



156 East First Street
New Richmond, WI 54017
Ph 715-246-4268 Fax 715-246-7129
www.newrichmondwi.gov

May 11, 2018

TO ALL PLAN COMMISSION MEMBERS:

Fred Horne Michelle Scanlan
Jim Zajkowski David Wilford
Mike Kastens David Tyvoll
MaryKay Rice

This is to notify you that there is a Plan Commission meeting scheduled for Tuesday, May 15, 2018 at 5:00 p.m. in the Council Chambers of the Civic Center, 156 East First Street, City of New Richmond, WI.

AGENDA:

- 1) Roll Call
- 2) Adoption of Agenda
- 3) Approval of the Minutes of the Previous Meeting, May 8, 2018
- 4) Public Hearing to consider the following:
 - a) Application for Conditional Use Permit from Federal Foam to allow an exception to the building exterior finish materials required within the Z7 District in accordance with Section 121-49 G4 of the Zoning Ordinance. Property is located west of 600 Wisconsin Drive and described as: 261-1070-46-005 SEC 10 T30N R18W PT NE NW & PT SE NW; FKA PT CSM 20-5082 NKA CSM 23-5574 LOT 5 (5.470AC) and Site Plan and Stormwater Review
 - b) Adoption of a Comprehensive Plan update as required by the Wisconsin Smart Growth Comprehensive Planning Law
- 5) Action on Public Hearing Agenda
- 6) Communications and Miscellaneous
- 7) Adjournment

Fred Horne
Mayor

cc:

The News
Mike Darrow
Bob Meyer
Craig Yehlik
Sarah Skinner
Jeremiah Wendt

Northwest Cable
Nick Vivian
Dan Licht
Beth Thompson
Joel Enders
Weston Arndt

City Website
Mike Demulling
Jim VanderWyst
Rae Ann Ailts
Noah Wiedenfeld
Kevin Blader

PLAN COMMISSION MEETING
MAY 8, 2018 - 5:00 P.M.

Members Present: Fred Horne, Mike Kastens, Jim Zajkowski, Michelle Scanlan, David Tyvoll and MaryKay Rice

Members Absent: David Wilford

Others Present: Beth Thompson, Dan Licht, and Tanya Batchelor

Fred Horne called the meeting to order and roll call was taken.

Mike Kastens moved to adopt the agenda as presented, seconded by MaryKay Rice and carried.

David Tyvoll moved to approve the minutes of the previous meeting on April 5, 2018, seconded by Michelle Scanlan and carried.

Public Hearing

Fred Horne declared the Public Hearing open to discuss the following:

- a) Petition for Annexation from the Wisconsin Department of Transportation for Parcel #038-1141-80-001 and from Michael & Deborah Meyer for Parcel #038-1141-80-000. Property is located between North Fourth Street and Highway 64 and East of Brigetta Drive. Property is described as located in the NE ¼ of the SW ¼ of Section 35, T31N, R18W, Town of Star Prairie, St. Croix County, Wisconsin.

Dan Licht explained the annexation petition for both the WIDOT and for Michael and Deborah Meyer. Meyers would like to connect to City sewer and water. The annexation is consistent with the City's Comprehensive Plan and the Star Prairie Cooperative Plan. The Development Review Committee reviewed the annexation and recommends approval. Beth Thompson stated there are two parcels in the township just to the west of these two properties that she will be contacting to see if they are interested in annexing. In 2018, the City is taking a look at all township parcels that are surrounded by the City to see if they are interested in annexing. Staff is analyzing the process at this time and will present that to the Council at an upcoming work session.

- b) Application for Conditional Use Permit from Federal Foam to allow an exception to the building exterior finish materials required within the Z7 District in accordance with Section 121-49 G4 of the Zoning Ordinance. Property is located west of 600 Wisconsin Drive and described as: 261-1070-46-005 SEC 10 T30N R18W PT NE NW & PT SE NW; FKA PT CSM 20-5082 NKA CSM 23-5574 LOT 5 (5.470AC) and Site Plan and Stormwater Review.

Dan Licht explained that Federal Foam is still working on plans for this. The last revision was received this morning. Staff will have the plans reviewed and ready for the Plan Commission meeting on May 15, 2018.

Jim Zajkowski moved to approve the petition for Annexation from WI DOT and Michael & Deborah Meyer subject to the following condition:

- (1) Meyer shall provide for the single family dwelling upon their property to be connected to City sewer and water utilities within six (6) months from the date of annexation, seconded by Mike Kastens and carried.

Mike Kastens moved to continue the Public Hearing for the Federal Foam Conditional Use Permit until May 15, 2018, seconded by Michelle Scanlan and carried.

Certified Survey Map for City of New Richmond

Dan Licht explained the CSM. Federal Foam will be acquiring the property to the north and west of their existing property. There is also an adjustment to the west lot line to accommodate for trees planted there. The existing drainage and utility easements along the old property line will be vacated by the City Council on May 14, 2018 and the new easements are shown on the CSM. MaryKay Rice moved to approve the Certified Survey Map subject to the following conditions:

- (1) Vacation of existing drainage and utility easements shall be subject to a written agreement drafted by the City Attorney and executed by the involved property owners, subject to approval of the City Council.
- (2) All grading, drainage, and erosion control shall be subject to review and approval of the Public Works Director.
- (3) All utility plans shall be subject to review and approval of the Public Works Director.

Motion was seconded by David Tyvoll and carried.

Communications & Miscellaneous

Beth Thompson reminded the Plan Commission members of the meeting on May 15, 2018 for the Comprehensive Plan and the Federal Foam CUP. A list of comments and other suggestions for the Comprehensive Plan will be sent out to the members prior to the meeting.

MaryKay Rice moved to adjourn the meeting, seconded by Jim Zajkowski and carried.

Meeting adjourned at 5:17 p.m.

Tanya Batchelor
City Clerk



3601 Thurston Avenue
Anoka, MN 55303
763.231.5840
TPC@PlanningCo.com

MEMORANDUM

TO: Beth Thompson

FROM: D. Daniel Licht, AICP

DATE: 10 May 2018

RE: New Richmond – Federal Foam; warehouse expansion

TPC FILE: 164.02

BACKGROUND

The City has received plans for construction of a 100,650 square foot warehouse building within the New Richmond Business and Technical Park. The proposed building is an expansion of Federal Foam's existing facility located southwest of Cernohous Avenue and Wisconsin Drive and will be connected to the existing building by an enclosed breezeway. The proposed development requires site plan review in accordance with Section 121-30 of the Zoning Ordinance that is subject to review and approval of the Development Review Committee. Federal Foam has also applied for a conditional use permit to allow for exterior materials other than that required by the Zoning Ordinance for buildings within the Z7 District in accordance with Section 121-32 of the Zoning Ordinance that is subject to approval by the Plan Commission. A public hearing to consider the conditional use permit application has been noticed for the Plan Commission meeting on 8 May 2018, which was continued to the Plan Commission meeting on 15 May 2018 to allow the developer to submit revised plans.

Exhibits:

- Site location map
- Building Plans (4 sheets)
- Landscape Plan
- Civil Plans (8 sheets)

ANALYSIS

Comprehensive Plan. The subject site is guided by the Comprehensive Plan for industrial use. The proposed warehouse facility would be consistent with the future land use plan. Expansion of existing businesses within the City is also consistent with the economic development goals established by the Comprehensive Plan.

Zoning. The subject site is zoned Z7 District and warehouse uses are a permitted use. The proposed building is subject to administrative review by the DRC in accordance with Section 121-30 of the Zoning Ordinance. Due to the large scale of this project, the DRC will present the proposed development to the Plan Commission for approval. The site and building plans are also subject to review by the Architectural Review Board.

Surrounding Land Uses. The subject site is surrounded by the following existing and planned land uses:

Direction	Land Use Plan	Zoning Map	Existing Use
North	Industrial	Z7 District	Phillips Medisize
East	Industrial	Z7 District	Federal Foam
South	Industrial	Z7 District	Undeveloped
West	Industrial	Z7 District	Barley Johns Undeveloped 45 th Parallel

Building. The proposed exterior of the building must comply with Section 121-49.G of the Zoning Ordinance. Section 121-49.G.3 of the Zoning Ordinance limits use of metal siding for the proposed building to not more than 50 percent of the area of any elevation with brick, stone, rock face block, or precast concrete panels used for the remaining exterior material. All sides of the proposed building are to have essentially the same or coordinated exterior finish materials.

The exterior elevations of the proposed building have less than 50 percent masonry finish including the north elevation facing Wisconsin Drive and do not comply with the requirements of the Zoning Ordinance. The primary finish material on the north elevation and at the southeast and southwest corners is a Texturewall metal panel that has a surface appearance similar to masonry panels or stucco/EIFS. There is also a brick veneer wainscoting at the base of the Texturewall panels and surrounding the windows and door of the office portion of the building. The primary finish on the west, south, and east elevations is a prefinished metal panel.

The Zoning Ordinance allows that where buildings are not visible from residential uses, exceptions to the exterior finish requirements may be allowed administratively; the proposed building is not visible to surrounding residential uses. Section 121-49.G.4 allows further exceptions to the exterior finish requirements by approval of a conditional use permit subject to the Plan Commission making findings that:

- a. The proposed building maintains the quality and value intended by [the Zoning Ordinance].
- b. The proposed building is compatible and in harmony with other structures within the district.

City staff provides the following photographs of existing buildings surrounding the subject site that show use of metal exterior finishes as typical of the area.



Continued use of metal siding for new construction within the New Richmond Business and Technical Park to the extent allowed by the Development Covenants is an effective, functional, and durable exterior finish for an industrial area. Most of the existing buildings in the area, as well as the proposed building, incorporate masonry type finishes to add aesthetic value only at the front elevation visible from public streets. Furthermore, the draft Comprehensive Plan,

although not yet formally adopted, outlines the need to define tiered standards for industrial building exterior finish requirements whereby only the most visible properties adjacent to major roadways or abutting residential uses must utilize a higher percentage of masonry materials. The exterior finishes for the proposed building are consistent with the character of surrounding development and the subject site is at an interior location within the industrial park not visible from West Richmond Way or nearby residential uses. The request for a conditional use permit to allow the proposed exterior finishes meets the criteria established by Section 121-49.G.4 of the Zoning Ordinance.

Landscaping. A landscape plan has been provided and is subject to the requirements of Section 121-55 of the Zoning Ordinance. Table 15 of the Zoning Ordinance requires the greater of one tree per 5,000 square feet of lot area or one tree per 100 feet of perimeter lot line, not to exceed 40 trees as the building area is greater than 40,000 square feet. A total of 37 trees are required for the proposed combined lot. There are eight existing trees in the yard of the proposed lot in the yard abutting Cernohous Avenue. The proposed landscape plan adds 29 additional trees for a total of 37 trees, which complies with the number required. The type sizes of proposed trees complies with Sections 121-55.D and E of the Zoning Ordinance. Section 121-55.I.2 of the Zoning Ordinance requires the developer to provide a financial guarantee equal to 125 percent of the cost for materials and labor for the proposed landscape plan. The security is to be held by the City until it is verified that all plantings have survived through two winter seasons between October 31 and April 30.

Setbacks. Table 10.c of the Zoning Ordinance establishes the following setbacks applicable to the proposed warehouse addition within the combined lot. The proposed site plan complies with these setback requirements.

	Wisconsin Dr.	Cernohous Ave.	West	South
Principal Building	30ft.	25ft.	10ft.	20ft.
Parking/Drive Aisles	15ft.	10ft.	5ft.	5ft.

If the combined lot is subdivided in the future, the common lot line between the lot with the proposed warehouse and the lot with the existing warehouse becomes a side lot line and a rear lot line, respectively. The required setback between buildings across this lot line would be 30 feet (10ft. side setback + 20ft. rear setback). The site plan shows that the existing and proposed warehouse buildings are separated by 60 feet, which would allow for the proposed resubdivision of the lots in compliance with setback requirements of the Z7 District.

Access. Section 70-39 of the City Code limits each property to one driveway and driveway width is limited to 26 feet. Exceptions to these requirements for site specific access and traffic circulation needs are allowed subject to the recommendation of the Public Works Director. The site plan includes the access to Cernohous Avenue for the existing building. The site plan provides for extension of the driveway south of the existing building west to access the loading docks on the south elevation of the proposed building, then circulating around the west side of

the proposed building and extending to an access to Wisconsin Drive. The proposed internal circulation and accesses to both Cenrohus Avenue and Wisconsin Drive is necessary for efficient truck movements. The proposed access to Wisconsin Drive also serves the employee parking lot to the north of the proposed building and would serve as the primary access if the lot is subdivided in the future with separation of the existing and proposed buildings with removal of the breezeway. There is also a second existing driveway to Wisconsin Drive at the northeast corner of the proposed lot that accesses employee parking to the north and east of the existing building. The parking area to the north of the proposed building will be connected to the drive aisle north of the existing building. All accesses comply with the width requirements of the Zoning Ordinance.

