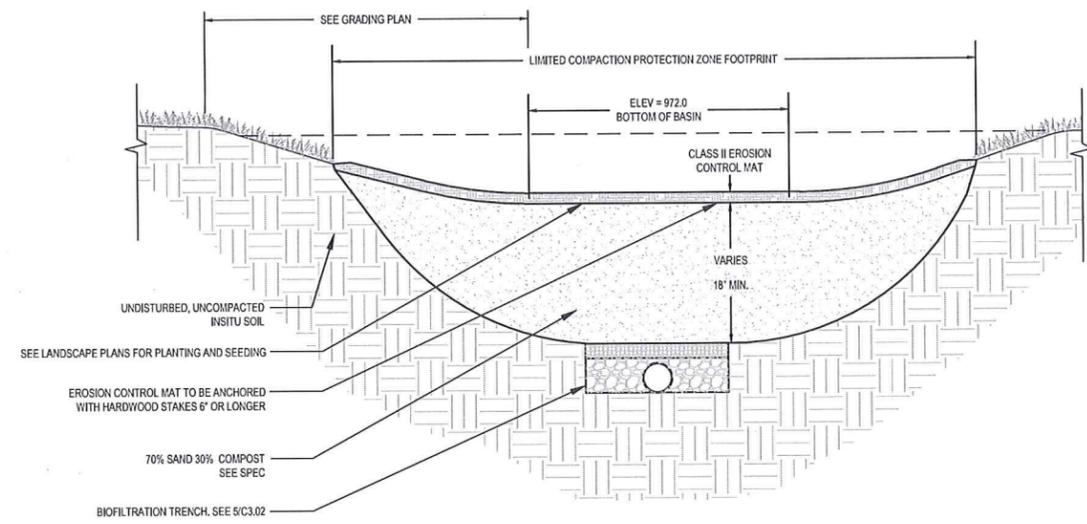
TOP OF POND EMBANKMENT ELEVATION	EMERGENCY OVERFLOW ELEVATION
974.00	973.50



2 TURF REINFORCEMENT MAT
NOT TO SCALE



3 TRENCH DRAIN
NOT TO SCALE



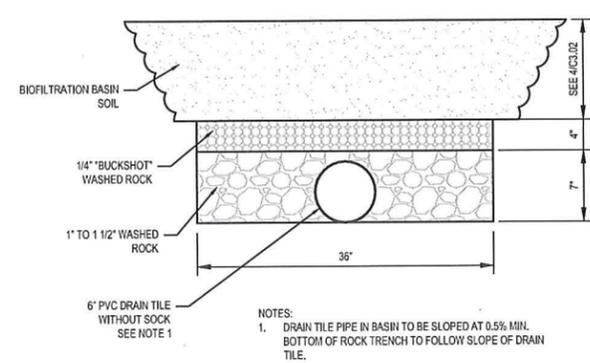
4 BIOFILTRATION BMP SECTION
NOT TO SCALE

CONSTRUCTION SEQUENCING

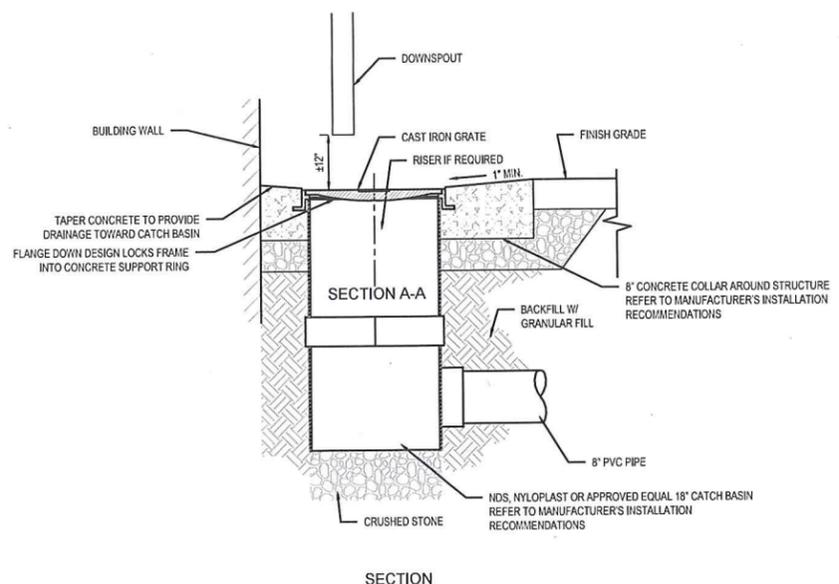
1. INSTALL SILT FENCE AND/OR OTHER APPROPRIATE TEMPORARY EROSION CONTROL DEVICES TO PREVENT SEDIMENT FROM LEAVING OR ENTERING THE PRACTICE DURING CONSTRUCTION.
2. ALL DOWN-GRADIENT PERIMETER SEDIMENT CONTROL BMP'S MUST BE IN PLACE BEFORE ANY UP GRADIENT LAND DISTURBING ACTIVITY BEGINS.
3. PERFORM CONTINUOUS INSPECTIONS OF EROSION CONTROL PRACTICES.
4. INSTALL UTILITIES (WATER, SANITARY SEWER, ELECTRIC, PHONE, FIBER OPTIC, ETC) PRIOR TO SETTING FINAL GRADE OF BIOFILTRATION BASIN.
5. ROUGH GRADE THE SITE. IF FILTRATION AREAS ARE BEING USED AS TEMPORARY SEDIMENT BASINS, LEAVE A MINIMUM OF 3 FEET OF COVER OVER THE PRACTICE TO PROTECT THE UNDERLYING SOILS FROM CLOGGING.
6. PERFORM ALL OTHER SITE IMPROVEMENTS.
7. SEED AND MULCH ALL AREAS AFTER DISTURBANCE.
8. CONSTRUCT BIOFILTRATION POND FOLLOWING STABILIZATION OF CONTRIBUTING DRAINAGE AREA.
9. IMPLEMENT TEMPORARY AND PERMANENT EROSION CONTROL PRACTICES.
10. PLANT AND MULCH BIOFILTRATION POND.
11. REMOVE TEMPORARY EROSION CONTROL DEVICES AFTER THE CONTRIBUTING DRAINAGE AREA IS ADEQUATELY VEGETATED.

GENERAL NOTES

1. LOOSEN OR TILL THE SUBSOIL OF THE SUBGRADE TO A DEPTH OF 2 TO 3 INCHES, OR AS REQUIRED, WITH A BACKHOE OR OTHER SUITABLE DEVICE. LOOSEN THE SOIL USING A BACKHOE BY DIGGING INTO THE SUBGRADE SOIL AND LIFTING THEN DROPPING THE SOIL IN PLACE. DO NOT OVERWORK THE SOIL OR BREAK UP THE LARGE CLUMPS IN THE SOIL. DO NOT ALLOW THE LOOSENED SOIL TO BECOME RE-COMPACTED BY OTHER WORK.
2. IN THE EVENT THAT SEDIMENT IS INTRODUCED INTO THE BMP DURING OR IMMEDIATELY FOLLOWING EXCAVATION, THIS MATERIAL SHALL BE REMOVED FROM THE PRACTICE PRIOR TO CONTINUING CONSTRUCTION.
3. GRADING OF BIOFILTRATION POND SHALL BE ACCOMPLISHED USING LOW-COMPACTION EARTH-MOVING EQUIPMENT TO PREVENT COMPACTION OF UNDERLYING SOILS.



5 BIOFILTRATION TRENCH
NOT TO SCALE



6 ROOF DRAIN CATCH BASIN
NOT TO SCALE

THIS SQUARE APPEARS 1/2" x 1/2" ON FULL SIZE SHEETS.

NO	DATE	ISSUED FOR
2	1/7/16	95% REVIEW
1	12/4/15	60% REVIEW
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**PRELIMINARY
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1/7/16**

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PROJECT NAME:
**WITC NEW RICHMOND
CAMPUS - 2016 RENOVATION
& ADDITION**
1019 SOUTH KNOWLES AVE
NEW RICHMOND, WI 54017
DRAWING TITLE:
CONSTRUCTION DETAILS

Exhibit F

CLIENT:
WISCONSIN INDIANHEAD TECHNICAL COLLEGE

505 PINE RIDGE DRIVE
 SHELL LAKE, WI 54871

THIS SQUARE APPEARS 1/2" x 1/2" ON FULL SIZE SHEETS.

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PROJECT NAME:
WITC NEW RICHMOND CAMPUS - 2016 RENOVATION & ADDITION

1019 SOUTH KNOWLES AVE
 NEW RICHMOND, WI 54017

DRAWING TITLE:
PLANTING PLAN

FILE: ...150495600 Drawings\LA150495 L1.0 Planting Plan.dwg
 DRAWN BY: EJC
 CHECKED BY: HSB
 PROJ. NO: 150495
 DRAWING NO.

L1.0

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	
	AN	1	Acer rubrum 'Northwood' / Northwood Maple	2-1/2" B&B	
	GI	1	Gleditsia triacanthos inermis 'Skycole' TM / Skyline Honeylocust	3 1/2" B&B	
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	SPACING
	MOL	21	Molinia caerulea 'Variegata' / Variegated Purple Moor Grass	#1 CONT	24" o.c.
	SPI	7	Spiraea japonica 'Magic Carpet' / Magic Carpet Spirea	#2 CONT.	24" o.c.
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SPACING
	MS2	263 sf	Mulch xx Shredded Hardwood / Mulch - Shredded Hardwood	None	
	RR	147 sf	Rip Rap 4-6" / Fieldstone to match existing	None	
	RM	10 sf	Rock Mulch / Mulch - Match type to WITC standard	None	
	WP	2,896 sf	Shooting Star Native Seed Wet Prairie Mix	10 lb/ac	
	TS	19,257 sf	Turf Seed / Scotts 80% Blue 20% Rye	None	
			12-24" Dia. Landscape Boulder - Refer to 7/L5.01		
			Steel Landscape Edging, Refer to Specification 32 9300		

GENERAL LANDSCAPE NOTES:

- THIS DRAWING DOES NOT CONSTITUTE AN OFFICIAL SURVEY OF THE SITE. CONFIRM ALL LOCATIONS OF SURFACE AND SUB-SURFACE FEATURES BEFORE BEGINNING INSTALLATION. ADVISE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- CONFIRM ALL QUANTITIES, SHAPES AND LOCATIONS OF BEDS, AND ADJUST AS REQUIRED TO CONFORM TO THE SITE CONDITIONS. CONFIRM ANY ADJUSTMENTS WITH THE LANDSCAPE ARCHITECT.
- LOCATE ALL UTILITIES. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS WITH PLANT INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MULCHES AND PLANTING SOIL. QUANTITIES TO COMPLETE THE WORK SHOWN ON THE PLAN. VERIFY ALL QUANTITIES SHOWN ON THE PLANT SCHEDULE.
- THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL SOD/TURF WHICH HAS BEEN REMOVED FOR NEW PLANT BEDS. LONG-TERM STORAGE OF MATERIALS OR SUPPLIES ON-SITE WILL NOT BE ALLOWED. ANY PLANT STOCK NOT PLANTED ON DAY OF DELIVERY SHALL BE HELED IN AND WATERED UNTIL INSTALLATION. PLANTS NOT MAINTAINED IN THIS MANNER WILL BE REJECTED.
- THE PLAN TAKES PRECEDENCE OVER THE PLANT SCHEDULE IF DISCREPANCIES EXIST. ADVISE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.

PROTECTIONS

- THE CONTRACTOR SHALL AVOID DAMAGING EXISTING TREES. DO NOT STORE OR DRIVE HEAVY MATERIALS OVER TREE ROOTS. DO NOT DAMAGE TREE BARK OR BRANCHES.
- THE CONTRACTOR SHALL KEEP PAVEMENTS, FIXTURES AND BUILDINGS CLEAN AND UNSTAINED. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. THE PROJECT SITE SHALL BE KEPT CLEAR OF CONSTRUCTION WASTES AND DEBRIS.
- SOD OR SEED ALL AREAS DISTURBED BY CONSTRUCTION.

PLANT MATERIAL

- NO SUBSTITUTIONS OF PLANT MATERIAL SHALL BE ACCEPTED UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED UNSATISFACTORY.
- ALL PLANTS SHALL BE GUARANTEED FOR TWO COMPLETE GROWING SEASONS (APRIL 1-NOVEMBER 1 OF FOLLOWING YEAR), UNLESS OTHERWISE SPECIFIED. THE GUARANTEE SHALL COVER THE FULL COST OF REPLACEMENT INCLUDING LABOR AND PLANTS.

OTHER MATERIAL

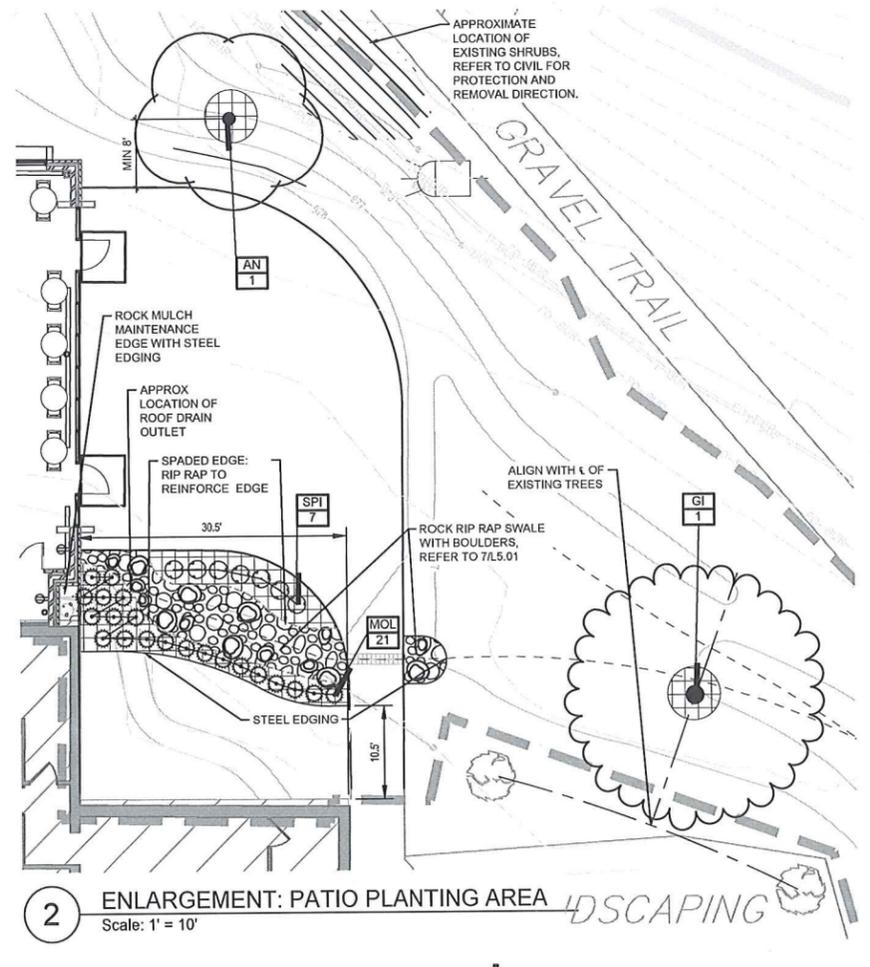
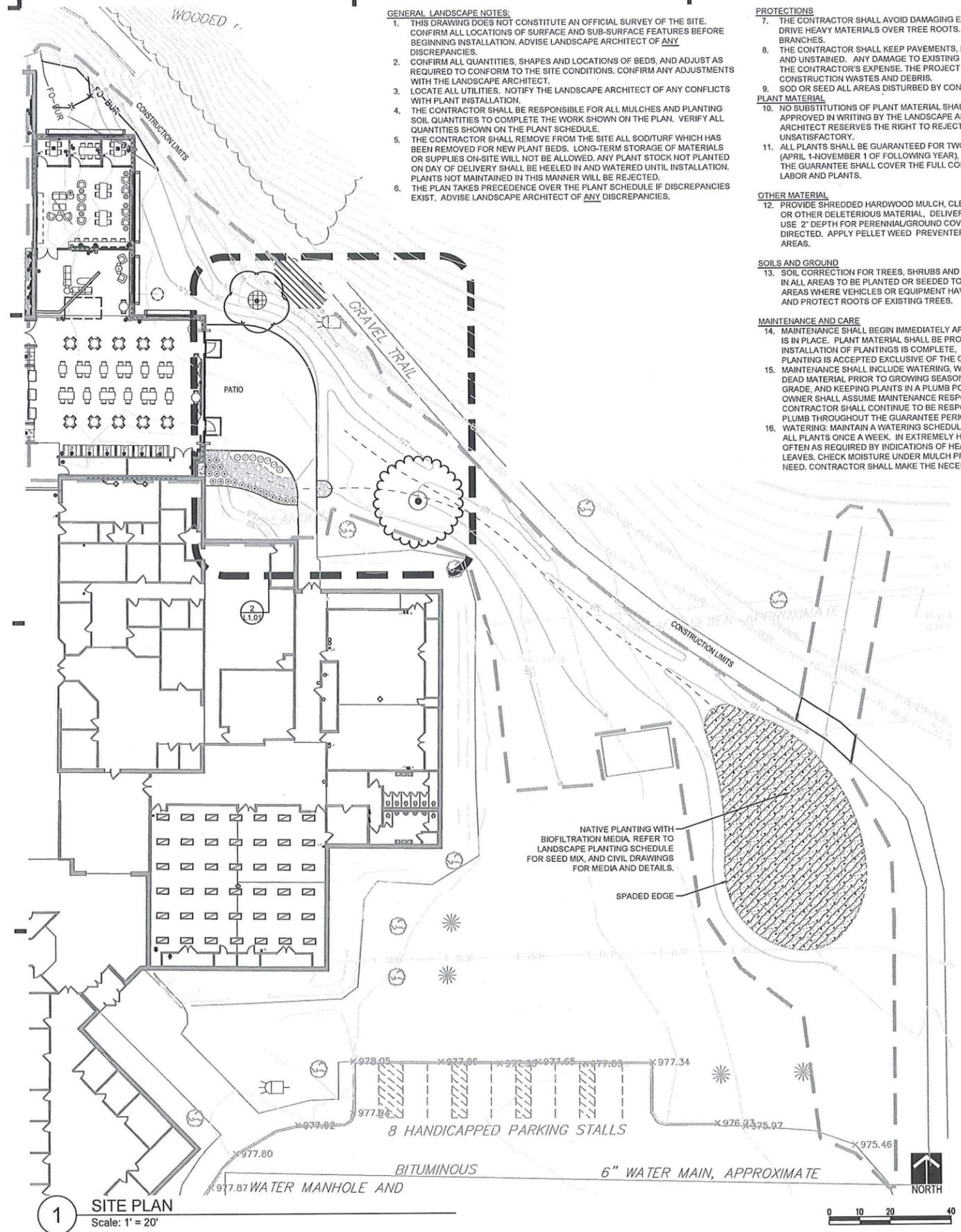
- PROVIDE SHREDDED HARDWOOD MULCH, CLEAN AND FREE OF NOXIOUS WEEDS OR OTHER DELETERIOUS MATERIAL. DELIVER MULCH ON DAY OF INSTALLATION. USE 2" DEPTH FOR PERENNIAL/GROUND COVER BEDS, UNLESS OTHERWISE DIRECTED. APPLY PELLET WEED PREVENTER UNDER MULCH BEDS IN SHRUB AREAS.

SOILS AND GROUND

- SOIL CORRECTION FOR TREES, SHRUBS AND TURF: DISC SOIL TO A FULL 6" DEPTH IN ALL AREAS TO BE PLANTED OR SEEDED TO LOOSEN COMPACTED SOILS. 8" IN AREAS WHERE VEHICLES OR EQUIPMENT HAVE COMPACTED THE SOIL. IDENTIFY AND PROTECT ROOTS OF EXISTING TREES.

MAINTENANCE AND CARE

- MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PORTION OF THE WORK IS IN PLACE. PLANT MATERIAL SHALL BE PROTECTED AND MAINTAINED UNTIL THE INSTALLATION OF PLANTINGS IS COMPLETE. INSPECTION HAS BEEN MADE AND PLANTING IS ACCEPTED EXCLUSIVE OF THE GUARANTEE.
- MAINTENANCE SHALL INCLUDE WATERING, WEEDING, MULCHING, REMOVAL OF DEAD MATERIAL PRIOR TO GROWING SEASON, RE-SETTING PLANTS AND PROPER GRADE, AND KEEPING PLANTS IN A PLUMB POSITION. AFTER ACCEPTANCE, THE OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES. HOWEVER, THE CONTRACTOR SHALL CONTINUE TO BE RESPONSIBLE FOR KEEPING THE TREES PLUMB THROUGHOUT THE GUARANTEE PERIOD.
- WATERING: MAINTAIN A WATERING SCHEDULE WHICH WILL THOROUGHLY WATER ALL PLANTS ONCE A WEEK. IN EXTREMELY HOT, DRY WEATHER, WATER MORE OFTEN AS REQUIRED BY INDICATIONS OF HEAT STRESS SUCH AS WILTING LEAVES. CHECK MOISTURE UNDER MULCH PRIOR TO WATERING TO DETERMINE NEED. CONTRACTOR SHALL MAKE THE NECESSARY ARRANGEMENTS FOR WATER.



1 SITE PLAN
 Scale: 1" = 20'

2 ENLARGEMENT: PATIO PLANTING AREA
 Scale: 1" = 10'

THIS SQUARE APPEARS 1/2" x 1/2" ON FULL SIZE SHEETS.

NO	DATE	ISSUED FOR
2	1/7/16	95% REVIEW
1	12/4/15	60% REVIEW
NO	DATE	ISSUED FOR

NO	DATE	REVISION

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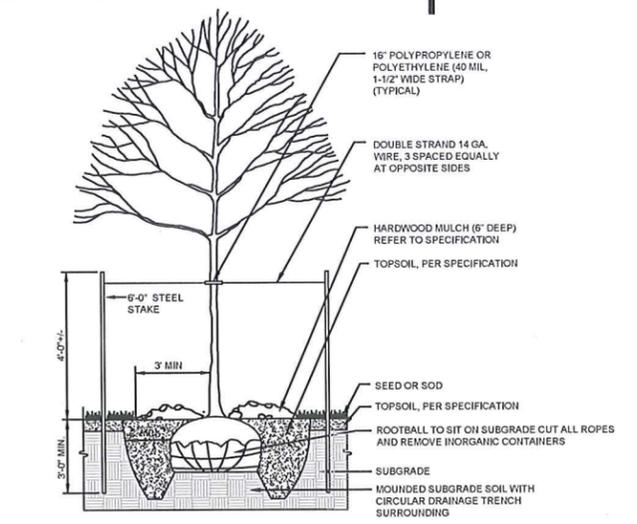
PROJECT NAME:
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 NEW RICHMOND, WI 54017

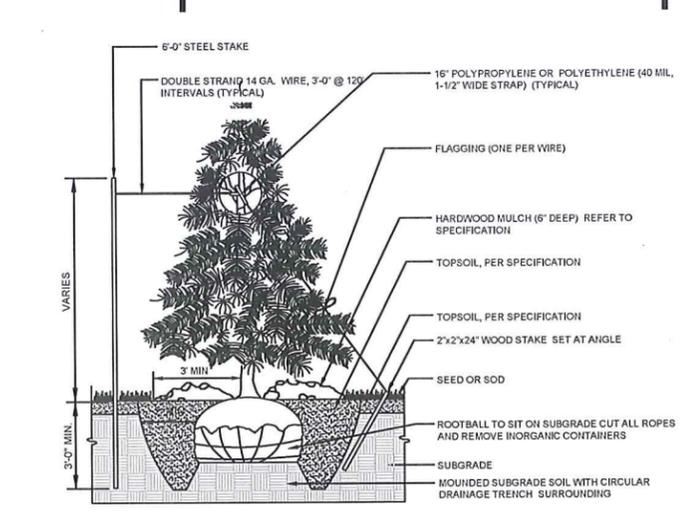
DRAWING TITLE:
PLANTING DETAILS

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 CHECKED BY: HSB
 PROJ. NO: 150495
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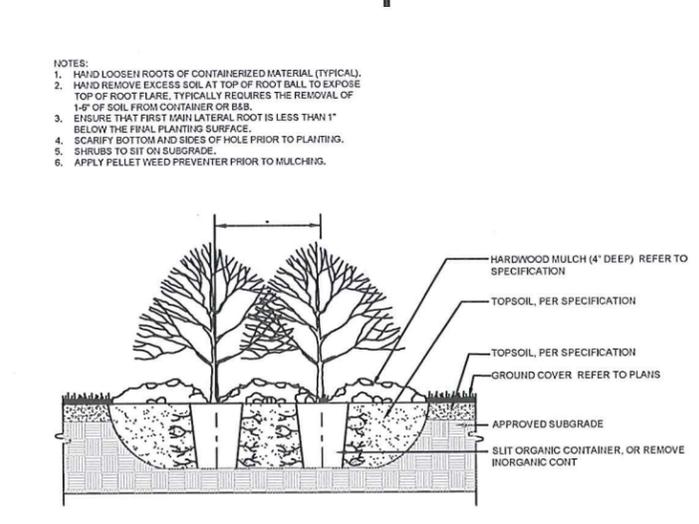
L5.01