Pedestrian Access. A five foot wide concrete sidewalk is proposed along the width of the north building elevation between the proposed building and off-street parking area. There is an existing trail along Wisconsin Drive abutting the subject site. Pedestrians may walk along the drive aisle between the front of the building and Wisconsin Drive to reach the public trail.

Off-Street Parking. Table 14 of the Zoning Ordinance requires off-street parking stalls to be provided at one stall per two employees on the maximum shift, plus one stall per 2,000 square feet of building area. Federal Foam has provided information that there will be 18 employees on a shift for the proposed building, requiring nine parking stalls. The 100,650 square foot building requires at least 51 parking stalls based on the area of the building. A total of 60 off-street parking stalls are required and the site plan illustrates that 61 parking stalls are to be constructed north and south of the proposed building. The site plan shows 3 stalls designated as disability accessible located north of the proposed building to comply with ADA standards. Off-street parking stalls have dimensions of 9 feet by 20 feet and are accessed by 26 foot wide drive aisles as required by Table 13 of the Zoning Ordinance. The parking area is surfaced with asphalt or concrete and surrounded by perimeter curb in accordance with Section 121-52.A.5 of the Zoning Ordinance.

Trash Storage. No exterior refuse area is shown on the site plan and no trash room storage area is identified on the building floor plans. Section 121-48.C of the Zoning Ordinance requires exterior storage of waste and recycling containers be screened by an enclosure. If exterior storage of trash containers is intended, an enclosure is required to be constructed of materials consistent with that of the principal building that will completely screen the view of the trash containers.

Exterior Lighting. A photometric lighting plan is required to be submitted to illustrate the location and intensity of proposed exterior lighting fixtures for compliance with Section 121-51.A.1 of the Zoning Ordinance.

Signs. The submitted building elevations identify a location for a wall sign on the north elevation above the office windows. No freestanding sign location is shown on the site plan.

Grading. The developer has submitted a grading plan and erosion control plan for the proposed site plan. All grading, drainage and utility issues are subject to review and approval of the Public Works Director.

Utilities. Municipal utilities are available at the property, including sanitary sewer, water, and electric service. All utility issues are subject to review and approval of the Public Works Director.

RECOMMENDATION

The Development Review Committee (DRC) reviewed the submitted plans at their meetings on 12 April 2018 and 30 April 2018 and recommends approval of the applications subject to the conditions outlined below.

POSSIBLE ACTIONS

- A. Motion to **approve** site plan and a conditional use permit for exterior materials for Federal Foam, subject to the following conditions:
1. The developer shall provide a financial guarantee equal to 125 percent of the cost for materials and labor for proposed landscape plan to be held by the City until it is verified that all plantings have survived through two winter seasons between October 31 and April 30.
 2. Any exterior storage of waste and recycling containers must be screened by an enclosure as required by Section 121-48.C of the Zoning Ordinance.
 3. A photometric lighting plan illustrating the location and intensity of proposed exterior lighting fixtures complying with Section 121-51.A.1 of the Zoning Ordinance and is subject to review and approval of the Zoning Administrator.
 4. All signs require issuance of a sign permit by the Building Inspector prior to placement and must comply with Section 121-44 of the Zoning Ordinance.
 5. All grading, drainage, and erosion control shall be subject to review and approval of the Public Works Director, including execution of a maintenance agreement.
 6. All utility plans shall be subject to review and approval of the Public Works Director, and:
 - a. Cleanouts located within the pavement are recommended to be provided with a casting rather than the concrete with PVC.

- b. Confirm that the hydrant near the building can be built with the depth of the watermain at that location.
- B. Motion to **deny** the applications based on a finding that the request does not comply with the Zoning Ordinance and/or Subdivision Ordinance.
- C. Motion to **table** for further discussion.
- c. Michael Darrow, City Administrator
Jeremiah Wendt, Public Works Director
Sarah Skinner, Building Inspector
Nick Vivian, City Attorney



**NEW WAREHOUSE ADDITION FOR:
FEDERAL FOAM TECHNOLOGIES, INC.
600 WISCONSIN DRIVE
NEW RICHMOND, WI 54017**

1409 122ND STREET - SUITE C
CHIPPewa FALLS, WI 54724
PHONE: 715.832.0875
FAX: 715.726.1660
www.rivervalleyarchitects.com



NEW WAREHOUSE ADDITION FOR:
FEDERAL FOAM TECHNOLOGIES, INC.
600 WISCONSIN DRIVE
NEW RICHMOND, WI 54017

DATE:	04.27.2016
ISSUE:	
DATE:	
SHEET NO:	AO.1
DRAWN BY:	KON
CAD NO:	
17-004	

SHEET INDEX	
GENERAL	A0.1 TITLE SHEET, LOCATION MAP AND DRAWING CONVENTIONS
	A0.2 LIFE SAFETY PLANS
CIVIL	C100 CIVIL TITLE SHEET
	C200 EXISTING SITE CONDITIONS
	C300 SITE PLAN
	C400 UTILITY PLAN
	C500 GRADING PLAN
	C600 EROSION CONTROL PLAN
	C700 DETAILS
	C701 DETAILS
ARCHITECTURAL	CL000 LANDSCAPE PLAN
ARCHITECTURAL	A2.0 WALL TYPES
	A2.1 FLOOR PLAN
	A2.2 ENLARGED FLOOR PLANS
	A2.3 ENLARGED FLOOR PLANS
	A2.4 REFLECTED CEILING PLAN
	A2.5 ROOF PLAN
	A2.1 ROOM FINISH SCHEDULE MATERIAL LEGEND
	A2.2 INTERIOR ELEVATIONS
	A2.3 INTERIOR ELEVATIONS
	A2.4 OPENING SCHEDULES AND DOOR WINDOW TYPES
	A2.5 EXTERIOR 3D VIEWS
	A2.6 EXTERIOR ELEVATIONS
	A2.7 BUILDING SECTIONS
	A2.8.1 WALL SECTIONS
STRUCTURAL	S1 PARTIAL FOUNDATION PLAN/SCHEDULE DETAIL
	S2 PARTIAL FOUNDATION PLAN/SCHEDULE DETAILS
	S3 FOUNDATION SECTIONS/DETAILS/NOTES

OWNER:
FEDERAL FOAM TECHNOLOGIES, INC.
600 WISCONSIN DRIVE
NEW RICHMOND, WI 54017
PHONE: 715.246.2930

ARCHITECT:
RIVER VALLEY ARCHITECTS, INC.
1409 122ND STREET - SUITE C
CHIPPewa FALLS, WI 54724
PHONE: 715.832.0875

CIVIL DESIGN:
AEC
1560 INTERNATIONAL DRIVE
EAU CLAIRE, WI 54601
PHONE: 715.852.0550

STRUCTURAL DESIGN:
A.M. STRUCTURAL ENGINEERING
112 E. MAPLE STREET
RIVER FALLS, WI 54022
PHONE: 715.426.4480

GENERAL CONTRACTOR:
DERRICK BUILDING SOLUTIONS
1509 HIGHWAY 65
NEW RICHMOND, WI 54017
PHONE: 715.246.2930

PLUMBING DESIGN:
BY OTHERS

HVAC DESIGN:
BY OTHERS

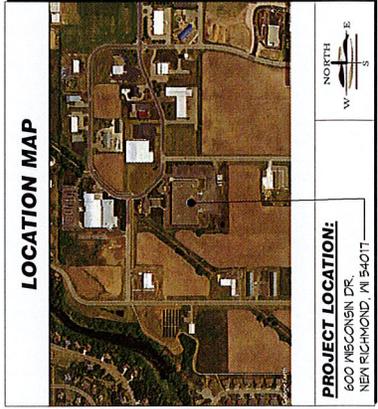
ELECTRICAL DESIGN:
BY OTHERS

BUILDING INFORMATION

- BUILDING OCCUPANCY: STORAGE (S-1), BUSINESS (B)
- CONSTRUCTION TYPE: 1B
- FIRE PROTECTION: COMPLETE (N/A) BY (ECS) SPRINKLERS IN WAREHOUSE

BUILDING AREAS	FOOTING	FOUNDATION	TOTAL
100,000 SF	100,000 SF	100,000 SF	200,000 SF

NOTE: SEE SHEET AO.2 FOR ADDITIONAL PROJECT INFORMATION / CODE DATA



GENERAL NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS INCLUDING LOCATIONS OF EXISTING UTILITIES AND FABRICANTS.
- ALL WORK SHALL BE IN COMPLIANCE WITH LOCAL, STATE AND NATIONAL CODES FOR RESPECTIVE TRADES.
- DO NOT SCALE DRAWINGS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS.
- PROVIDE ILLUMINATED EXIT LIGHTS AT ALL EXTERIOR DOORS PER PLAN.
- PROVIDE FIRE EXTINGUISHERS AT THE LOCATIONS SHOWN ON THE PLANS.
- EXIT DOORS SHALL HAVE SUCH FASTENING OR HARDWARE THAT THEY CAN BE OPENED FROM THE INSIDE BY TURNING A SINGLE LEVER (USING A CLOSED FIST) WITHOUT THE USE OF A KEY.
- PROVIDE ACCESS FOR THE DISABLED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT, 28 CFR 1191.2003.
- PROVIDE A DESIGNATED SPACE ADJACENT TO THE BUILDING FOR THE SEPARATION, TEMPORARY STORAGE AND COLLECTION OF RECYCLABLE MATERIALS.
- DRAWINGS AND SPECIFICATIONS ARE TO BE CONSIDERED AS SUPPLEMENTING EACH OTHER. WORK SPECIFIED, BUT NOT SHOWN, OR SHOWN, BUT NOT SPECIFIED SHALL BE PERFORMED AS THOUGH MENTIONED IN BOTH SPECIFICATIONS AND DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING EXPANSION/CONTROL JOINTS IN ALL MATERIALS, SYSTEMS AND BUILDING CONFIGURATIONS INCLUDING CAULKING AS REQUIRED. JOINTS SHALL BE LOCATED AT 20' O.C. FOR MASONRY WALLS AND 20' TO 30' O.C. BOTH DIRECTIONS FOR SYSTEM BOARD WALLS, SOFFITS, CEILING, ETC.
- THERE IS SOME OVERLAP BETWEEN ARCHITECTURAL AND STRUCTURAL PLANS. REVIEW COMPLETE PLANS FOR ARCHITECTURAL/STRUCTURAL WORK.
- INFORMATION PERTAINING TO EXISTING CONDITIONS IS BASED ON AVAILABLE RECORDS AND/OR VISUAL INSPECTION OF THE EXISTING CONDITIONS. WHILE THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS, THE ARCHITECT MAKES NO EXPRESS OR IMPLIED GUARANTEE THAT CONDITIONS SO INDICATED ARE ENTIRELY REPRESENTATIVE OF THOSE ACTUALLY EXISTING. CONTRACTORS SHALL NOTIFY THE ARCHITECT AT ONCE OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS DISCOVERED PRIOR TO STARTING CONSTRUCTION. ANY DISCREPANCIES SHALL BE VERIFIED BY ALL TRADES PRIOR TO STARTING CONSTRUCTION.
- THE OWNER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING PERMITS AND OBTAINING ALL NECESSARY PERMITS. VERIFY BUILDING ELEVATION AND ALL SITE GRADING WITH OWNER. ALL GRADING WORK OF MORE THAN ONE ACRE SHALL REQUIRE A WATER RESOURCES APPLICATION FOR PROJECT PERMITS (WRAPP) BE FILED WITH THE DNR.
- THE OWNER AND/OR CLIENT HAS ASSUMED RESPONSIBILITY FOR ALL BIDDING, CONSTRUCTION OBSERVATION AND RELATED DETAILS.
- ALL DETAILS NOT INDICATED SHALL BE THE RESPONSIBILITY OF THE OWNER AND CONTRACTOR.