1 DECIDUOUS TREE
 NOT TO SCALE

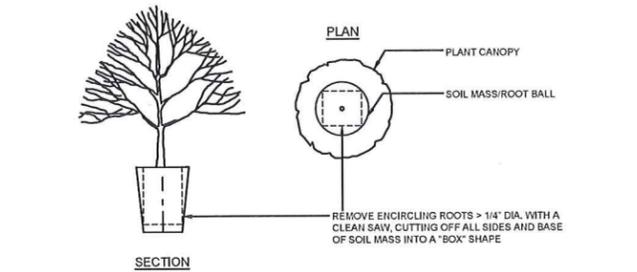


2 CONIFEROUS TREE
 NOT TO SCALE



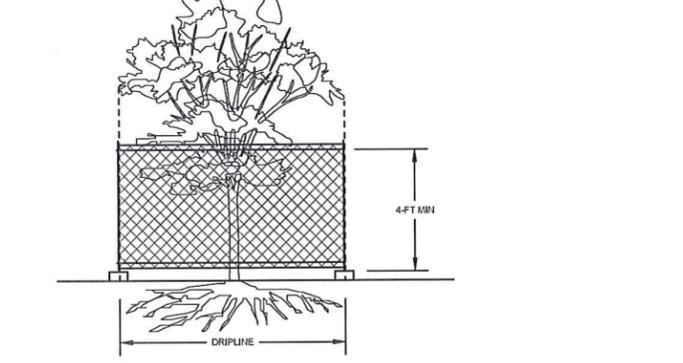
3 SHRUB PLANTING
 NOT TO SCALE

NOTES:
 1. FOR TREES, SHRUBS, AND PERENNIALS WITH INORGANIC CONTAINERS, FOLLOW THE "BOXING" PROCEDURE TO REMOVE ENCIRCLING ROOTS.
 2. "BOXING" IS ONLY NECESSARY ON PLANTS THAT HAVE ENCIRCLING ROOTS WITH DIAMETERS GREATER THAN 1/2\"/>

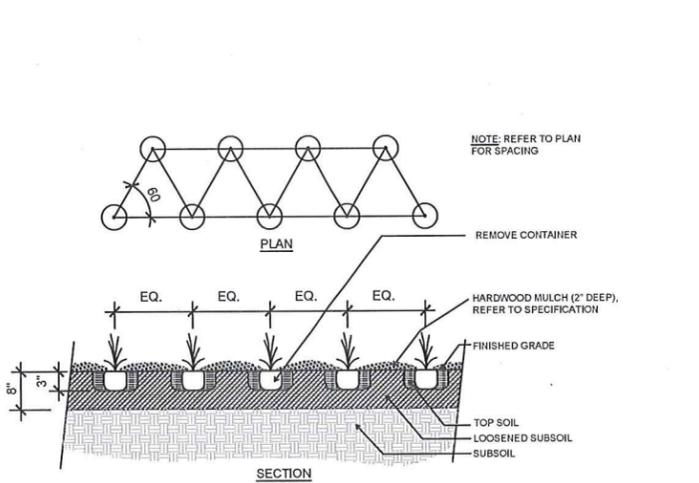


4 BOXING PROCEDURE FOR CONTAINER PLANTS
 NOT TO SCALE

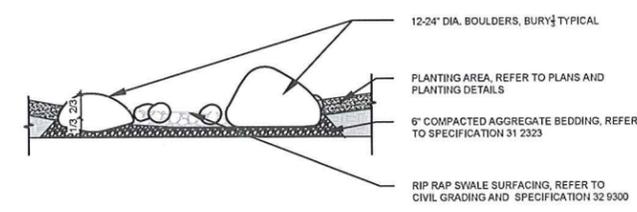
NOTES:
 1. 4FT. HIGH ORANGE PLASTIC FENCE SHALL BE PLACED AT THE DRIPLINE OF THE TREE TO BE SAVED. FENCE SHALL COMPLETELY ENCIRCLE THE TREE(S). INSTALL FENCE POSTS USING PIER BLOCKS ONLY. AVOID DRIVING POSTS OR STAKES INTO MAJOR ROOTS.
 2. FOR ROOTS OVER 1-IN DIA. THAT ARE DAMAGED DURING CONSTRUCTION, MAKE A CLEAN, STRAIGHT CUT TO REMOVE THE DAMAGED PORTION. ALL EXPOSED ROOTS SHALL BE TEMPORARILY COVERED WITH DAMP BURLAP TO PREVENT DRYING, AND SHALL BE COVERED WITH SOIL AS SOON AS POSSIBLE.
 3. WORK WITHIN PROTECTION FENCE SHALL BE DONE MANUALLY. NO STOCKPILING OF MATERIALS, VEHICULAR TRAFFIC, OR STORAGE OF EQUIPMENT OR MACHINERY SHALL BE ALLOWED WITHIN THE LIMIT OF THE FENCING.



5 TREE PROTECTION
 NOT TO SCALE



6 PERENNIAL PLANTING
 NOT TO SCALE



7 RIP RAP ROCK SWALE
 NOT TO SCALE

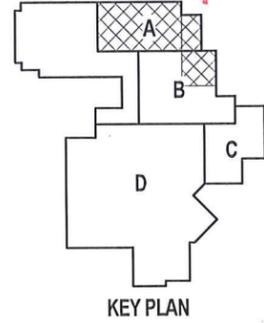
FILE: ..1150495\600 Drawings\LA1150495 L5.01 PlantingDetails.dwg
 DRAWN BY: EJC
 CHECKED BY: HSB
 PROJ. NO: 150495
 DRAWING NO:

L5.01

Exhibit G

- ARCHITECTURAL PLAN KEYED NOTES**
- SEAL EXISTING PENETRATIONS AND OPENINGS IN WALL TO PROVIDE NEW SMOKE RESISTANT CONSTRUCTION, EXTERIOR WALL TO DECK WHERE NECESSARY.
 - INFILL CONVIC SLAB AT AREA OF ELEC WORK.
 - PROVIDE 6" MITL STUD INFILL W/ACOUSTICAL BATT INSULATION AND 5/8" GYP BD.
 - PREP AND REPAIR WALLS THROUGHOUT ENTIRE SPACE TO RECEIVE NEW FINISH. SEE ROOM FINISH SCHEDULE.
 - STAMPED CONCRETE. PROVIDE TRANSITION AT EDGE. SEE SPECIFICATIONS.
 - PROVIDE AND INSTALL NEW PLAM AT EXISTING WINDOW FRAME, BOTH SIDES.
 - INFILL FORMER DOOR LOCATION.
 - PATCH AND LEVEL CONVIC SLAB AT AREA OF DEMOLISHED TILE.
 - TOP OF WALL @ 107'-0"
 - REINSTALL SALVAGED WHITE BOARD 3'-0" ABOVE FINISH FLOOR.
 - REINSTALL SALVAGED WINDOW BLINDS.
 - VERIFY LOCATION WITH EXISTING RAIN WATER LEADER.
 - PATCH EXISTING CONCRETE SLAB ON GRADE. REFER TO ELECTRICAL DRAWINGS FOR IN FLOOR POWER AND RELATED CONDUIT.
 - STOOP. SEE STRUCTURAL.
 - EXISTING MAILBOXES.
 - REINSTALL SALVAGED CASEWORK.
 - WOOD SLATS. SEE SECTION 12/A.02.

- FLOOR PLAN GENERAL NOTES**
- ALL DIMENSIONS ON FLOOR PLAN ARE TO THE CENTER OF METAL STUD, FACE OF EXISTING PARTITION OR FACE OF MASONRY UNLESS OTHERWISE NOTED.
 - EXISTING CONSTRUCTION THAT HAS BEEN DAMAGED AS A RESULT OF THE WORK SHALL BE REPAIRED TO AN EXTENT AND AS REQUIRED TO MATCH ADJACENT.
 - AT REMAINING EXISTING CONSTRUCTION ADJACENT TO DEMOLISHED WALL, REPAIR TO AN EXTENT AND AS REQUIRED TO MATCH EXISTING UNDISTURBED CONSTRUCTION.
 - PROVIDE FIRE-RATED CONSTRUCTION BEHIND ALL RECESSED FIRE EXTINGUISHER CABINETS, ELECTRICAL PANELS, AND OTHER CABINETS IN FIRE RATED ASSEMBLIES TO MAINTAIN RATINGS.
 - ALL PENETRATIONS THROUGH FIRE RATED CONSTRUCTION SHALL BE SEALED AGAINST FIRE AND SMOKE WITH CONSTRUCTION ADEQUATE TO MAINTAIN THE FIRE RATING OF THE ELEMENT BEING PENETRATED.
 - GENERAL CONTRACTOR SHALL PROVIDE ALL BLOCKING REQUIRED FOR ANCHORING WALL AND CEILING MOUNTED ITEMS, INCLUDING CASEWORK, AV COMPONENTS, DOOR STOPS, ETC. ALL BLOCKING SHALL BE ANCHORED SECURELY TO WALL OR ROOF/CEILING ASSEMBLY.
 - UNLESS NOTED OTHERWISE, ALL INTERIOR WALLS ARE TO BE WALL TYPE M3/A, EXTEND TO UNDERSIDE OF ROOF DECK ABOVE.
 - UNLESS NOTED OTHERWISE, ALL WALL INFILL CONSTRUCTION IS TO MATCH EXISTING ADJACENT CONSTRUCTION.
 - REFER TO CODE PLANS FOR ADDITIONAL INFORMATION ON REQUIRED RATINGS. PROVIDE FIRE STOPPING, CHIMNEYS, ETC AT ALL RATED ASSEMBLY COMPONENTS AS REQUIRED BY STATE AND LOCAL CODES.
 - FLOOR PLAN KEY NOTES DENOTE FLOOR FINISH TRANSITIONS ONLY. SEE ROOM FINISH SCHEDULE FOR ADDITIONAL NOTES AND INFORMATION ON FLOOR FINISHES.
 - AT DEMOLISHED WALL LOCATIONS PATCH AND REPAIR EXISTING FLOOR SURFACES AND SUBSTRATES AS REQUIRED TO ACCOMMODATE SCHEDULED CONSTRUCTION. MATCH ADJACENT FLOOR SURFACES AT LOCATIONS WHERE EXPOSED TO VIEW.



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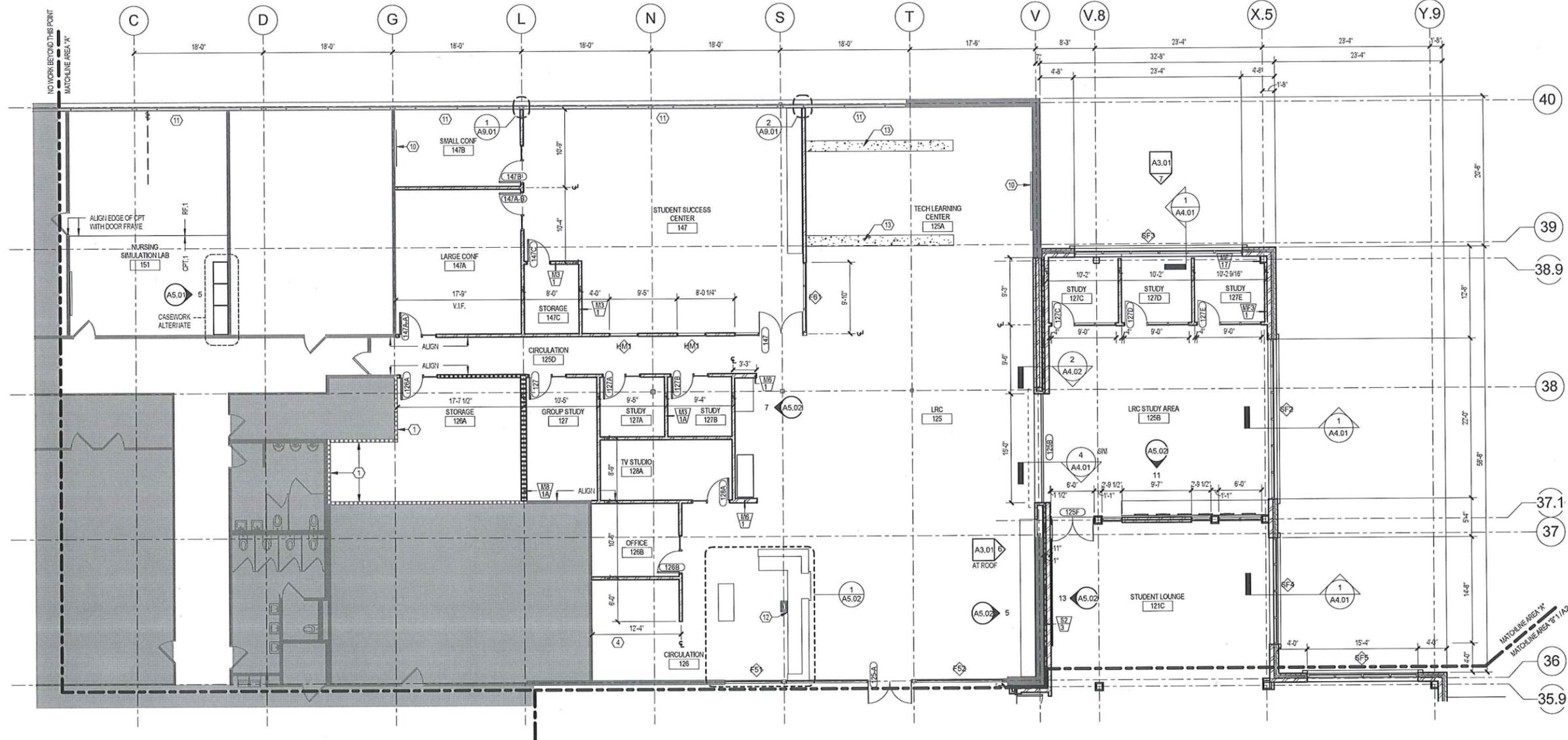
PROJECT NAME:
**WITC NEW RICHMOND
CAMPUS - 2016 RENOVATION
& ADDITION**

1019 SOUTH KNOWLES AVE
NEW RICHMOND, WI 54017

DRAWING TITLE:
**MAIN LEVEL FLOOR PLAN
- AREA 'A'**

FILE: 150495 WITC New Richmond A16 Central.kitube.rvt
DRAWN BY: SS
CHECKED BY: Checker
PROJ. NO: 150495
DRAWING NO:

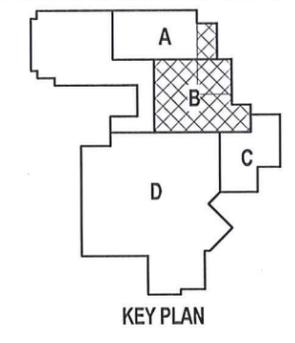
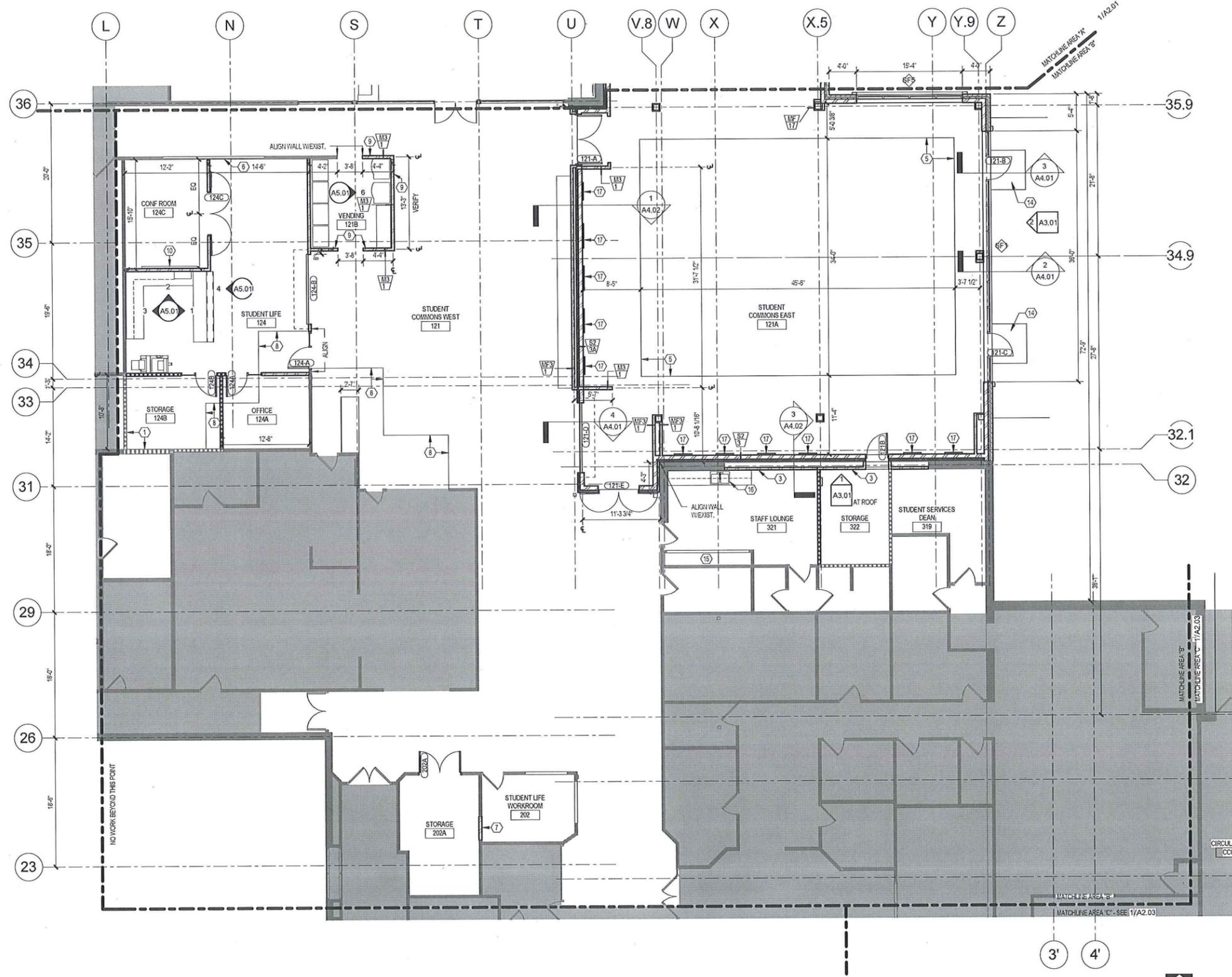
A2.01



1 MAIN LEVEL FLOOR PLAN - AREA 'A'
1/8" = 1'-0"

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1/7/2016 3:13:50 PM

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1/7/2016 3:13:51 PM



- FLOOR PLAN GENERAL NOTES**
1. ALL DIMENSIONS ON FLOOR PLAN ARE TO THE CENTER OF METAL STUD, FACE OF EXISTING PARTITION OR FACE OF MASONRY UNLESS OTHERWISE NOTED.
 2. EXISTING CONSTRUCTION THAT HAS BEEN DAMAGED AS A RESULT OF THE WORK SHALL BE REPAIRED TO AN EXTENT AND AS REQUIRED TO MATCH ADJACENT.
 3. AT REMAINS EXISTING CONSTRUCTION ADJACENT TO DEMOLISHED WALL, REPAIR TO AN EXTENT AND AS REQUIRED TO MATCH EXISTING UNDISTURBED CONSTRUCTION.
 4. PROVIDE FIRE-RATED CONSTRUCTION BEHIND ALL RECESSED FIRE EXTINGUISHER CABINETS, ELECTRICAL PANELS, AND OTHER CABINETS IN FIRE RATED ASSEMBLIES TO MAINTAIN RATINGS.
 5. ALL PENETRATIONS THROUGH FIRE RATED CONSTRUCTION SHALL BE SEALED AGAINST FIRE AND SMOKE WITH CONSTRUCTION ADEQUATE TO MAINTAIN THE FIRE RATING OF THE ELEMENT BEING PENETRATED.
 6. GENERAL CONTRACTOR SHALL PROVIDE ALL BLOCKING REQUIRED FOR ANCHORING WALL AND CEILING MOUNTED ITEMS, INCLUDING CASEWORK, AV COMPONENTS, DOOR STOPS, ETC. ALL BLOCKING SHALL BE ANCHORED SECURELY TO WALL OR ROOF/CEILING ASSEMBLY.
 7. UNLESS NOTED OTHERWISE, ALL INTERIOR WALLS ARE TO BE WALL TYPE M3/1A EXTENDED TO UNDERSIDE OF ROOF DECK ABOVE.
 8. UNLESS NOTED OTHERWISE, ALL WALL INFILL CONSTRUCTION IS TO MATCH EXISTING ADJACENT CONSTRUCTION.
 9. REFER TO CODE PLANS FOR ADDITIONAL INFORMATION ON REQUIRED RATINGS. PROVIDE FIRE STOPPING CASPERS, ETC AT ALL RATED ASSEMBLIES COMPONENTS AS REQUIRED BY STATE AND LOCAL CODES.
 10. FLOOR PLAN KEYNOTES DENOTE FLOOR FINISH TRANSITIONS ONLY. SEE ROOM FINISH SCHEDULE FOR ADDITIONAL NOTES AND INFORMATION ON FLOOR FINISHES.
 11. AT DEMOLISHED WALL LOCATIONS PATCH AND REPAIR EXISTING FLOOR SURFACES AND SUBSTRATES AS REQUIRED TO ACCOMMODATE SCHEDULED CONSTRUCTION. MATCH ADJACENT FLOOR SURFACES AT LOCATIONS WHERE EXPOSED TO VIEW.

- ARCHITECTURAL PLAN KEYED NOTES**
- 1 SEAL EXISTING PENETRATIONS AND OPENINGS IN WALL TO PROVIDE NEW SMOKE RESISTANT CONSTRUCTION EXTEND WALL TO DECK WHERE NECESSARY.
 - 2 INFILL CONC SLAB AT AREA OF ELEC WORK.
 - 3 PROVIDE 6" MTL STUD INFILL W/ACOUSTICAL BATT II INSULATION AND 5/8" GYP BD.
 - 4 PREP AND REPAIR WALLS THROUGHOUT ENTIRE SPACE TO RECEIVE NEW FINISH. SEE ROOM FINISH SCHEDULE.
 - 5 STAINED CONCRETE. PROVIDE TRANSITION AT EDGE. SEE SPECIFICATIONS.
 - 6 PROVIDE AND INSTALL NEW PLAM AT EXISTING WINDOW FRAME, BOTH SIDES.
 - 7 INFILL FOR NEW DOOR LOCATION.
 - 8 PATCH AND LEVEL CONC SLAB AT AREA OF DEMOLISHED TILE.
 - 9 TOP OF WALL @ 107'-0"
 - 10 REINSTALL SALVAGED WHITE BOARD 3'-0" ABOVE FINISH FLOOR.
 - 11 REINSTALL SALVAGED WINDOW BLINDS.
 - 12 VERIFY LOCATION WITH EXISTING RAIN WATER LEADER.
 - 13 PATCH EXISTING CONCRETE SLAB ON GRADE. REFER TO ELECTRICAL DRAWINGS FOR IN FLOOR POWER AND RELATED CONDUIT.
 - 14 STOOP. SEE STRUCTURAL.
 - 15 EXISTING MAILBOXES.
 - 16 REINSTALL SALVAGED CASEWORK.
 - 17 WOOD SLATS. SEE SECTION 121/A5.02.