OFF-STREET PARKING REQUIREMENTS:

- ZONING REQUIREMENTS:**
- SITE ZONING: ZT SPECIAL USE DISTRICT
 - MINIMUM REQUIRED: 157 STALLS PER 1,000 SF OF BLDG AREA
 - PROPOSED: 20 STALLS PER 1,000 SF OF BLDG AREA
 - ALSO TO INCLUDE: 10 STALLS PER 1,000 SF OF BLDG AREA
 - PROPOSED: 10 STALLS PER 1,000 SF OF BLDG AREA
- ACCESSIBLE PARKING REQUIREMENTS:**
- PROPOSED PARKING STALLS: 6 STALLS (60.0%)
 - 1 TO 25 STALLS: 1 ACCESSIBLE
 - 26 TO 50 STALLS: 2 ACCESSIBLE
 - 51 TO 75 STALLS: 3 ACCESSIBLE
 - 76 TO 100 STALLS: 4 ACCESSIBLE

LANDSCAPING NOTES:

- GENERAL NOTES:**
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL PUBLIC AND PRIVATE UTILITIES AND INSTALLING ALL ITEMS WITH PROPER CONSTRUCTION MEANS AND METHODS.
 - BLACK DIRT SHALL BE APPLIED TO IMPROVE SOIL CONDITIONS IN PLANTING BEDS TO A DEPTH OF 12" MIN.
 - ALL PLANTING SHALL BE TRUE TO NAME, SIZE AND PROPOSED LOCATION. ALL PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z601).
 - ADJUST PLANTING LOCATIONS AS NEEDED BASED ON UTILITY LOCATIONS.
- PROJECT NOTES:**
- INSTALL PROFESSIONAL GRADE ALUMINUM EDGING AT ALL PLANTING BEDS THAT DO NOT MEET SPECULANUS BEDS UNLESS NOTED OTHERWISE.
 - INSTALL PROFESSIONAL LANDSCAPE FABRIC AND 1" WASHED RIVER ROCK MULCH OVER ALL PLANTING BEDS UNLESS NOTED OTHERWISE.
 - RESERVE ALL DISTURBED AREAS AS SOON AS PRACTICAL. ALL AREAS MUST BE TOPSOILED, SEEDED AND MULCHED OR WATERED. SEEDING MAY NOT BE USED ON THE EXISTING FACILITIES PRIOR TO THE PLACEMENT OF SEED OR SOIL. TOPSOIL SHALL BE FERTILIZED AT A RATE OF 10 POUNDS PER 1,000 SF. AND INCORPORATED TO A DEPTH OF 2 INCHES.

TREE SCHEDULE

TAG/SYMBOL	PLANT DESCRIPTION	PLANT SIZE	QUANTITY	NOTES
AB	AGERY FREEMARK 'JERFORD'	25 INCH CALIPER 120.0 TO BE 18.0 INCH CALIPER	12	L
BB	SOFTY 'SALISBURY'	25 INCH CALIPER 20.0 TO BE 18.0 INCH CALIPER	5	L
CC	VALIS 'HOPA'	1 INCH CALIPER	12	L
	TOTAL		29	

- NOTES:**
- FINISH AND INSTALL PER DETAIL 2001L OR 2105 DET.
 - VERIFY PRESSURE TIGHTNESS AND LEAKAGE CONTRACTOR SPECIES SUBJECT TO CHANGE BASED ON AVAILABILITY.
- BLDG AREA: 103,043 / 5,000 + 20 TREES
PROPERTY BOUNDARY: 31 TREES REQUIRED (8 EXISTING, 23 TO REMAIN) 20 INCH TREES REQ'D

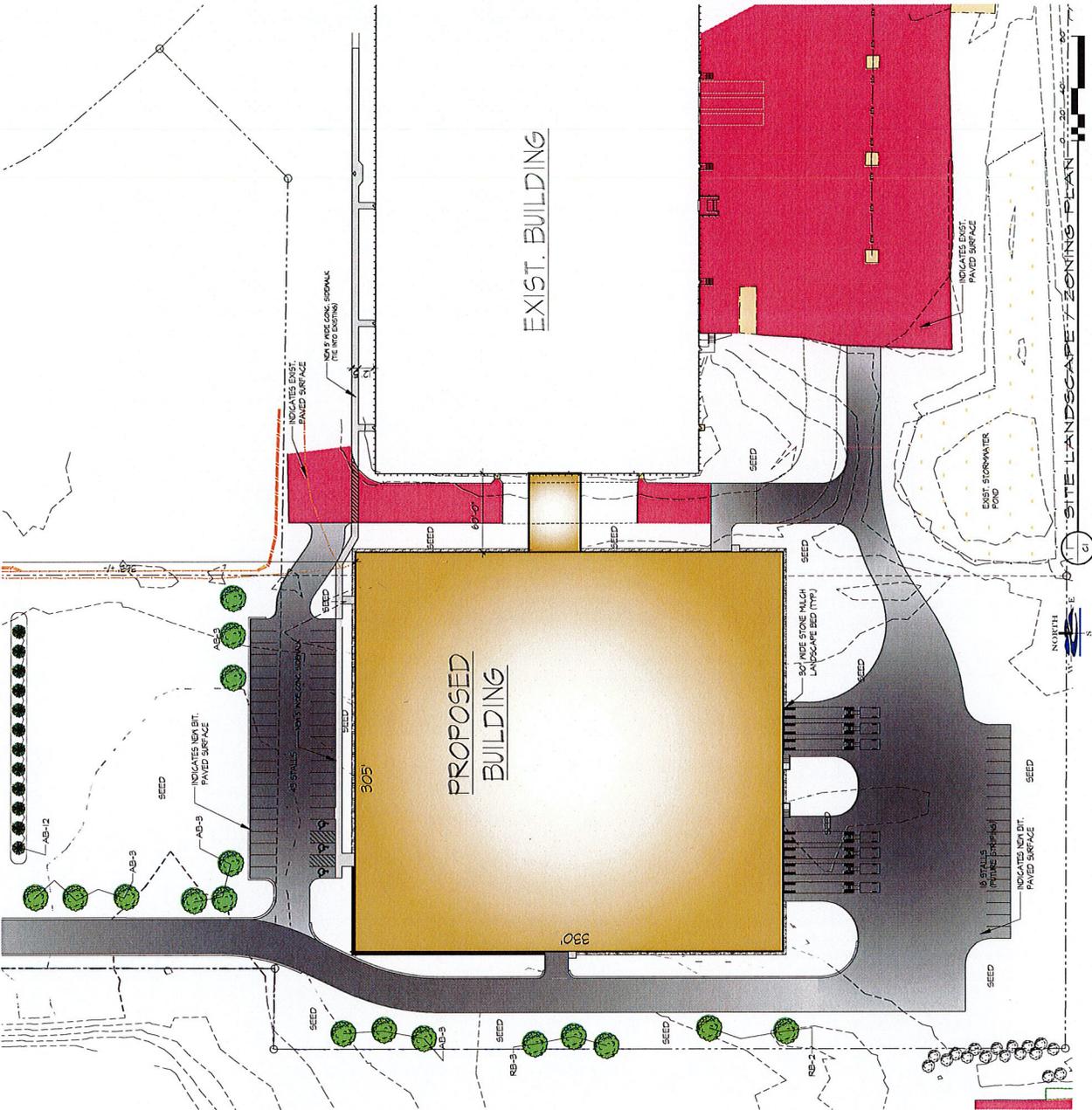
LOT COVERAGE AREAS

TOTAL BLDG AREA	103,043 SF
TOTAL PAVED AREA	69,925 SF
TOTAL SITE AREA	359,225 SF

BLDG AND PAVED AREAS = 14% OF SITE

ADDITIONAL SITE REQUIREMENTS:

- SEWERAGE REQUIREMENTS:**
- SITE ZONING: ZT SPECIAL USE DISTRICT
 - MAX PAVIL SIZES: 4.0' / EA. LINEAL FT. OF PAVIL MAX 300 SF PER SIGN
 - SEE EXISTING ELEVATIONS FOR PROPOSED PAVIL SIGNAGE.
 - NO MONUMENT OR POLE SIGNS PROPOSED FOR THIS PROJECT.
- SITE LIGHTING:**
- ALL SITE LIGHTING TO BE PAVIL MOUNTED "W/ OFF-THE-SHELF FIXTURES."

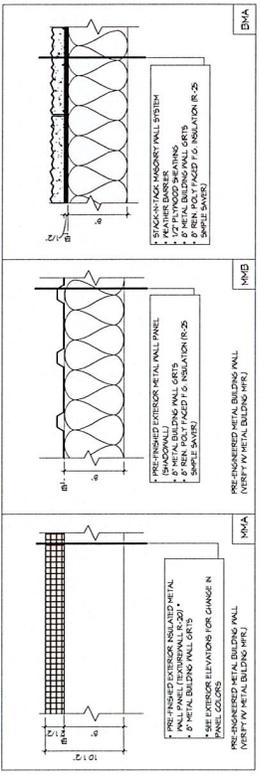


1028 125th STREET - SUITE C
GRAND PRAIRIE, ILL. 60138
PHONE: 708.932.0275
FAX: 708.170.4648
WWW.RIVERVALLEYARCHITECTS.COM

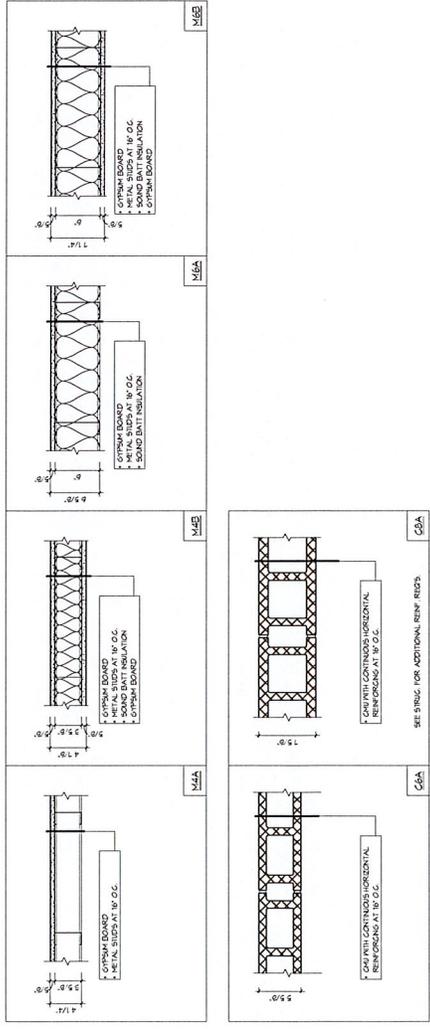
RIVER VALLEY ARCHITECTS, INC.

NEW WAREHOUSE ADDITION FOR
FERRAL FOAM TECHNOLOGIES, INC
600 WISCONSIN DRIVE
NEW RICHMOND, IL 62071

DATE: APRIL 28, 2009
DRAWN BY: [blank]
NO. [blank]
SHEET NO: [blank]
JOB NO: 110004
CL100



EXTERIOR WALL TYPES
1/2" = 1'-0"



INTERIOR WALL TYPES
1/2" = 1'-0"

EXTERIOR WALL TYPES LEGEND
 INSULATED WALL SYSTEM
 [Symbol] - INDICATES THE WALLS EXTERIOR FINISH MATERIAL
 [Symbol] - INDICATES THE WALLS CORE MATERIAL
 [Symbol] - INDICATES WALL VARIATION
 [Symbol] - F SHOWN - INDICATES WALL FIRE RATING
 WALL CORE MATERIAL
 C - CONCRETE
 S - STUCCO
 K - KICKOUT
 5 - 5/8" CMU
 8 - 8" CMU
 12 - 12" CMU
 16 - 16" CMU
 20 - 20" CMU
 24 - 24" CMU
 30 - 30" CMU
 36 - 36" CMU
 48 - 48" CMU
 60 - 60" CMU
 72 - 72" CMU
 96 - 96" CMU
 120 - 120" CMU
 144 - 144" CMU
 168 - 168" CMU
 192 - 192" CMU
 216 - 216" CMU
 240 - 240" CMU
 264 - 264" CMU
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GENERAL NOTES

- ALL NEW WORK SHALL BE CONSTRUCTED FROM FACE OF EXISTING CONSTRUCTION TO FACE OF SUBSEQUENT WORK UNLESS OTHERWISE NOTED OTHERWISE.
- CONCRETE SHALL BE CAST FROM FACE OF FORMWORK UNLESS OTHERWISE NOTED OTHERWISE.
- FRISH MATERIAL TO FACE OF FORMWORK UNLESS OTHERWISE NOTED OTHERWISE.
- GENERAL CONTRACTOR SHALL COORDINATE WITH OWNER, ARCHITECT AND ALL OTHER TRADES TO VERIFY ALL WORK IS AS SHOWN ON DRAWINGS AND CONTRACT DOCUMENTS.
- FOR OTHER PROTECTED ITEMS, NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERY.
- NOTED OTHERWISE.

LEGEND

ROOM NAME
INDICATES ROOM NAME AND NUMBER

INDICATES WALL TYPE

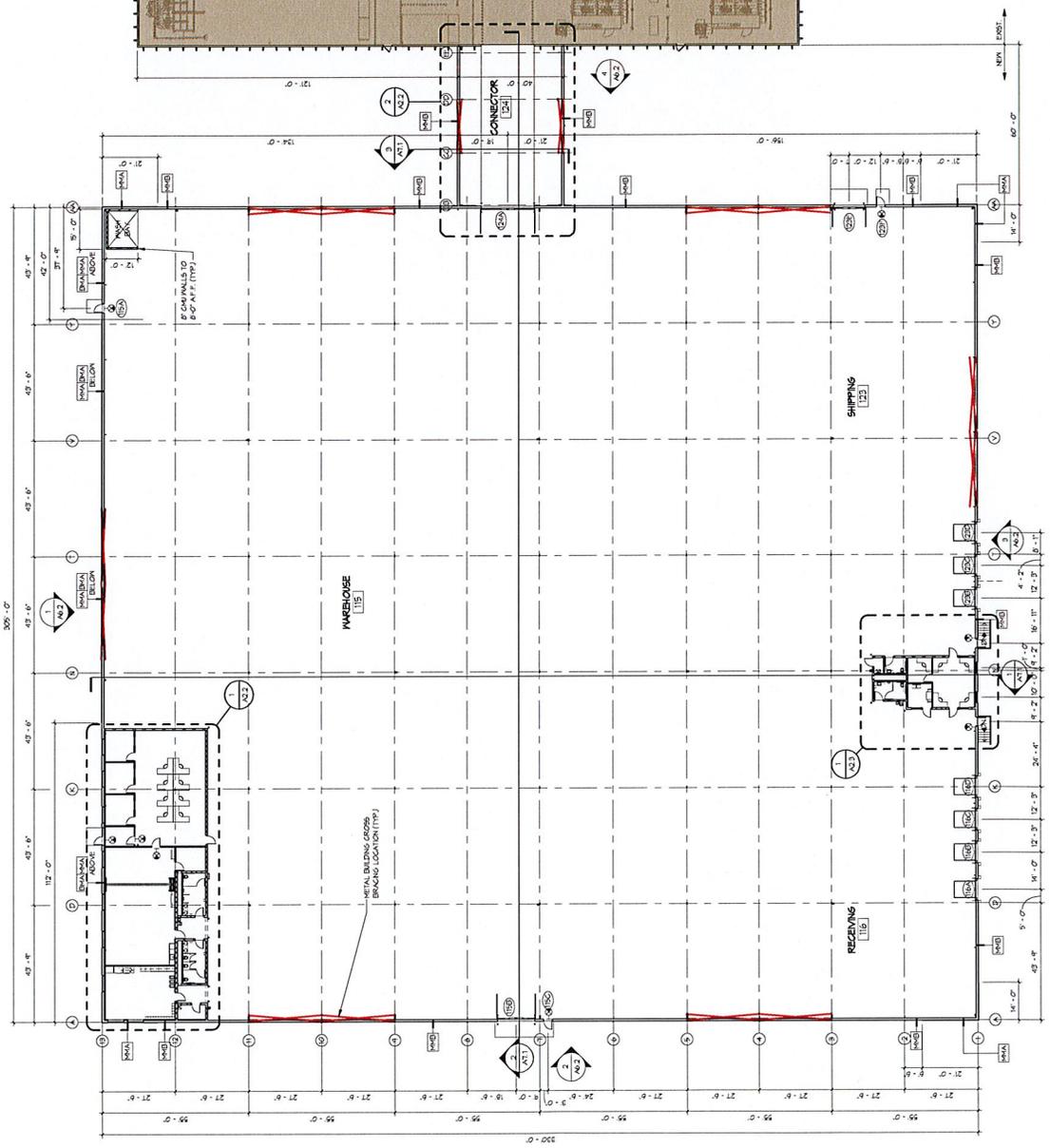
INDICATES DOOR TYPE

INDICATES DOOR TYPE

RIVER VALLEY ARCHITECTS, INC.
1409 122ND STREET - SUITE C
CHIFFEWA FALLS, WI 54724
PHONE: 715.832.0075
FAX: 715.832.1668
WWW.RIVERVALLEYARCHITECTS.COM

FEDERAL FOAM TECHNOLOGIES, INC.
600 WISCONSIN DRIVE
NEW RICHMOND, WI 54017

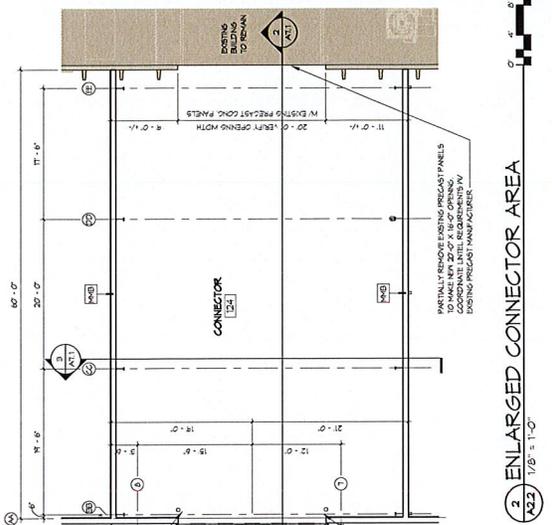
DATE: 04/27/2016
DRAWN BY: KCH
JOB NO: 17-004
SHEET NO: A2.1



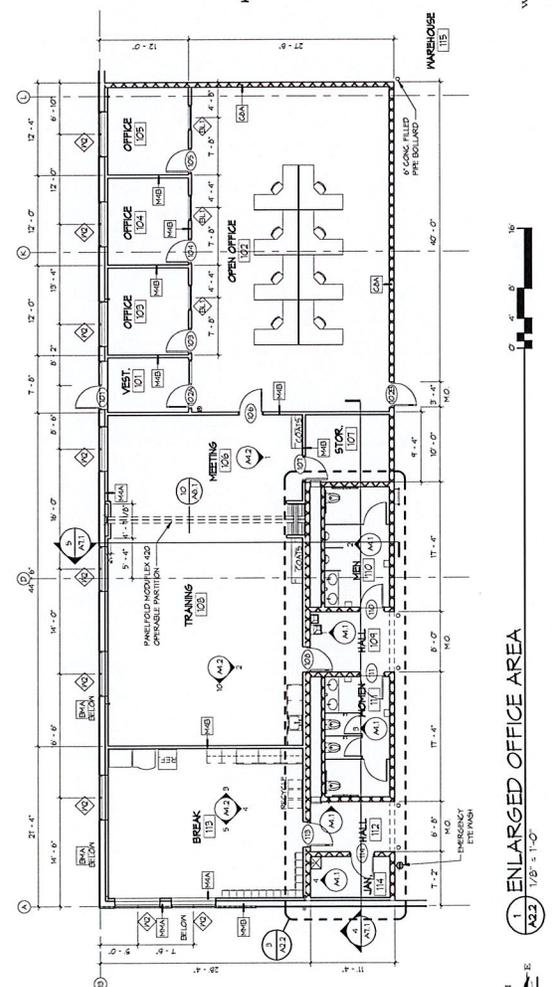
1. FIRST FLOOR PLAN
A2.1 3/16" = 1'-0"


RIVER VALLEY ARCHITECTS, PC
 1409 122nd STREET - SUITE C
 CHEPENA FALLS, WY 82424
 PHONE: 715.832.0875
 FAX: 715.726.1668
 www.rivervalleyarchitects.com

NEW WAREHOUSE ADDITION FOR FEDERAL FOAM TECHNOLOGIES, INC.
 600 RECONSM DRIVE
 NEW RICHMOND, WY 82417
 DATE: 04.27.2016
 DRAWN BY: KCH
 CHECKED BY: TSCOR
 SHEET NO: **A2.2**



2 ENLARGED CONNECTOR AREA
 1/8" = 1'-0"

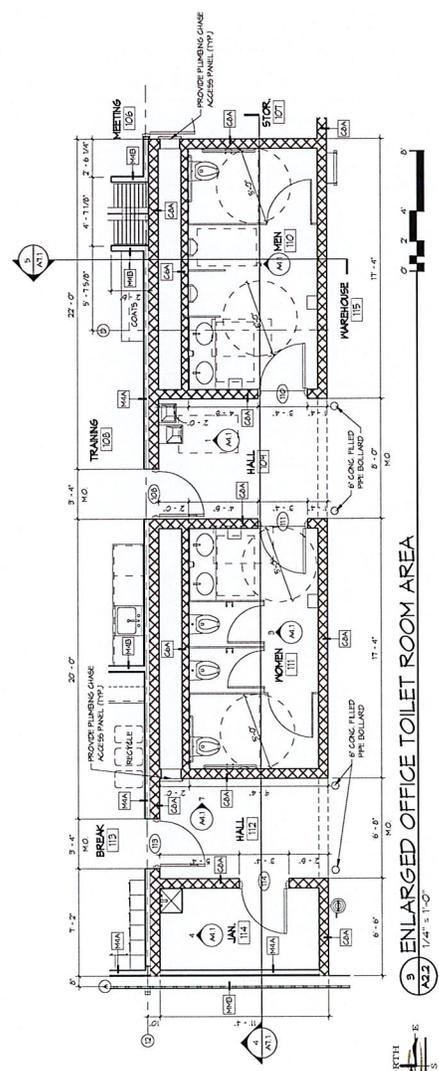


1 ENLARGED OFFICE AREA
 1/8" = 1'-0"

GENERAL NOTES
 A. ALL INTERIOR DIMENSIONS ARE FROM FACE OF STUDY/MAJORITY CONTRIBUTION TO FACE OF STUDY/MAJORITY CONTRIBUTION. ALL DIMENSIONS ARE DIMENSIONED FROM FACE OF STUDY/MAJORITY CONTRIBUTION UNLESS OTHERWISE NOTED.
 B. ALL DIMENSIONS ARE DIMENSIONED FROM FACE OF STUDY/MAJORITY CONTRIBUTION UNLESS OTHERWISE NOTED.
 C. FOR WALL TYPES SEE SHEET A2.1.
 D. GENERAL CONTRACTOR SHALL COORDINATE WITH OWNER, ARCHITECT, AND ALL OTHER TRADES FOR ALL BLOCKING, BRACING AND MOUNTING BEAMS REQUIRED TO SUPPORT THE STRUCTURE.
 E. ALL WALLS TO GO UP TO STRUCTURE ABOVE UNLESS NOTED OTHERWISE.

LEGEND

ROOM NAME	INDICATES ROOM NAME AND NUMBER
(101)	INDICATES PANEL TYPE
(A1)	INDICATES WINDOW OR BORING/LITE TYPE
(D)	INDICATES DOOR TYPE



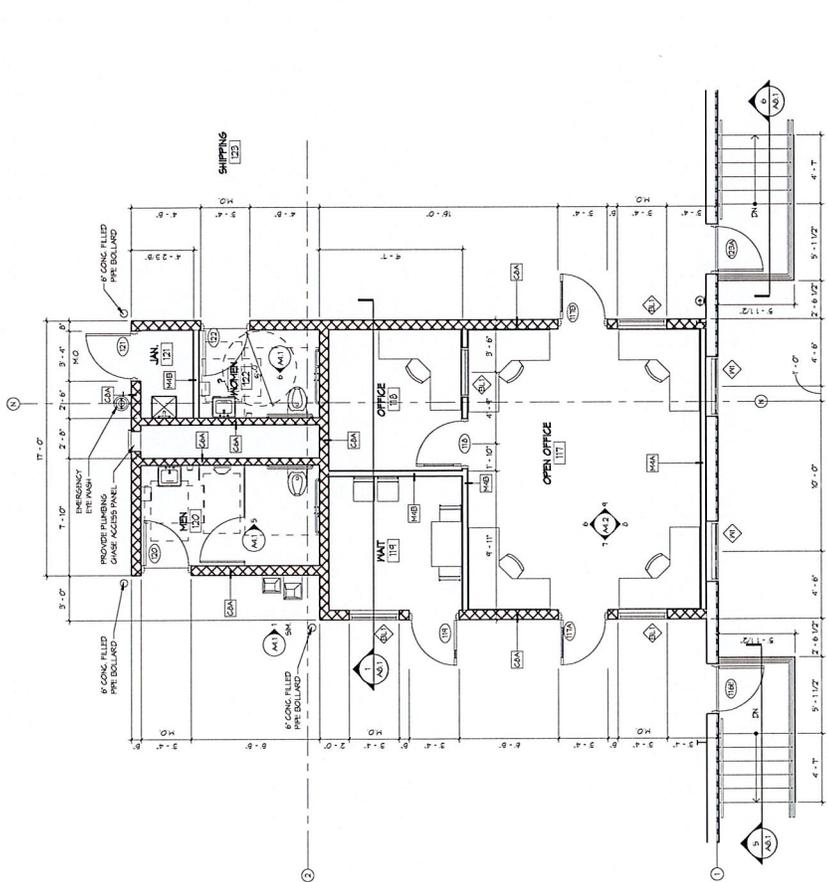
3 ENLARGED OFFICE TOILET ROOM AREA
 1/4" = 1'-0"





1 - FIRST FLOOR - ENLARGED SHIPPING AREA

A2.3 1/4" = 1'-0"



LEGEND

ROOM NAME	INDICATES ROOM NAME AND NUMBER
WALL	INDICATES WALL TYPE
DOOR	INDICATES WINDOW OR DOORSWEEP LITE TYPE
DOOR	INDICATES DOOR TYPE

GENERAL NOTES

- ALL INTERIOR DIMENSIONS ARE FROM FACE OF STUDY CONSTRUCTION UNLESS NOTED OTHERWISE.
- WALL DIMENSIONS ARE DIMENSIONED FROM FACE OF STUDY CONSTRUCTION UNLESS NOTED OTHERWISE.
- FOR WALL TYPES SEE SHEET A2.0 - PARTITION WALLS, OWNER, BEFORE INSTALLATION OF GYPSUM BOARD, ANY FLOOR BLOOMS, BACKING AND MOUNTING BOWMS REQUIRED.
- ALL WALLS TO GO TIGHT TO STRUCTURE ABOVE, UNLESS NOTED OTHERWISE.