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1	12/4/15	60% REVIEW
NO	DATE	REVISION

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PROJECT NAME:
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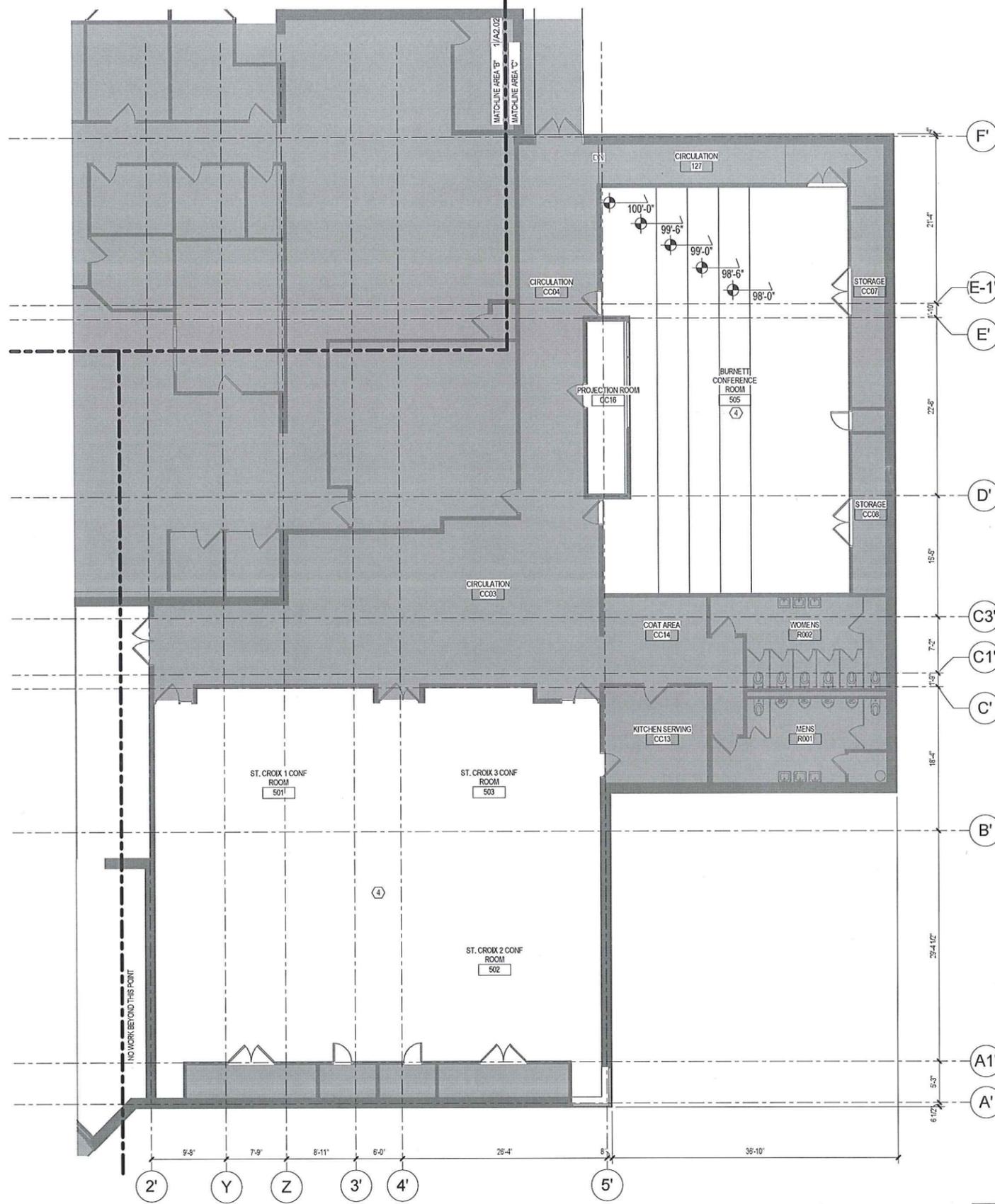
1019 SOUTH KNOWLES AVE
NEW RICHMOND, WI 54017

DRAWING TITLE:
**MAIN LEVEL FLOOR PLAN
- AREA 'B'**

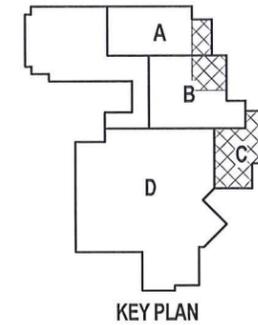
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DRAWN BY: SS
CHECKED BY: Checker
PROJ. NO: 150495
DRAWING NO:

A2.02

1 MAIN LEVEL FLOOR PLAN - AREA 'B'
1/8" = 1'-0"



1 MAIN LEVEL FLOOR PLAN - AREA 'C'
 1/8" = 1'-0"



- FLOOR PLAN GENERAL NOTES**
1. ALL DIMENSIONS ON FLOOR PLAN ARE TO THE CENTER OF METAL STUD, FACE OF EXISTING PARTITION OR FACE OF MASONRY UNLESS OTHERWISE NOTED.
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 7. UNLESS NOTED OTHERWISE, ALL INTERIOR WALLS ARE TO BE WALL TYPE M31A EXTEND TO UNDERSIDE OF ROOF DECK ABOVE.
 8. UNLESS NOTED OTHERWISE, ALL WALL INFILL CONSTRUCTION IS TO MATCH EXISTING ADJACENT CONSTRUCTION.
 9. REFER TO CODE PLANS FOR ADDITIONAL INFORMATION ON REQUIRED RATINGS. PROVIDE FIRE STOPPING, CAMPERS, ETC AT ALL RATED ASSEMBLIES/COMPONENTS AS REQUIRED BY STATE AND LOCAL CODES.
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- ARCHITECTURAL PLAN KEYED NOTES**
- (1) SEAL EXISTING PENETRATIONS AND OPENINGS IN WALL TO PROVIDE NEW SMOKE RESISTANT CONSTRUCTION. EXTEND WALL TO DECK WHERE NECESSARY.
 - (2) INFILL CONC SLAB AT AREA OF ELEC WORK.
 - (3) PROVIDE 6" MTL STUD INFILL W/ACOUSTICAL BATT INSULATION AND 5/8" GYP BD.
 - (4) PREP AND REPAIR WALLS THROUGHOUT ENTIRE SPACE TO RECEIVE NEW FINISH. SEE ROOM FINISH SCHEDULE.
 - (5) STAINED CONCRETE. PROVIDE TRANSITION AT EDGE. SEE SPECIFICATIONS.
 - (6) PROVIDE AND INSTALL NEW PLAM AT EXISTING WINDOW FRAME, BOTH SIDES.
 - (7) INFILL FOR VER DOOR LOCATION.
 - (8) PATCH AND LEVEL CONC SLAB AT AREA OF DEMOLISHED TILE.
 - (9) TOP OF WALL @ 10'-0"
 - (10) REINSTALL SALVAGED WHITE BOARD 3'-0" ABOVE FINISH FLOOR
 - (11) REINSTALL SALVAGED WINDOW BLINDS.
 - (12) VERIFY LOCATION WITH EXISTING RAIN WATER LEADER.
 - (13) PATCH EXISTING CONCRETE SLAB ON GRADE. REFER TO ELECTRICAL DRAWINGS FOR IN FLOOR POWER AND RELATED CONDUIT.
 - (14) STOOP. SEE STRUCTURAL.
 - (15) EXISTING MAILBOXES.
 - (16) REINSTALL SALVAGED CASEWORK.
 - (17) WOOD SLATS. SEE SECTION 12/A5.02

CLIENT:
**WISCONSIN INDIANHEAD
 TECHNICAL COLLEGE**

505 PINE RIDGE DRIVE
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THIS SQUARE APPEARS 1/2"x1/2" ON
 FULL SIZE SHEETS

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2	1/7/16	95% REVIEW
1	12/4/15	60% REVIEW
NO	DATE	REVISION

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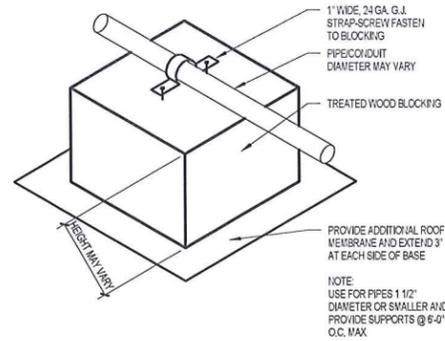
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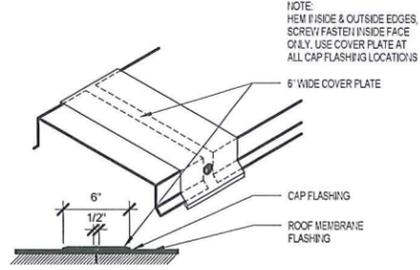
1019 SOUTH KNOWLES AVE
 NEW RICHMOND, WI 54017

DRAWING TITLE:
**MAIN LEVEL FLOOR PLAN
 - AREA 'C'**

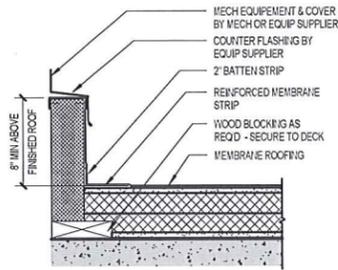
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 DRAWING NO.:



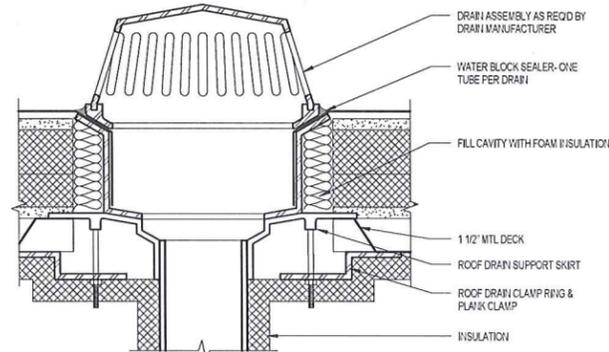
9 ROOF PIPE SUPPORT DETAIL
1 1/2" = 1'-0"



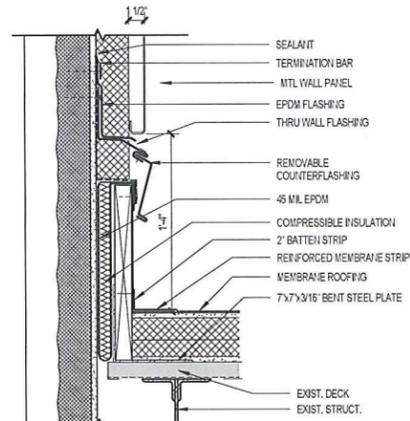
5 ROOF COPING SPLICE DETAIL
1 1/2" = 1'-0"



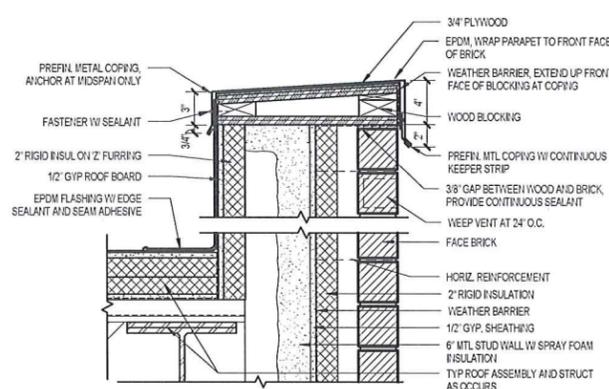
8 ROOF PENETRATION CURB DETAIL
1 1/2" = 1'-0"



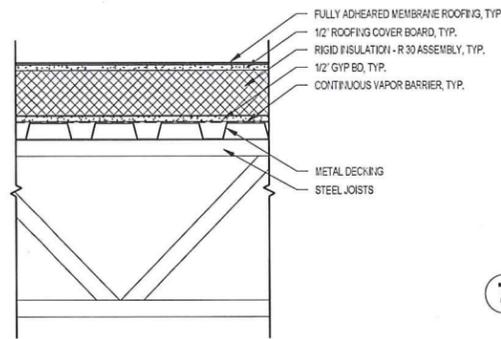
4 ROOF DRAIN DETAIL
3" = 1'-0"



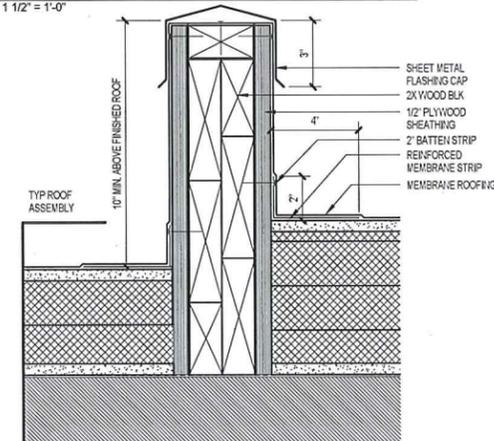
7 BUILDING SEPARATION JOINT
1 1/2" = 1'-0"