1403 1234 STREET - SUITE C
CHIFFENAN FALLS, WI 54754
PHONE: 715.893.0075
FAX: 715.726.1666
www.rivervalleyarchitects.com

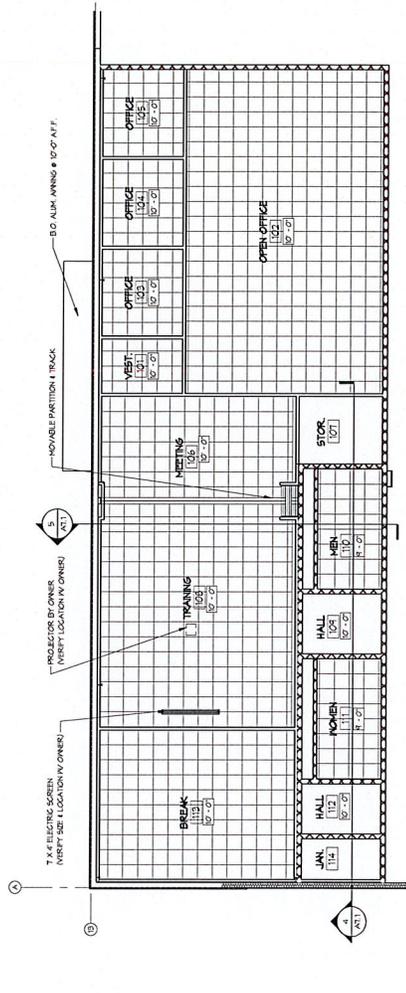


NEW WAREHOUSE ADDITION FOR:
FEDERAL FOAM TECHNOLOGIES, INC.
600 MECOSOND DRIVE
NEW RICHMOND, WI 54017

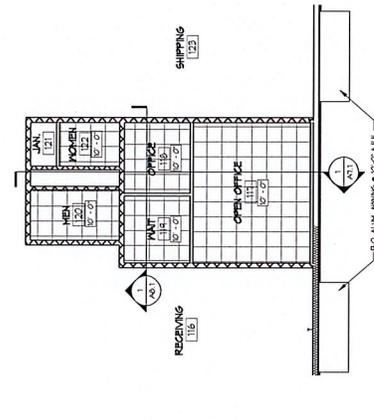
DATE:	04.27.2018
DRAWN BY:	KCH
JOB NO.:	170004
SHEET NO.:	A2.3

GENERAL NOTES

- A. CONTRACTOR SHALL FOLLOW ALL CODES AND PERMITS AS APPLICABLE TO THE REFLECTED CEILING PLAN. ANY
- B. CONTRACTOR SHALL MOUNT SPRINKLER HOODS, SPRINKLERS AND DIFFUSERS IN THE CENTER OF SINGLE CEILING PANELS.



1 REFLECTED CEILING PLAN ENLARGED OFFICE AREA
A2.4 1/8" = 1'-0"



2 REFLECTED CEILING PLAN ENLARGED SHIPPING AREA
A2.4 1/8" = 1'-0"

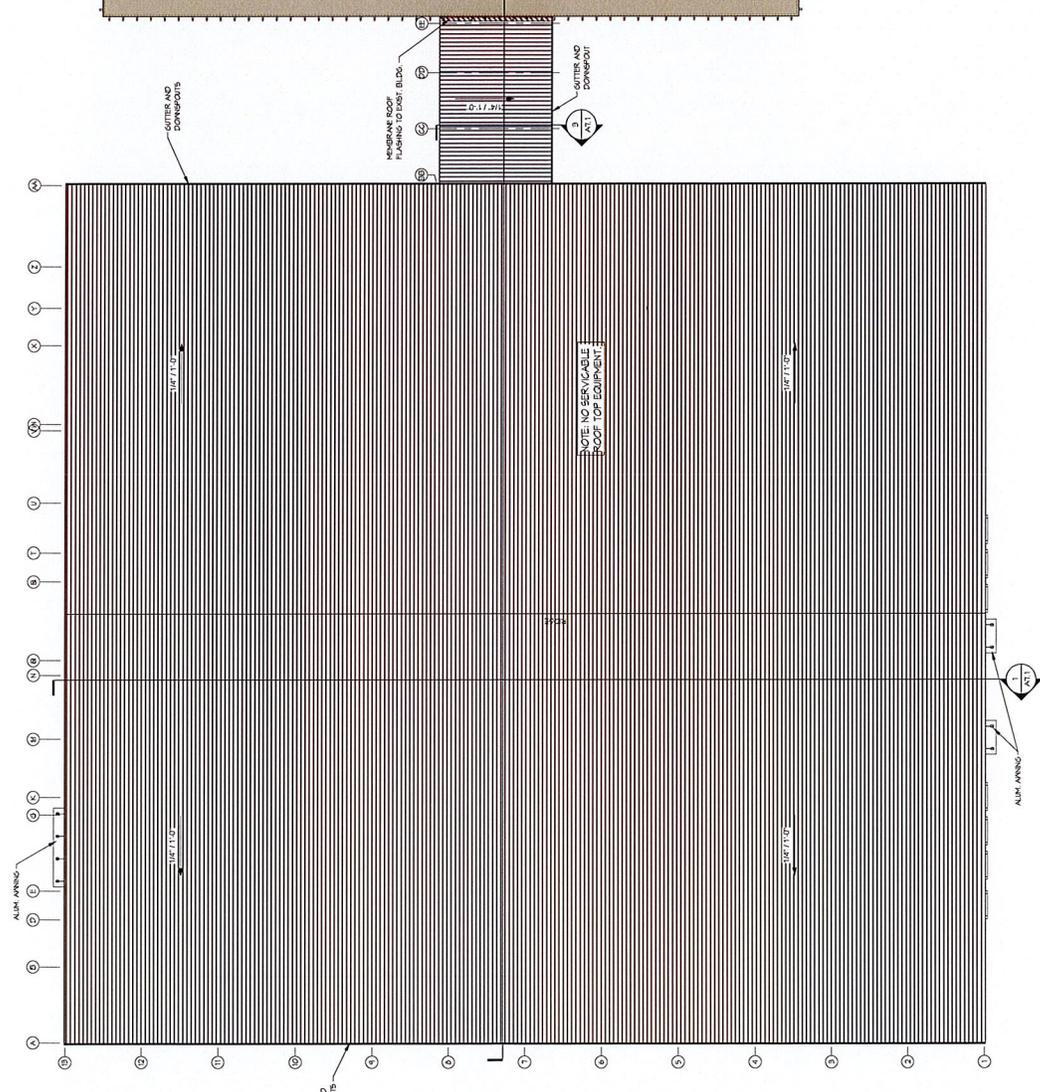
1403 122ND STREET - SUITE C
CHIPPewa FALLS, WI 54724
PHONE: 715.832.0515
FAX: 715.126.1668
www.rivervalleyarchitects.com
RIVER VALLEY ARCHITECTS, INC.

NEW WAREHOUSE ADDITION FOR:
FEDERAL FARM TECHNOLOGIES, INC.
600 MCGONN DRIVE
NEW RICHMOND, WI 54011

DATE:	04.27.2018
WEEK:	
DATE:	
SHEET NO:	A2.4
DRAWN BY:	KCH
JOB NO.:	
FLOOR:	



1. ROOF PLAN
 3/8" = 1'-0"



GENERAL NOTES

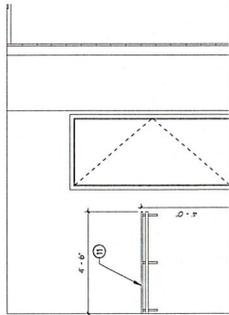
A. MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION SHALL BE INSTALLED IN ACCORDANCE WITH MECHANICAL, ELECTRICAL, PLUMBING AND FIRE CODES AND SHALL BE INSTALLED BY A LICENSED CONTRACTOR TO MEET ALL THROUGH ROOF PENETRATIONS. GUTTERS AND DOWNSPOUTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS TO OBTAIN ROOFING WARRANTY.

1403 132nd STREET - SUITE C
 CHIPPEWA FALLS, WI 54724
 PHONE: 715.822.0215
 FAX: 715.726.1668
 www.rivervalleyarchitects.com

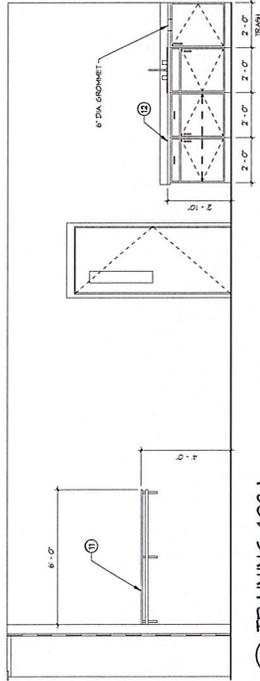


FEDERAL FARM TECHNOLOGIES, INC.
 NEW WAREHOUSE ADDITION FOR:
 600 MISCOSM DRIVE
 NEW RICHMOND, WI 53011

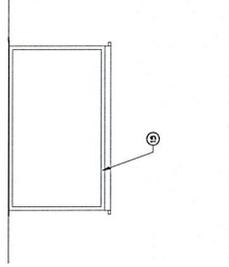
DATE:	04/27/2018
DRAWN BY:	KCH
JOB NO.	
FLOOR:	
SHEET NO.	A2.5



1 MEETING 106
A4.2 3/8" = 1'-0"



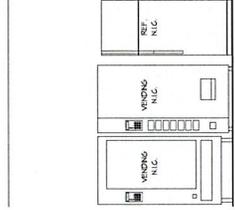
2 TRAINING 108A
A4.2 3/8" = 1'-0"



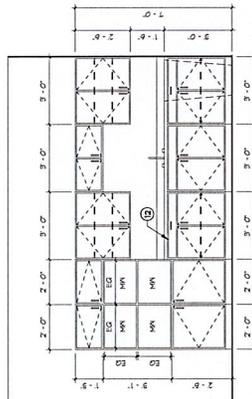
10 TRAINING 108B
A4.2 3/8" = 1'-0"

NOTES

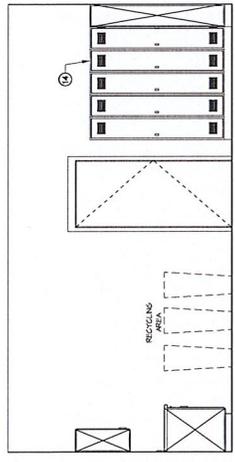
1. 1/2" DIA. DRINKING FONTAIN
2. 24" X 36" MIRROR
3. WATER TOWER DISPENSER
4. 1/2" DIA. MIRROR
5. 1/2" DIA. MIRROR
6. SOLID SURFACE CENTER TOP IN INTERIAL BACKSPASH
7. SOLID SURFACE CENTER TOP IN INTERIAL BACKSPASH
8. SOLID SURFACE CENTER TOP IN INTERIAL BACKSPASH
9. SOLID SURFACE CENTER TOP IN INTERIAL BACKSPASH
10. SOLID SURFACE CENTER TOP IN INTERIAL BACKSPASH
11. SOLID SURFACE CENTER TOP IN INTERIAL BACKSPASH
12. SOLID SURFACE CENTER TOP IN INTERIAL BACKSPASH
13. SOLID SURFACE CENTER TOP IN INTERIAL BACKSPASH
14. SOLID SURFACE CENTER TOP IN INTERIAL BACKSPASH
15. SOLID SURFACE CENTER TOP IN INTERIAL BACKSPASH
16. SOLID SURFACE CENTER TOP IN INTERIAL BACKSPASH



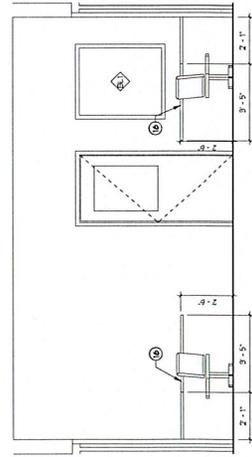
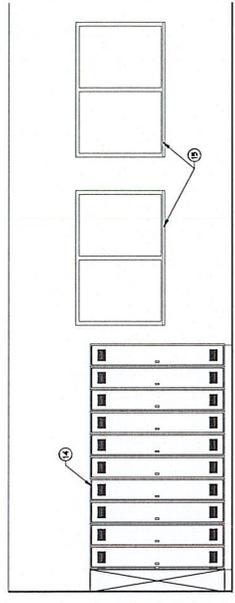
9 BREAK 113A
A4.2 3/8" = 1'-0"



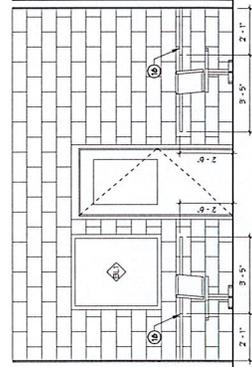
4 BREAK 113B
A4.2 3/8" = 1'-0"



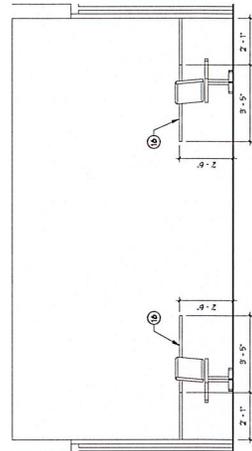
5 BREAK 113C
A4.2 3/8" = 1'-0"



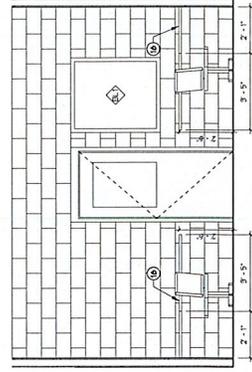
6 OFFICE 117A
A4.2 3/8" = 1'-0"



7 OFFICE 117D
A4.2 3/8" = 1'-0"



8 OFFICE 117C
A4.2 3/8" = 1'-0"



9 OFFICE 117B
A4.2 3/8" = 1'-0"

1409 12TH STREET - SUITE C
CHIREWA FALLS, W 54724
PHONE: 715.832.0075
FAX: 715.726.1668
WWW.RIVERVALLEYARCHITECTS.COM



FEM WAREHOUSE ADDITION FOR:
FEDERAL FOAM TECHNOLOGIES, INC.
602 MCGONSH DRIVE
NEW RICHMOND, W 54017

DATE:	04.27.2016
WORK DATE:	
SHEET NO.:	A4.2
DRAWN BY:	KCH
JOB NO.:	171004

DOOR SCHEDULE

DOOR NUMBER	DOOR			FRAME			HARDWARE GROUP	NOTES
	TYPE	MATERIAL	WIDTH	HEIGHT	TYPE	MATERIAL		
U01	D-2	ALUMINUM	3'-0"	1'-0"	AL-2	ALUMINUM	H-1	
U02	D-2	ALUMINUM	3'-0"	1'-0"	AL-2	ALUMINUM	H-2	
U03	D-2	HOLLOW METAL	3'-0"	1'-0"	HM-2	HOLLOW METAL	H-3	
U04	D-1	WOOD	3'-0"	1'-0"	HM-1	HOLLOW METAL	H-3	
U05	D-1	WOOD	3'-0"	1'-0"	HM-1	HOLLOW METAL	H-3	
U06	D-3	WOOD	3'-0"	1'-0"	HM-1	HOLLOW METAL	H-3A	
U07	D-1	WOOD	3'-0"	1'-0"	HM-1	HOLLOW METAL	H-3	
U08	D-1	WOOD	3'-0"	1'-0"	HM-1	HOLLOW METAL	H-3	
U09	D-1	HOLLOW METAL	3'-0"	1'-0"	HM-2	HOLLOW METAL	H-3	
U10	D-1	HOLLOW METAL	3'-0"	1'-0"	HM-2	HOLLOW METAL	H-3	
U11	D-1	HOLLOW METAL	3'-0"	1'-0"	HM-2	HOLLOW METAL	H-3	
U12	D-1	HOLLOW METAL	3'-0"	1'-0"	HM-2	HOLLOW METAL	H-3	
U13	D-1	HOLLOW METAL	3'-0"	1'-0"	HM-2	HOLLOW METAL	H-3	
U14	D-1	HOLLOW METAL	3'-0"	1'-0"	HM-1	HOLLOW METAL	H-3	
U15A	D-1	STEEL	14'-0"	3'-0"	HM-1	STEEL	H-3	
U15B	D-1	STEEL	14'-0"	3'-0"	HM-1	STEEL	H-3	
U16A	D-4	STEEL	8'-0"	8'-0"	HM-1	STEEL	H-4	
U16B	D-4	STEEL	8'-0"	8'-0"	HM-1	STEEL	H-4	
U16C	D-4	STEEL	8'-0"	8'-0"	HM-1	STEEL	H-4	
U16D	D-4	STEEL	8'-0"	8'-0"	HM-1	STEEL	H-4	
U16E	D-1	HOLLOW METAL	3'-0"	1'-0"	HM-1	HOLLOW METAL	H-3	
U17A	D-3	HOLLOW METAL	3'-0"	1'-0"	HM-2	HOLLOW METAL	H-3A	
U17B	D-3	HOLLOW METAL	3'-0"	1'-0"	HM-2	HOLLOW METAL	H-3A	
U18	D-3	HOLLOW METAL	3'-0"	1'-0"	HM-2	HOLLOW METAL	H-3A	
U19	D-1	HOLLOW METAL	3'-0"	1'-0"	HM-2	HOLLOW METAL	H-3	
U20	D-1	HOLLOW METAL	3'-0"	1'-0"	HM-2	HOLLOW METAL	H-3	
U21	D-1	HOLLOW METAL	3'-0"	1'-0"	HM-2	HOLLOW METAL	H-3	
U22	D-1	HOLLOW METAL	3'-0"	1'-0"	HM-2	HOLLOW METAL	H-3	
U23A	D-4	STEEL	8'-0"	8'-0"	HM-1	STEEL	H-4	
U23B	D-4	STEEL	8'-0"	8'-0"	HM-1	STEEL	H-4	
U23C	D-4	STEEL	8'-0"	8'-0"	HM-1	STEEL	H-4	
U23D	D-1	HOLLOW METAL	3'-0"	1'-0"	HM-1	HOLLOW METAL	H-3	
U23E	D-1	HOLLOW METAL	3'-0"	1'-0"	HM-1	HOLLOW METAL	H-3	
DNA	D-5	STEEL	20'-0"	3'-0"	-	STEEL	H-5	

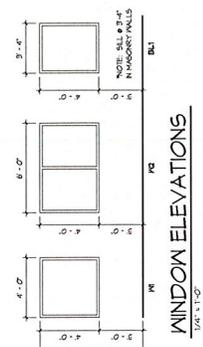
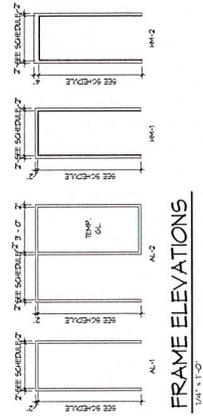
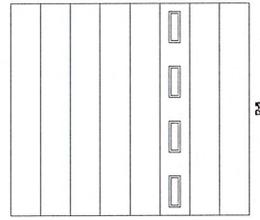
NOTES:
1. VERIFY GRABBAR AT DOOR FOR PROPER DOOR SCHEDULE COMPATIBILITY. DOOR LEVELER TO BE PROVIDED WITH PEATHER SEALS.

WINDOW SCHEDULE

NO.	WIDTH	HEIGHT	MATERIAL	NOTES
KL	3'-4"	4'-0"	HOLLOW METAL	
KL	6'-0"	4'-0"	ALUMINUM	

DOOR HARDWARE GROUPS

GROUP H-1	ENTRY LOCKSET	15 DRAW TINES
GROUP H-2	ENTRY LOCKSET	15 DRAW TINES
GROUP H-3	ENTRY LOCKSET	15 DRAW TINES
GROUP H-3A	ENTRY LOCKSET	15 DRAW TINES
GROUP H-4	ENTRY LOCKSET	15 DRAW TINES
GROUP H-5	ENTRY LOCKSET	15 DRAW TINES
GROUP H-5A	ENTRY LOCKSET	15 DRAW TINES
GROUP H-6	ENTRY LOCKSET	15 DRAW TINES
GROUP H-7	ENTRY LOCKSET	15 DRAW TINES
GROUP H-8	ENTRY LOCKSET	15 DRAW TINES
GROUP H-9	ENTRY LOCKSET	15 DRAW TINES
GROUP H-10	ENTRY LOCKSET	15 DRAW TINES
GROUP H-11	ENTRY LOCKSET	15 DRAW TINES
GROUP H-12	ENTRY LOCKSET	15 DRAW TINES
GROUP H-13	ENTRY LOCKSET	15 DRAW TINES
GROUP H-14	ENTRY LOCKSET	15 DRAW TINES
GROUP H-15	ENTRY LOCKSET	15 DRAW TINES
GROUP H-16	ENTRY LOCKSET	15 DRAW TINES
GROUP H-17	ENTRY LOCKSET	15 DRAW TINES
GROUP H-18	ENTRY LOCKSET	15 DRAW TINES
GROUP H-19	ENTRY LOCKSET	15 DRAW TINES
GROUP H-20	ENTRY LOCKSET	15 DRAW TINES
GROUP H-21	ENTRY LOCKSET	15 DRAW TINES
GROUP H-22	ENTRY LOCKSET	15 DRAW TINES
GROUP H-23	ENTRY LOCKSET	15 DRAW TINES
GROUP H-24	ENTRY LOCKSET	15 DRAW TINES
GROUP H-25	ENTRY LOCKSET	15 DRAW TINES
GROUP H-26	ENTRY LOCKSET	15 DRAW TINES
GROUP H-27	ENTRY LOCKSET	15 DRAW TINES
GROUP H-28	ENTRY LOCKSET	15 DRAW TINES
GROUP H-29	ENTRY LOCKSET	15 DRAW TINES
GROUP H-30	ENTRY LOCKSET	15 DRAW TINES
GROUP H-31	ENTRY LOCKSET	15 DRAW TINES
GROUP H-32	ENTRY LOCKSET	15 DRAW TINES
GROUP H-33	ENTRY LOCKSET	15 DRAW TINES
GROUP H-34	ENTRY LOCKSET	15 DRAW TINES
GROUP H-35	ENTRY LOCKSET	15 DRAW TINES
GROUP H-36	ENTRY LOCKSET	15 DRAW TINES
GROUP H-37	ENTRY LOCKSET	15 DRAW TINES
GROUP H-38	ENTRY LOCKSET	15 DRAW TINES
GROUP H-39	ENTRY LOCKSET	15 DRAW TINES
GROUP H-40	ENTRY LOCKSET	15 DRAW TINES
GROUP H-41	ENTRY LOCKSET	15 DRAW TINES
GROUP H-42	ENTRY LOCKSET	15 DRAW TINES
GROUP H-43	ENTRY LOCKSET	15 DRAW TINES
GROUP H-44	ENTRY LOCKSET	15 DRAW TINES
GROUP H-45	ENTRY LOCKSET	15 DRAW TINES
GROUP H-46	ENTRY LOCKSET	15 DRAW TINES
GROUP H-47	ENTRY LOCKSET	15 DRAW TINES
GROUP H-48	ENTRY LOCKSET	15 DRAW TINES
GROUP H-49	ENTRY LOCKSET	15 DRAW TINES
GROUP H-50	ENTRY LOCKSET	15 DRAW TINES
GROUP H-51	ENTRY LOCKSET	15 DRAW TINES
GROUP H-52	ENTRY LOCKSET	15 DRAW TINES
GROUP H-53	ENTRY LOCKSET	15 DRAW TINES
GROUP H-54	ENTRY LOCKSET	15 DRAW TINES
GROUP H-55	ENTRY LOCKSET	15 DRAW TINES
GROUP H-56	ENTRY LOCKSET	15 DRAW TINES
GROUP H-57	ENTRY LOCKSET	15 DRAW TINES
GROUP H-58	ENTRY LOCKSET	15 DRAW TINES
GROUP H-59	ENTRY LOCKSET	15 DRAW TINES
GROUP H-60	ENTRY LOCKSET	15 DRAW TINES
GROUP H-61	ENTRY LOCKSET	15 DRAW TINES
GROUP H-62	ENTRY LOCKSET	15 DRAW TINES
GROUP H-63	ENTRY LOCKSET	15 DRAW TINES
GROUP H-64	ENTRY LOCKSET	15 DRAW TINES
GROUP H-65	ENTRY LOCKSET	15 DRAW TINES
GROUP H-66	ENTRY LOCKSET	15 DRAW TINES
GROUP H-67	ENTRY LOCKSET	15 DRAW TINES
GROUP H-68	ENTRY LOCKSET	15 DRAW TINES
GROUP H-69	ENTRY LOCKSET	15 DRAW TINES
GROUP H-70	ENTRY LOCKSET	15 DRAW TINES
GROUP H-71	ENTRY LOCKSET	15 DRAW TINES
GROUP H-72	ENTRY LOCKSET	15 DRAW TINES
GROUP H-73	ENTRY LOCKSET	15 DRAW TINES
GROUP H-74	ENTRY LOCKSET	15 DRAW TINES
GROUP H-75	ENTRY LOCKSET	15 DRAW TINES
GROUP H-76	ENTRY LOCKSET	15 DRAW TINES
GROUP H-77	ENTRY LOCKSET	15 DRAW TINES
GROUP H-78	ENTRY LOCKSET	15 DRAW TINES
GROUP H-79	ENTRY LOCKSET	15 DRAW TINES
GROUP H-80	ENTRY LOCKSET	15 DRAW TINES
GROUP H-81	ENTRY LOCKSET	15 DRAW TINES
GROUP H-82	ENTRY LOCKSET	15 DRAW TINES
GROUP H-83	ENTRY LOCKSET	15 DRAW TINES
GROUP H-84	ENTRY LOCKSET	15 DRAW TINES
GROUP H-85	ENTRY LOCKSET	15 DRAW TINES
GROUP H-86	ENTRY LOCKSET	15 DRAW TINES
GROUP H-87	ENTRY LOCKSET	15 DRAW TINES
GROUP H-88	ENTRY LOCKSET	15 DRAW TINES
GROUP H-89	ENTRY LOCKSET	15 DRAW TINES
GROUP H-90	ENTRY LOCKSET	15 DRAW TINES
GROUP H-91	ENTRY LOCKSET	15 DRAW TINES
GROUP H-92	ENTRY LOCKSET	15 DRAW TINES
GROUP H-93	ENTRY LOCKSET	15 DRAW TINES
GROUP H-94	ENTRY LOCKSET	15 DRAW TINES
GROUP H-95	ENTRY LOCKSET	15 DRAW TINES
GROUP H-96	ENTRY LOCKSET	15 DRAW TINES
GROUP H-97	ENTRY LOCKSET	15 DRAW TINES
GROUP H-98	ENTRY LOCKSET	15 DRAW TINES
GROUP H-99	ENTRY LOCKSET	15 DRAW TINES
GROUP H-100	ENTRY LOCKSET	15 DRAW TINES