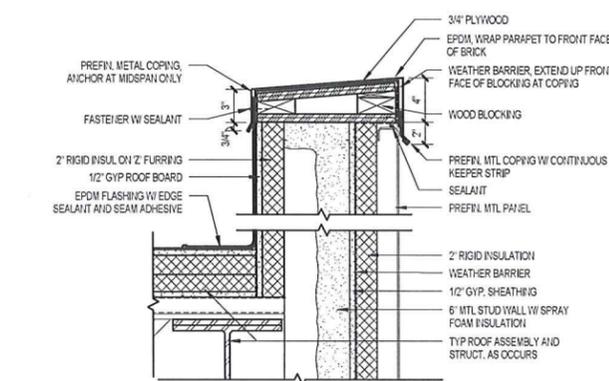
3 ROOF PARAPET - BRICK VENEER
1 1/2" = 1'-0"



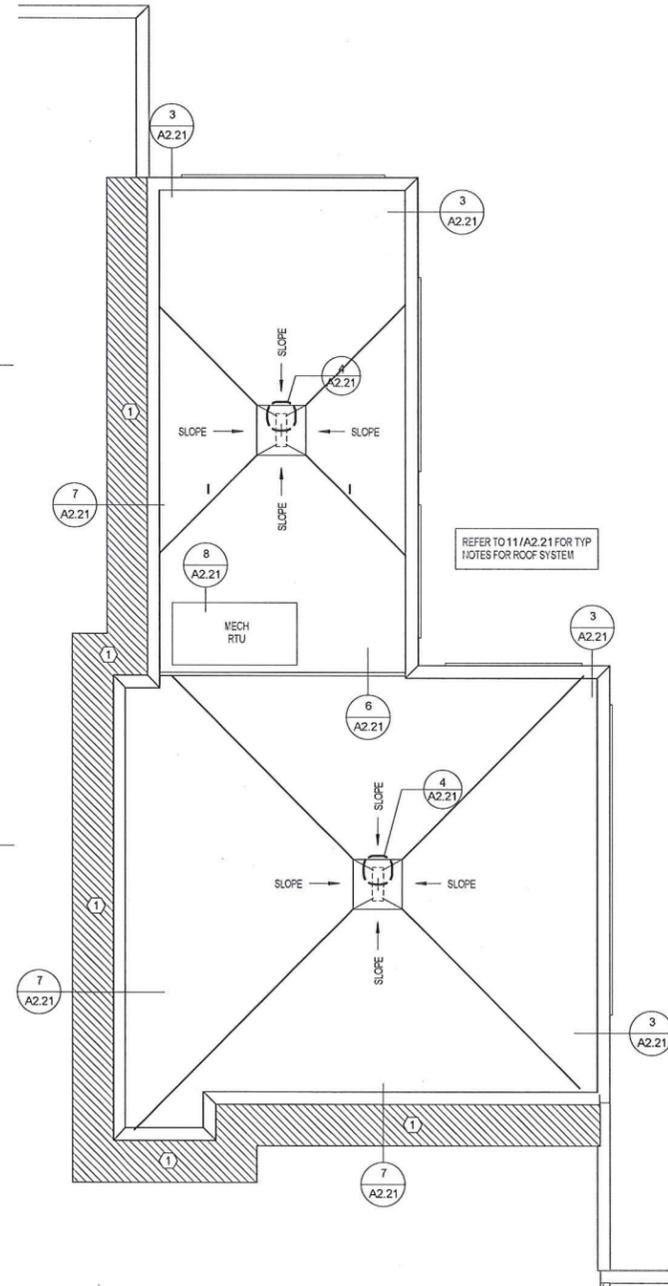
11 TYPICAL ROOF ASSEMBLY
1 1/2" = 1'-0"



6 ROOF CURB DETAIL
3" = 1'-0"

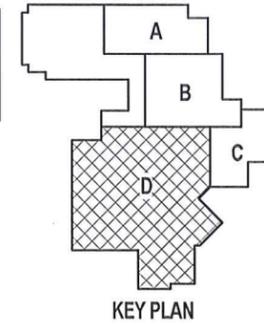


2 ROOF PARAPET - METAL PANEL
1 1/2" = 1'-0"



1 PARTIAL ROOF PLAN
3/32" = 1'-0"

- ROOF PLAN KEYED NOTES**
- 1 REMOVE AND REPLACE PORTION OF EXISTING ROOFING AS REQUIRED FOR TIE-IN TO NEW ROOF.
 - 2 Add Description Here
 - 3 Add Description Here



KEY PLAN

NO	DATE	ISSUED FOR
2	1/7/16	55% REVIEW
1	12/4/15	60% REVIEW
NO	DATE	REVISION

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Exhibit H

CLIENT:
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505 PINE RIDGE DRIVE
 SHELL LAKE, WI 54871

THIS SQUARE APPEARS 1/2"x1/2" ON FULL SIZE SHEETS

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NO	DATE	REVISION

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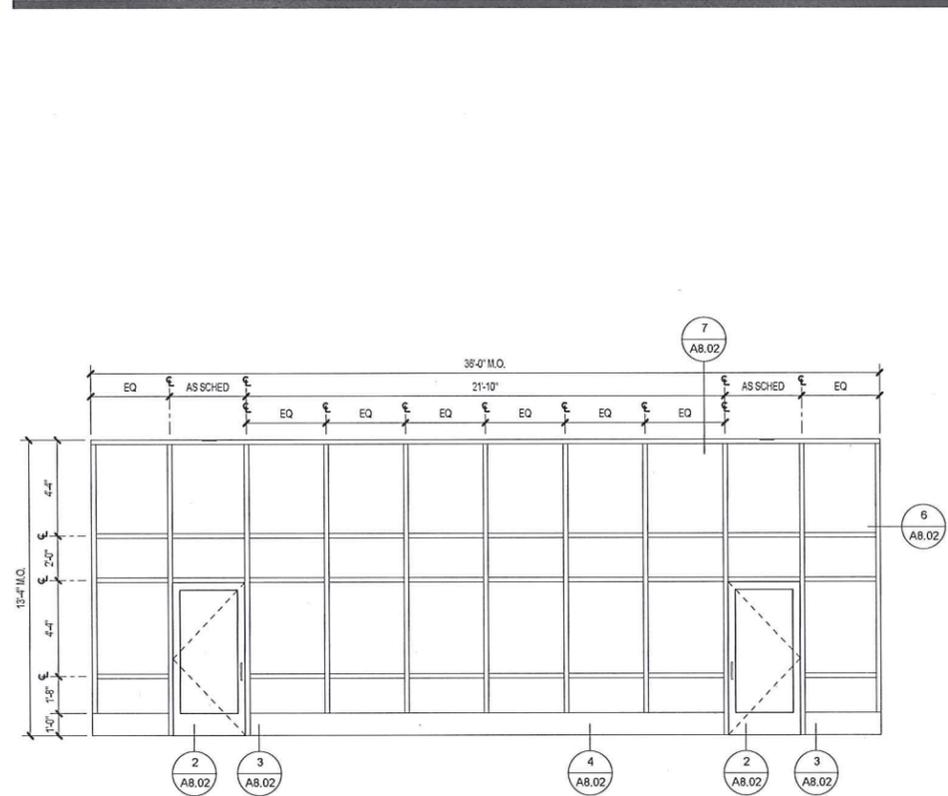
PROJECT NAME:
WITC NEW RICHMOND CAMPUS - 2016 RENOVATION & ADDITION

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 NEW RICHMOND, WI 54017

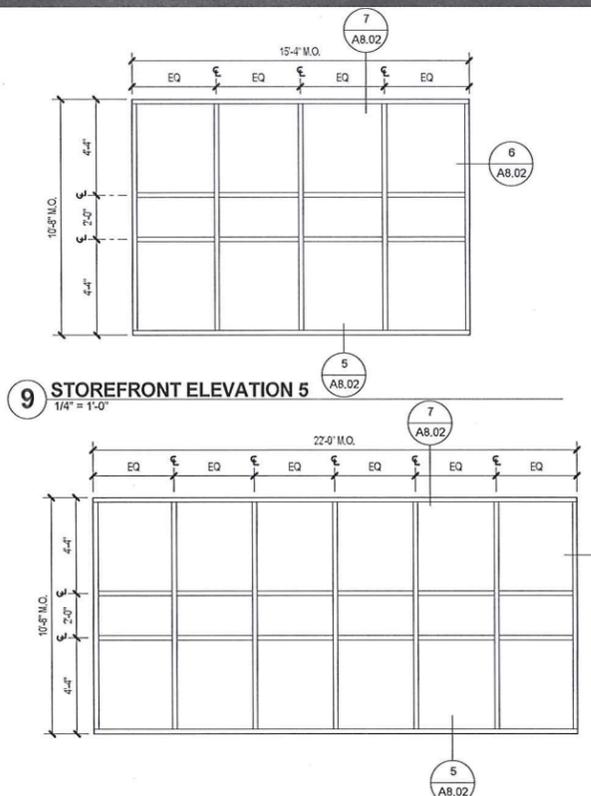
DRAWING TITLE:
EXTERIOR AND STOREFRONT ELEVATIONS

FILE: 150495 WITC New Richmond A16 Central.rvt
 DRAWN BY: Author
 CHECKED BY: Checker
 PROJ. NO: 150495
 DRAWING NO:

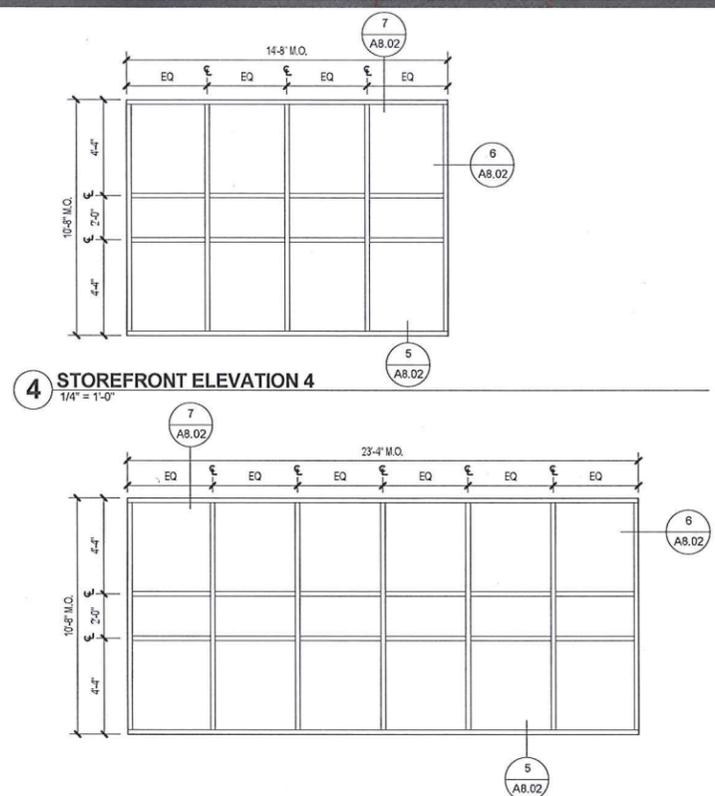
A3.01



8 STOREFRONT ELEVATION 1
 1/4" = 1'-0"



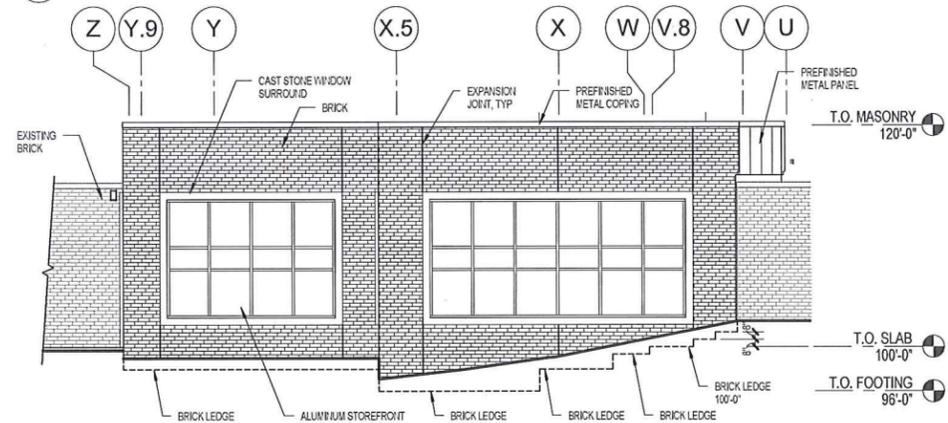
9 STOREFRONT ELEVATION 5
 1/4" = 1'-0"