RIVER VALLEY ARCHITECTS, INC.
 1409 122ND STREET - SUITE C
 CHERRY FALLS, ND 58415
 PHONE: 715.832.0275
 FAX: 715.126.1668
 www.rivervalleyarchitects.com

NEW WAREHOUSE ADDITION FOR:
 FEDERAL FOAM TECHNOLOGIES, INC.
 600 MCKENNA DRIVE
 NEW RICHMOND, ND 58417

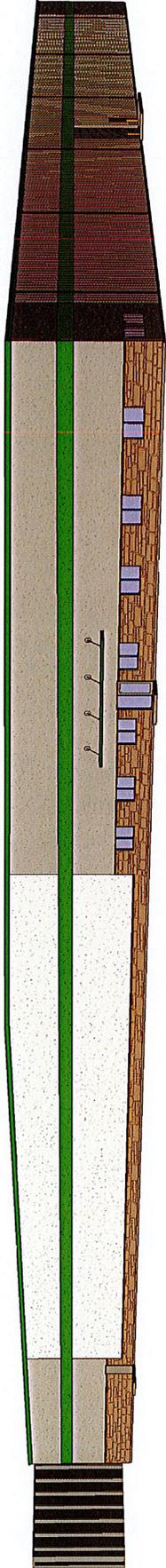
DATE: 04/27/2018
 MARK: DATE
 SHEET NO. A5.1
 DRAWN BY: KEN
 JOB NO. 17-004

WINDOW ELEVATIONS

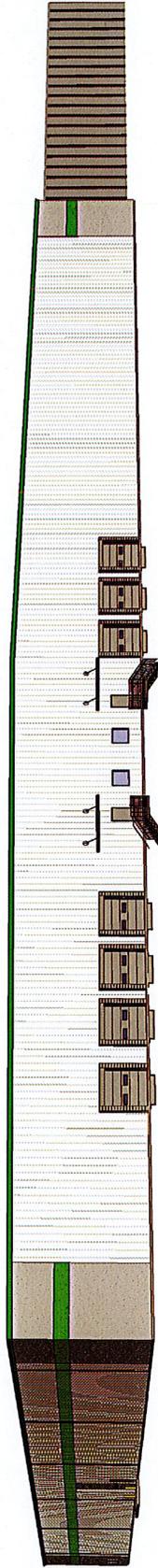
FRAME ELEVATIONS

GENERAL NOTES

A. DRAWINGS ARE PRELIMINARY AND DO NOT
 REPRESENT THE CONTRACT DOCUMENTS. ANY
 CHANGES TO THE CONTRACT DOCUMENTS THAT
 DO NOT APPEAR TO INDICATE ALL DETAILS, CHANGES IN
 MATERIALS AND JOINTS.



1 3D View 1
 A6.1 N.T.S.



2 3D View 2
 A6.1 N.T.S.

1403 122nd STREET - SUITE C
 CHEYENNE FALLS, WY 82124
 PHONE: 719.832.0875
 FAX: 719.726.1669
 www.rivervalleyarchitects.com



NEW WAREHOUSE ADDITION FOR:
 FEDERAL FOAM TECHNOLOGIES, INC.
 600 WISCONSIN DRIVE
 NEW RICHMOND, WY 82411

DATE:	04-27-2018
DRAWN BY:	KCH
CHECKED BY:	JKH
DATE:	
PROJECT:	
SHEET NO.:	A6.1
TOTAL SHEETS:	11/000

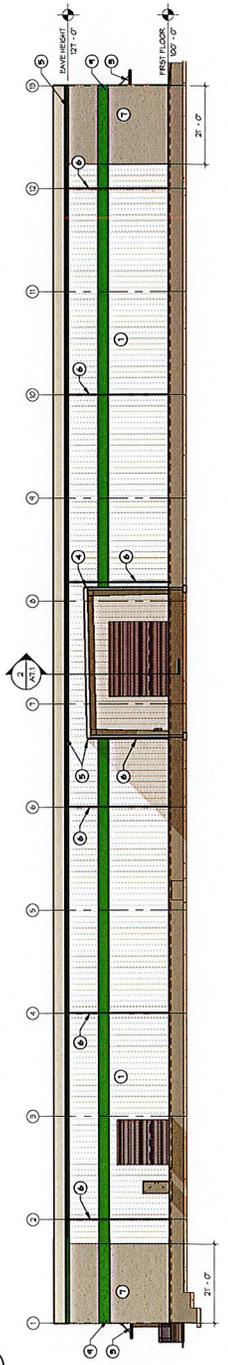
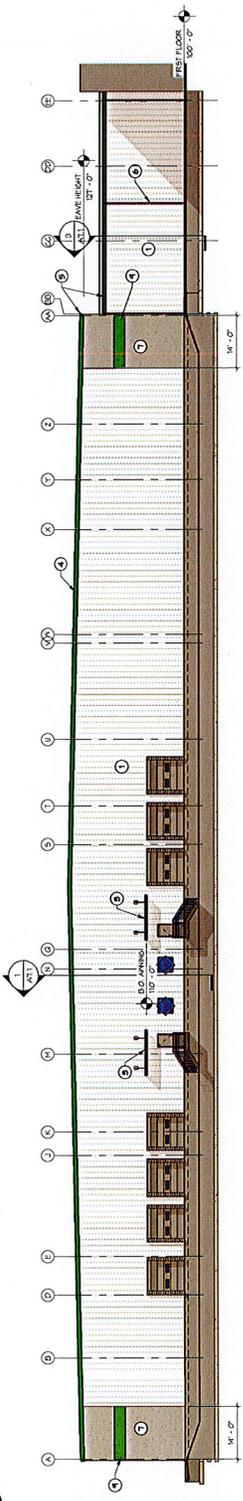
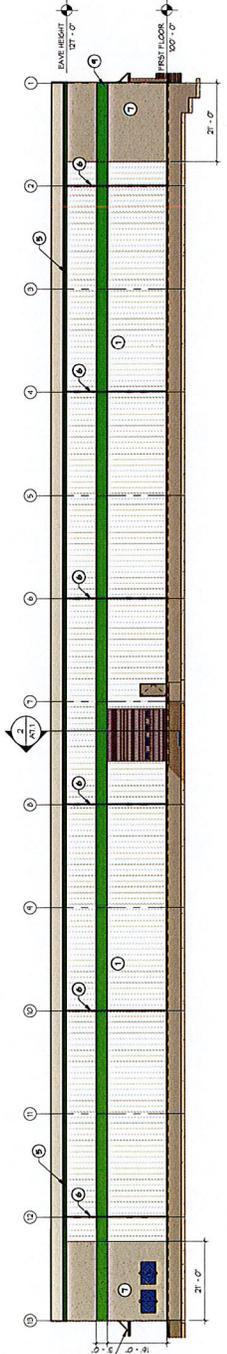
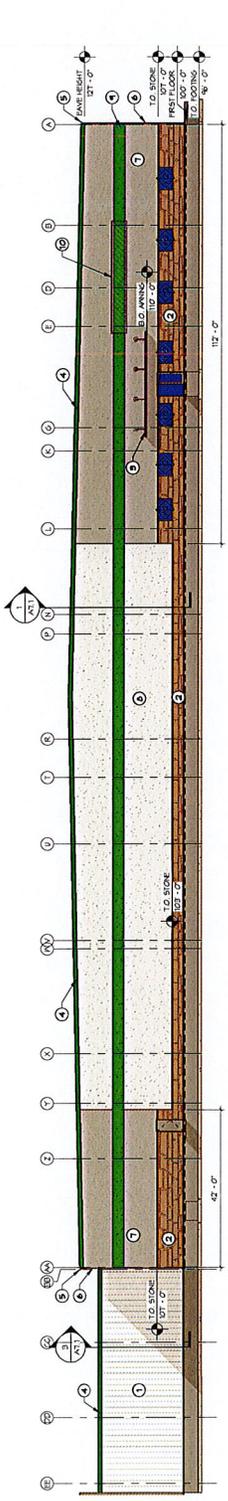
DATE:	06-27-2018
DRAWN BY:	KCH
CHECKED BY:	
JOB NO.:	
FLOOR:	
A6.2	
SHEET NO.	

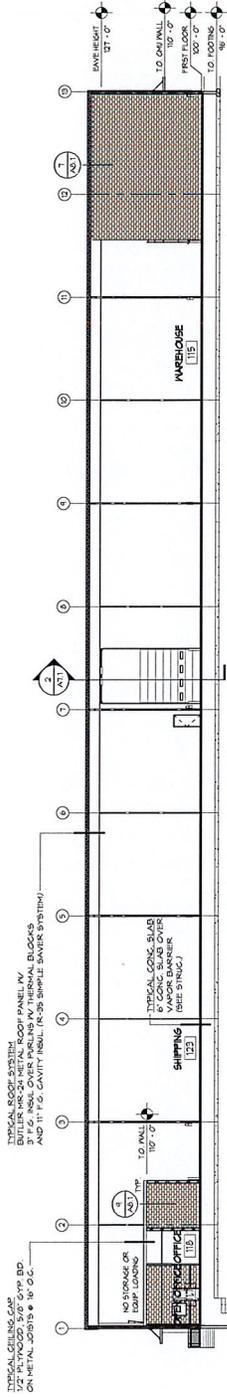
NEW WAREHOUSE ADDITION FOR:
 FEDERAL FOAM TECHNOLOGIES, INC.
 600 MASONRY DRIVE
 NEW RICHMOND, VA 54017



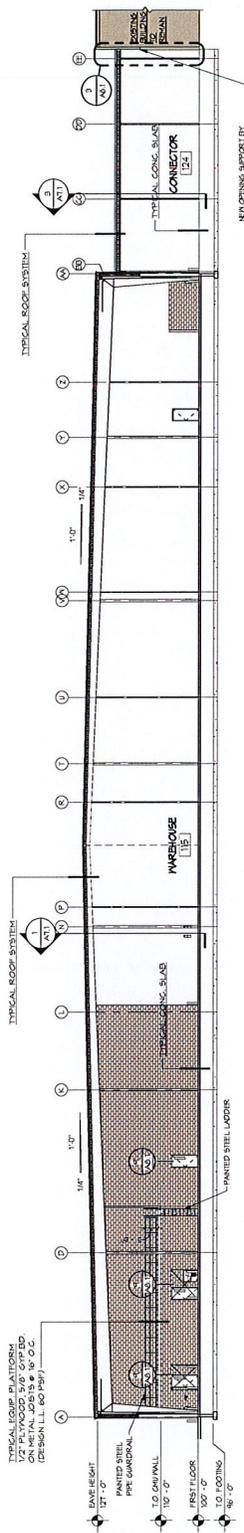
1403 123RD STREET - SUITE C
 CHIRPICK FALLS, VA 24724
 PHONE: 715.032.0675
 FAX: 715.126.1669
 www.rivervalleyarchitects.com