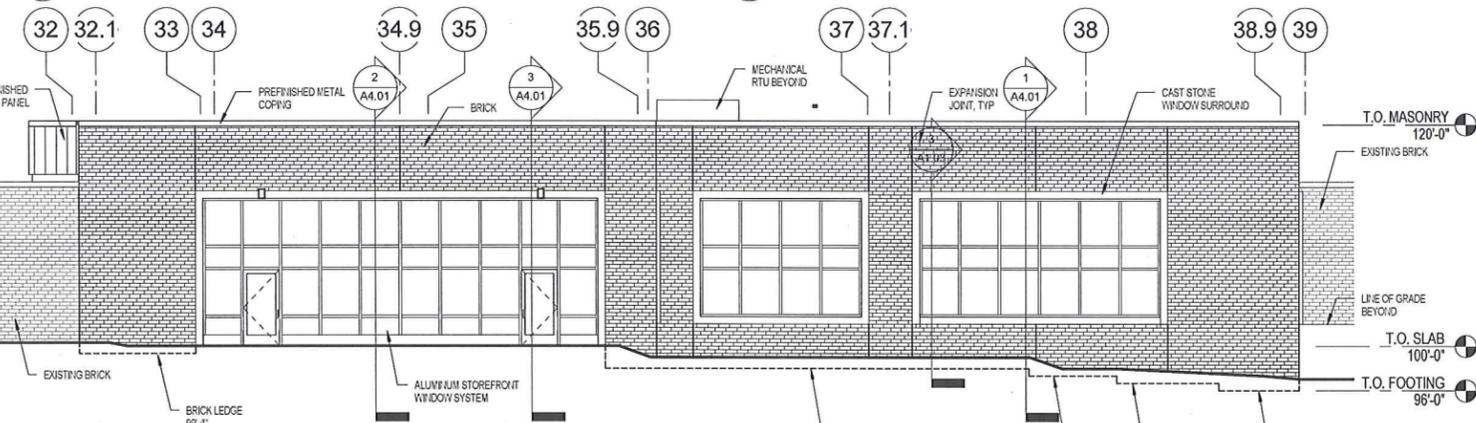
4 STOREFRONT ELEVATION 4
 1/4" = 1'-0"

5 STOREFRONT ELEVATION 2
 1/4" = 1'-0"

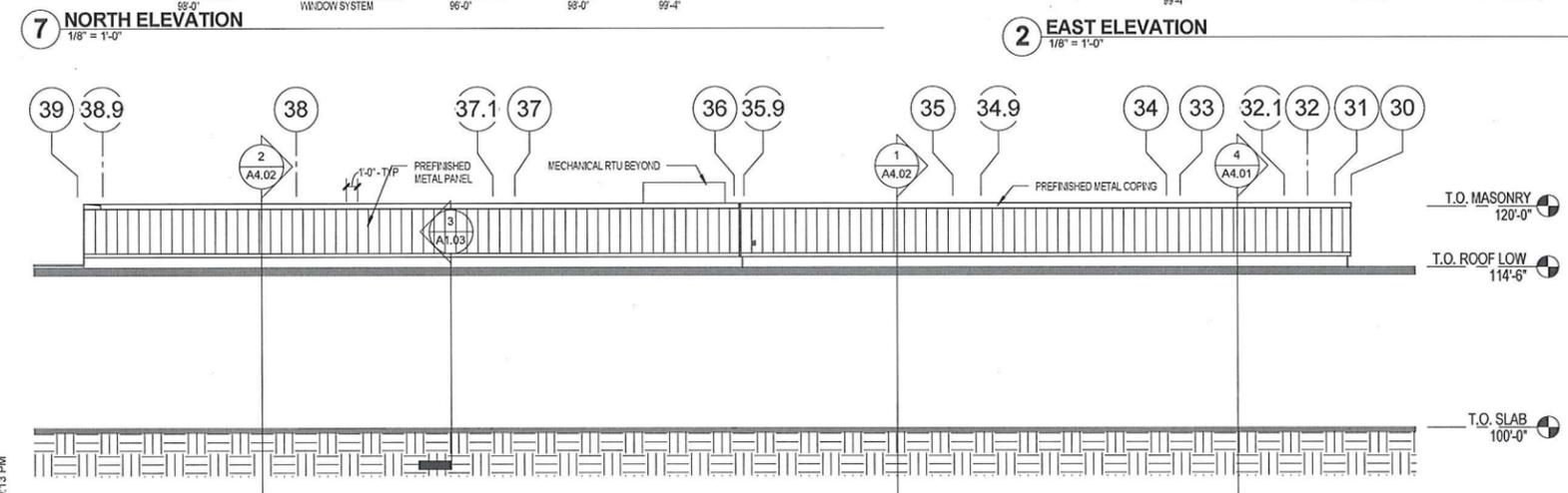
3 STOREFRONT ELEVATION 3
 1/4" = 1'-0"



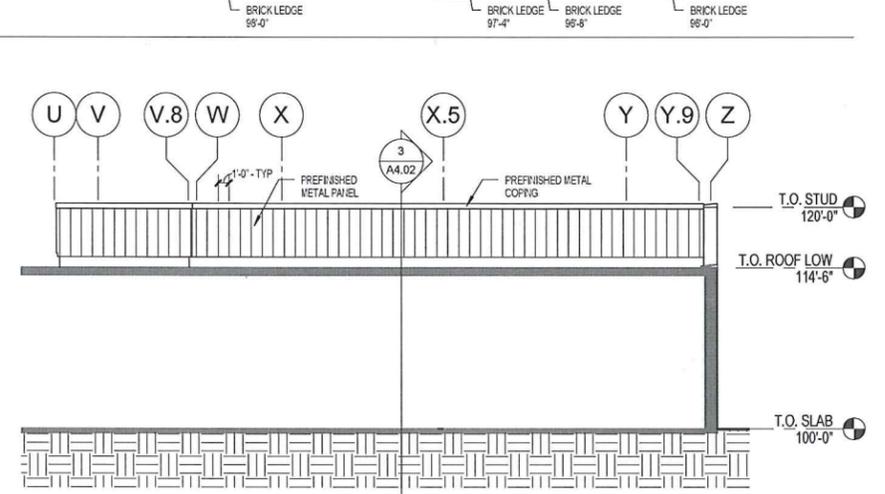
7 NORTH ELEVATION
 1/8" = 1'-0"



2 EAST ELEVATION
 1/8" = 1'-0"



6 WEST ELEVATION
 1/8" = 1'-0"



1 SOUTH ELEVATION
 1/8" = 1'-0"

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 1/7/2016 3:18:13 PM



156 East First Street
New Richmond, WI 54017
Ph 715-246-4268 Fax 715-246-7129
www.newrichmondwi.gov

MEMORANDUM

TO: Mayor Horne and Plan Commission Members

FROM: Noah Wiedenfeld, Management Analyst

DATE: January 26, 2016

SUBJECT: Sign Ordinance

BACKGROUND

City staff will present some of the challenges with the City's existing sign ordinance, including out of date setbacks and lack of clarity regarding electronic message boards and temporary signs. City staff will also discuss the implications of a recent Supreme Court decision regarding the regulation of sign content. Finally, a possible process for developing a new sign ordinance will be discussed.

I (Noah Wiedenfeld) would be the lead staff member for the proposed project, and would work closely with Building Inspector/Zoning Administrator Sarah Skinner and Building/Zoning Administrative Assistant Jeanne Bergman. City planning consultant Dan Licht would do the majority of the ordinance update and rewrite.

RECOMMENDATION

City staff recommend proceeding with the development of a new comprehensive sign ordinance.



156 East First Street
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Ph 715-246-4268 Fax 715-246-7129
www.newrichmondwi.gov

TO: Mayor Horne and Plan Commission Members

FROM: Beth Thompson, Community Development Director

DATE: January 25, 2016

RE: Request for Proposals for the Comprehensive Plan Update

Background

The City of New Richmond's Comprehensive Plan was last updated in 2005. Per State Statute 66.1001, each municipality must update their Comprehensive Plan every 10 years. Per this Statute, the City of New Richmond would like to complete a Comprehensive Plan update in 2016.

The purpose of the Comprehensive Plan is to identify issues, opportunities, needs and organize public policy to address them in a manner that makes the best and most appropriate use of City resources. It will describe a desired future for the community over the next 20 years and establish goals to move toward that future. The Comprehensive Plan is meant to be used by elected and appointed officials and City staff in the ongoing process of making decisions, creating ordinances and allocating funds.

A committee will be formed to review the RFP and this committee will be made up of one member from the Plan Commission, one City Council member, and three to four staff members. The project leads for the Comprehensive Plan will be Mike Darrow, City Administrator and Beth Thompson, Community Development Director.

Attached to this memo, please find the Request for Proposal and a timeline for the updating of the Comprehensive Plan.

Recommendation

City staff recommends approving the RFP and timeline for a Comprehensive Plan Update in 2016.



City of New Richmond

156 East First Street
New Richmond, WI 54017

City Hall 715-246-4268

Fax 715-246-7129

www.newrichmondwi.gov

Request for Proposals 2016 Comprehensive Plan Update

Notice is hereby given that the City of New Richmond, WI is seeking submittal of proposals from qualified multidisciplinary consultants for a 2016 Comprehensive Plan Update.

Background/Purpose

A copy of New Richmond's Comprehensive Plan can be viewed at the City website:

www.newrichmondwi.gov under Comprehensive Plan Update 2016.

The City of New Richmond's Comprehensive Plan was last updated in 2005. Per State Statute 66.1001, each municipality must update their Comprehensive Plan every 10 years. Per this Statute, the City of New Richmond will be completing a Comprehensive Plan update in 2016. The purpose of the Comprehensive Plan is to identify issues, opportunities, needs and organize public policy to address them in a manner that makes the best and most appropriate use of City resources. It will describe a desired future for the community over the next 20 years and establish goals to move toward that future. The Comprehensive Plan is meant to be used by elected and appointed officials and City staff in the ongoing process of making decisions, creating ordinances and allocating funds.

The City of New Richmond has a population of 8,715 and is located in one of the fastest growing Counties in Wisconsin - St. Croix County. The City is located on the most western border of Wisconsin and is just a mere 15 minutes from Minnesota and only 40 minutes from downtown Minneapolis. With the anticipation of the St. Croix River Crossing Bridge completion in 2017, the City will be looking forward to growth and change. With this growth brings decisions for our policy makers regarding all aspects of our community. This is a very advantageous time for the City of New Richmond to update their Comprehensive Plan.

Plan Update Scope

The City is seeking a multidisciplinary consultant team (which may be a single firm or a consultant team consisting of individuals and/or firms with specialized expertise) to update the City's Comprehensive Plan with the objective of providing the City Council, Plan Commission, City staff, City residents, businesses, and the development community with a comprehensive, internally consistent and legally defensible tool to guide the City's decision making and development over the next 20 years, to the year 2036. The updated plan will help maintain collaborative and respectful relationships within the community and with surrounding neighbors, and establish or confirm existing policies and priorities for coordinated development and/or redevelopment and necessary infrastructure expansion.

The consultant team selected will:

- Review, update and revise, as appropriate, the contents of the Comprehensive Plan, including technical and supporting information.
- Identify unnecessary, redundant and inconsistent information within the existing document and recommend approaches (e.g. organization, formatting) to develop a more concise and usable document that contains relative data but is not a receptacle of statistics that are not informative to long range planning.
- Design the Comprehensive Plan document, including development of the format and layout, as well as production of high-quality illustrations and graphics. Undertake the primary responsibility for editing and writing a cohesive Comprehensive Plan document. This will include editing existing text or drafting new, clear and concise text and policies that are supported by information in existing documents, new plans and studies, data analysis, public input, best practices, and/or successful application in other jurisdictions.
- Identify existing development regulations that need to be revised or updated to be consistent with the 2016 Comprehensive Plan update. Work with City staff to revise, as necessary, existing development regulations that support implementation of the 2016 Comprehensive Plan policies.
- Support City staff in the presentation of materials and amendments to the Plan Commission and City Council.
- Coordinate and support a public participation process for this update. Prepare and produce high quality public outreach materials graphically and in writing describing facts, findings, analysis, and alternatives for public meetings, open houses, webpage, and hearings.

The scope of work for this update will include, but is not limited to the following tasks:

- Outline a public participation plan, work plan and schedule that will allow this update to be reviewed and approved by the Plan Commission and City Council.
 - o Plan presentations, public hearings and workshops will be scheduled during the Comprehensive Plan update. The purpose of these meetings will be to provide an overview of the update process, present progress updates, and receive citizen, elected official, commission members and staff comments. Present the draft and final report and ancillary materials to the Plan Commission and City Council.
 - o Presentations incorporated into public participation should include, but not be limited to the following:
 - General Workshops/Open Houses for the public
 - Informal public meetings/presentations to Plan Commission & City Council
 - Planning Commission public hearing
 - City Council public hearing
 - Social Media
 - YouTube
 - Surveys
- Review and analyze local conditions, the existing Comprehensive Plan maps and text, and documents developed and utilized by the City of New Richmond.
- Update the elements and appendices to reflect the past changes, future trends, and desired outcomes of the community, ensure internal and external consistency, and eliminate unnecessary redundancies:

- o **Chapter 1 Introduction** – Issues and Opportunities - review, update and revise as necessary.
- o **Chapter 2 Economic Development** - update with current economic and market data to support economic growth, vitality and a high quality of life in the City. Review and confirm assumptions and policy direction with the business community and New Richmond’s Economic Development Commission. This update can use the Downtown Guidelines, 2013 Downtown Plan, and the Ady Voltedge documents as a reference.
- o **Chapter 3 Housing** – update element including review and update of existing housing inventories, analyze new data and projected housing needs, validate and update as necessary the identified number of housing units needed to serve the city’s projected growth. This update can use the recently completed 2015/2016 Housing Needs Study as a reference.
- o **Chapter 4 Transportation** –update, review, and confirm information, use information from the WDOT and other sources to complete the update of this section. This update can use the 2016 Bike and Pedestrian Plan along with the City’s sidewalk maps as a reference.
- o **Chapter 5 Utilities and Community Facilities** - review, update and revise as necessary. This update can use the New Richmond Park System Plan as a reference.
- o **Chapter 6 Agriculture, Cultural and Natural Resources** - review, update and revise as necessary. This update can use the Historic Building Preservation Guidelines as a reference.
- o **Chapter 7 Land Use** – consideration should be taken for the new bridge and corridor area on the north end of New Richmond. Review, update and revise as necessary.
- o **Chapter 8 Intergovernmental Cooperation** - review, update and revise as necessary. To update this section the use of the City of New Richmond/Town of Star Prairie cooperative Plan (Boundary Agreement) may be beneficial.
- o **Chapter 9 Implementation** – review, update and revise as necessary.
- Appendices** – review, update, incorporate into the plan or eliminate as appropriate.

Additional City documents to be considered in the process of updating the City’s Comprehensive Plan:

- o 2000 Historic Building Preservation Guidelines - Volume I and Volume II
- o 2003 Downtown Design Guidelines
- o 2005 Comprehensive Plan
- o 2010 West Central Wisconsin Comprehensive Plan from 2010 – 2030
- o 2011 Ady Voltedge City of New Richmond Marketing Plan
- o 2012 Ady Voltedge City of New Richmond Economic Development Summary of Data and Analysis
- o 2012 City of New Richmond/Town of Star Prairie Cooperative Plan
- o 2013 Downtown Plan – completed by City staff
- o 2015/2016 Housing Needs Study – completed by Graduate students from the University of River Falls
- o 2015 City of New Richmond Park System Plan – completed by City staff
- o Fire Department 5 year Strategic Plan that was completed in August of 2015
- o 2016 Bike and Pedestrian Plan – City staff is planning on approval at the March 2016 Council meeting
- These plans can all be found on the City of New Richmond’s website under Comprehensive Plan Update 2016

Consultant Qualifications

Qualified consultants will have experience in a variety of public outreach programs, facilitation of public meetings, compilation of information from varying sources (including GIS), and preparation of Comprehensive Plans.

The City invites you to submit a Proposal no later than February 29, 2016 at 4:30 p.m.

Consultants should submit 7 hard copies. Proposals will be accepted at City Hall, Attention: Beth Thompson, Community Development Director, 156 East First Street, New Richmond, WI 54017.

Submittal of Proposals and Budgets

The consultant is solely responsible for ensuring that proposals are delivered on time via mail, courier, or in person. Proposals received after the due date and time will not be accepted and will be discarded. Faxed or emailed proposals will not be accepted. Each proposal must be limited to thirty (30) one-sided pages and shall include:

1. Names of project team members that will primarily be working on the update, their related experience specific to comprehensive plan updates, and their expected roles in this project. List the anticipated percentage of time the project manager(s) and leads will have available for this project. Please identify the portions of the project anticipated to be performed by sub-consultants and their primary team member(s) working on that specific task.
2. Three references from jurisdictions with similar projects performed by the firm/team under a similar scope of work and budget.
3. Proposed approach and methodology to the scope of work, a work program outline with tasks and deliverables, time schedule and budget. Insights or suggestions from the consultant team on the strategy for updating New Richmond's Comprehensive Plan and restructuring the document for a more user-friendly and relevant document are welcome. All tasks and deliverables proposed should be identified in a streamlined list or table along with general dates and firm/team member(s) responsible for the work. The proposal should include a work program with deliverables, corresponding at a minimum, to the scope of work outlined above, with a breakdown of estimated hours and assigned personnel in each work task and phase, and costs associated with each task. A description of how the consultant team provides quality control to assure a high quality document with a consistent voice, internal consistency, high level of service and successful project completion and management.

New Richmond Focus - Since the City of New Richmond is poised for significant growth within the next 10 years, the selected consulting firm must demonstrate a keen awareness of the City's past and profound understanding of the impacts of future growth. In preparing this proposal, the City would like each firm to specifically demonstrate the following as part of this RFP:

1. How will your plan engage the community in a unique way that links the past (and older generation) to the future (and next generation)?
2. How will your plan be innovative and a working document that is easy to understand, unique to our community (not a boilerplate document that simply changes the name of community or parts of the current document) and is functional for years to come?
3. How will your public engagement process actually engage the community? Why on a warm summers night would we want to come to hear your team speak?
4. Since land use is the biggest component of this plan, what innovative tools do you intend to bring to assist us in this process?
5. How do you intend to manage this process and remain on budget?

6. In what ways is your firm the most suited to craft, what may be, the most important planning document in our City's history?

Budget and Timeline

The budget for this update is \$25,000 - \$30,000. The final dollar amount will be negotiated with the selected firm/team as part of the final contract for this periodic update. If the City is unable to negotiate a satisfactory contract with the firm selected, negotiation with that firm will terminate and the City may select another firm. The City of New Richmond may choose to have the consultant firm engage in additional corridor studies regarding land use. We anticipate these concept plans to range from \$2,000 - \$3,000.

The proposed budget total should include all expenses and materials to deliver the work products. The City of New Richmond will not be liable for any costs incurred by the consultant in preparation of a proposal submitted in response to this RFP, in conjunction with a presentation or other activities related to responding to this RFP. No costs chargeable for work under the proposed contract may be incurred before receipt of either a fully executed contract with the City or specific written authorization from the City of New Richmond.

Timeline

RFP Release	February 9, 2016
Staff meeting with prospective Consultants	February 16, 2016 at 2:00 p.m.
Deadline for submittal of RFP	February 29, 2016
Staff/RFP Review Committee	March 1 – March 4, 2016
Interviews with Consultants	March 7 – March 11, 2016
Recommendation to City Council	March 14, 2016
Project Completion	November 30, 2016

*** The City will be conducting an informational meeting for any perspective firms on February 16, 2016 at 2:00 p.m. at City Hall. During this meeting, City staff will provide an overview of the project, highlight key data, discuss the recommended process and answer any questions. We will not be taking individual meetings. If your firm can not attend this meeting, we will provide a call-in number and master email list to ensure that all firms receive the same information. ***

Selection Process

The selection process will include review of proposals, preparation of a short list and final interviews. It is the City's desire to select a consultant and get final City approval at the City Council meeting on March 14, 2016.

Proposals will be reviewed by the RFP Review Committee. The Committee will be made up of one member from the Plan Commission, one City Council member, and three to four staff members. The Committee reserves the right to request additional information from consultants submitting proposals. The following criteria will be considered in the evaluation of the proposals:

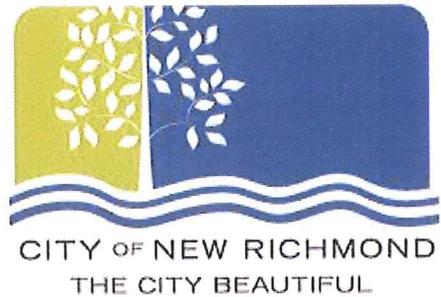
1. Qualifications and previous related work of key personnel and firm, particularly with regard to working with municipalities of similar size, government structure, and issues.
2. Project Manager providing direct oversight and contact with City staff.
3. Understanding of project goals and general approach to the project. Although the City has identified the general nature of services required, the consultant has flexibility toward the approach to the methodology of the project and final product format.
4. Proposed timeline to complete the work and demonstrated ability to meet proposed schedule and budgets on past projects.
5. Quality of sample materials and proposal package submitted.

After the RFP Review Committee completes reviews of submittals, the Committee will interview firms. Key personnel to be assigned to the project shall be present at interviews. The RFP Committee will make a recommendation to the City Council. The City Council will make the final selection.

General Assumptions & Notes

The scope of work contained in this document is predicated upon the following provisions, assumptions and conditions that should be part of any proposal and budget submitted by a consultant. The purpose of this list is to enumerate and describe mutual expectations and understandings required of all parties to this scope of work in order to complete this update on time and within budget.

1. The City may eliminate any task and associated contract hours/fees at any point throughout the contract period and will provide written notification of the task elimination to the consultant. Consultants will be paid for any task and associated contract hours/fees incurred prior to notification of cancellation.
2. All work products, including records, files, documents, plans, computer disks, magnetic media or material which may be produced or modified by the consultant or sub-consultant while performing this work shall belong to the City of New Richmond. Digital copies of any data collected by the consultant or sub-consultants shall be provided to the City of New Richmond.
3. The City expects final GIS data deliveries in ESRI ArcGIS(v10.2) Geodatabase format, matching all content and spatial parameters of the existing city tax parcel data layer.
4. All consultant deliverables will be prepared in MS Word format. All spreadsheets and graphs will be prepared in MS Excel format. All maps and graphs shall be produced in color where appropriate. Digital copies of draft and final deliverables will be provided in both MS Word and PDF file formats as requested by City staff. Digital versions shall include all graphics, tables and appendices in suitable form for publishing on the City website.
6. The consultant will have primary responsibility for coordinating, reviewing and editing information obtained from their team members to ensure that the individual sections of the work submitted are prepared as part of one cohesive framework and/or document consistent in style and content.
7. The City will provide all available government documents, studies, site plans, GIS data layers and mapping, and other technical information pertaining to the study area based on the consultant's data request. Any documents provided in hardcopy shall be returned to the City as appropriate upon completion of the contract.
8. The consultant will provide project updates and other information including graphics suitable for posting on the City's website; the City is responsible for website updates of available project materials.
9. City staff will be responsible for distribution of meeting notices, public meeting room arrangements, and other logistics for public meetings.



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MEMORANDUM

TO: Mayor Horne and Plan Commission Members

FROM: Noah Wiedenfeld, Management Analyst

DATE: January 25, 2016

SUBJECT: Bicycle and Pedestrian Master Plan

BACKGROUND

The City's current Bicycle and Pedestrian Master Plan was last updated in June of 2003. This past fall, City staff assembled a small focus group to help provide input to be incorporated into an updated Bicycle and Pedestrian Master Plan. The focus group consisted of representatives from Westfields Hospital, New Richmond Area Centre, New Richmond Pathway Committee, New Richmond School District, Park Board, Plan Commission, City Council, Big Ring Flyers Cycling Club, and city staff. Meetings were held on November 19th and December 2nd. An online survey was also shared with the community via social media to allow for additional feedback, and was completed by nearly one hundred people.

At the February Plan Commission meeting, City staff will present some of the feedback received from the online survey and focus group meetings. This is an opportunity for the Plan Commission to share additional suggestions to be incorporated into the final draft plan.

ACTION REQUESTED

No formal action is requested at this meeting.