- EXTERIOR ELEVATION NOTES**
1. FINISHED METAL SHOOD/PANEL PANEL (COLOR-COOL, DRUM WHITE)
 2. FINISHED METAL SHOOD/PANEL PANEL (COLOR-COOL, MARSH GREEN)
 3. FINISHED METAL SHOOD/PANEL PANEL (COLOR-COOL, MARSH GREEN)
 4. FINISHED METAL SHOOD/PANEL PANEL (COLOR-COOL, MARSH GREEN)
 5. FINISHED METAL SHOOD/PANEL PANEL (COLOR-COOL, MARSH GREEN)
 6. FINISHED METAL SHOOD/PANEL PANEL (COLOR-COOL, MARSH GREEN)
 7. FINISHED METAL SHOOD/PANEL PANEL (COLOR-COOL, MARSH GREEN)
 8. FINISHED METAL SHOOD/PANEL PANEL (COLOR-COOL, MARSH GREEN)
 9. FINISHED METAL SHOOD/PANEL PANEL (COLOR-COOL, MARSH GREEN)
 10. FINISHED METAL SHOOD/PANEL PANEL (COLOR-COOL, MARSH GREEN)

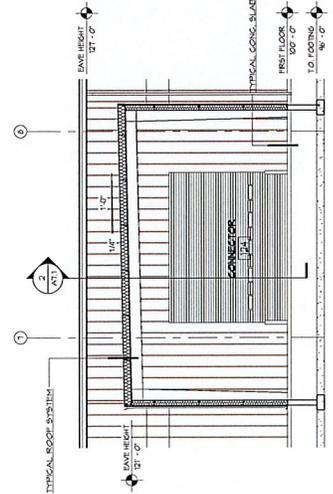




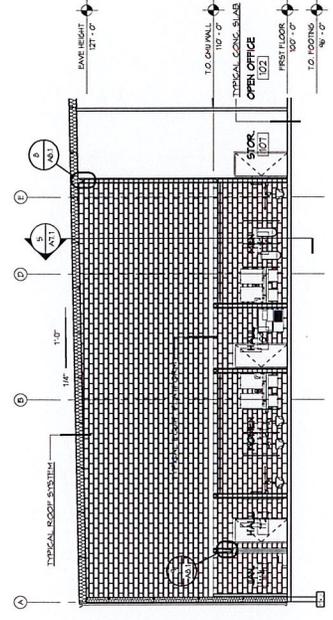
1 BUILDING SECTION 1
 AT1 1/8" = 1'-0"



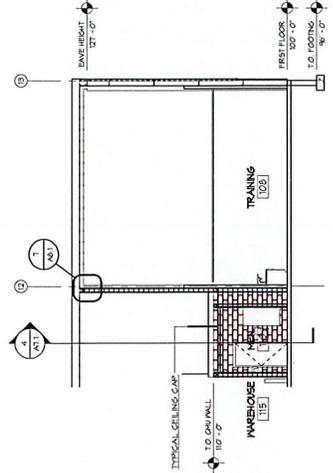
2 BUILDING SECTION 2
 AT1 1/8" = 1'-0"



3 SECTION @ CONNECTOR
 AT1 1/8" = 1'-0"



4 SECTION @ TOILET ROOMS
 AT1 1/8" = 1'-0"



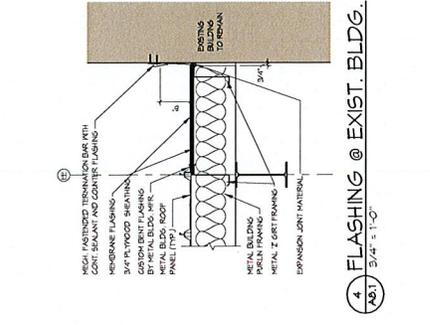
5 SECTION @ TRAINING
 AT1 1/8" = 1'-0"

1403 123rd STREET - SUITE C
 CHAPEL HILL, NC 27514
 PHONE: 704.852.0215
 FAX: 704.852.1688
 www.rivervalleyarchitects.com

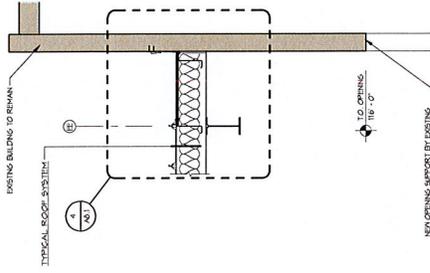


NEW WAREHOUSE ADDITION FOR:
 FEDERAL FOAM TECHNOLOGIES, INC.
 600 MECOSIN DRIVE
 NEW RICHMOND, NC 28117

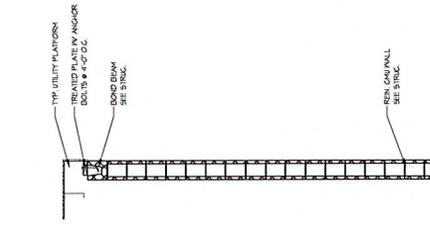
DATE:	08-27-2018
WORK:	DATE
SHEET NO.	
A7.1	
DRAWN BY:	KCH
JOB NO.	
FLOOR:	



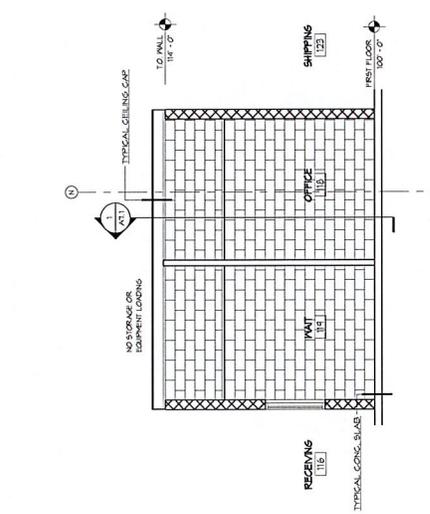
4 FLASHING @ EXIST. BLDG.
 A8.1 3/4" x 1'-0"



5 CONNECTOR @ EXIST. BLDG.
 A8.1 1/2" x 1'-0"

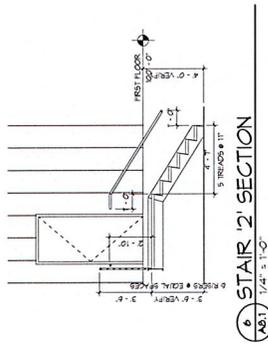


6 TYPICAL BOND BEAM LINTEL
 A8.1 3/4" x 1'-0"

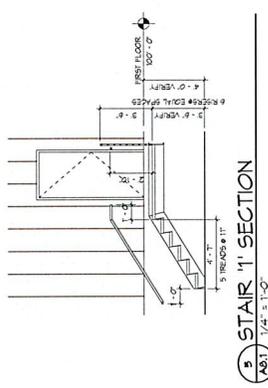


7 SECTION @ SHIPPING OFFICE
 A8.1 1/4" x 1'-0"

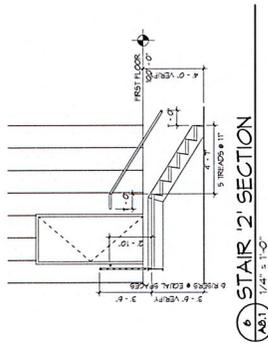
2 WALL SECTION
 A8.1 1/2" x 1'-0"



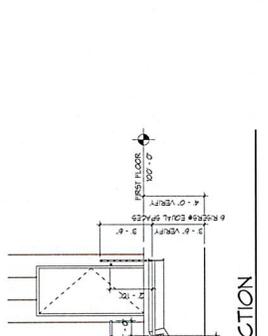
8 T.O. WALL PARALLEL PURLIN
 A8.1 3/4" x 1'-0"



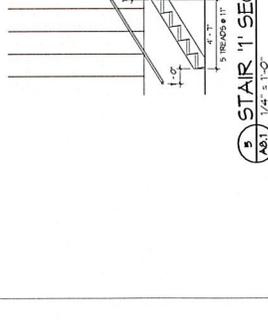
9 T.O. WALL PERPENDICULAR TO PURLIN
 A8.1 3/4" x 1'-0"



10 OPERABLE PARTITION DETAIL
 A8.1 1 1/2" x 1'-0"



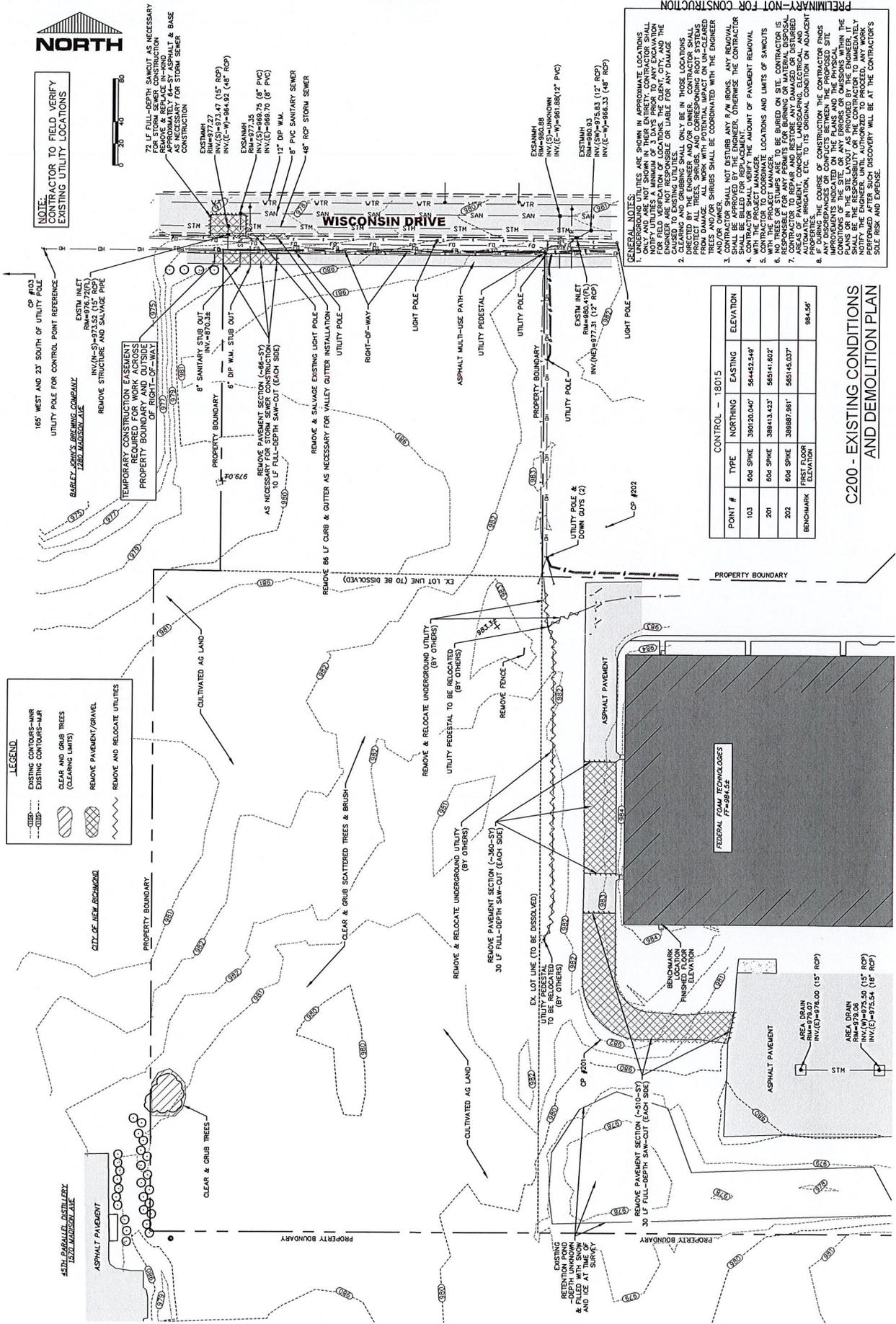
11 STAIR '1' SECTION
 A8.1 1/4" x 1'-0"



12 STAIR '2' SECTION
 A8.1 1/4" x 1'-0"



NOTE:
 CONTRACTOR TO FIELD VERIFY
 EXISTING UTILITY LOCATIONS



LEGEND

---(---)	EXISTING CONTOURS-MIR
---(---)	EXISTING CONTOURS-MIR
---(---)	CLEAR AND GRUB TREES (CLEARING LIMITS)
---(---)	REMOVE PAVEMENT/GRAVEL
---(---)	REMOVE AND RELOCATE UTILITIES

GENERAL NOTES:
 1. UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. CONTRACTOR SHALL VERIFY ALL UTILITIES A MINIMUM OF 3 DAYS PRIOR TO ANY EXCAVATION. NOTIFY THE CITY OF NEW RICHMOND, WISCONSIN, AND THE ENGINEER AS NOT RESPONSIBLE FOR THE LOCATION, DEPTH, AND TYPE OF UTILITIES.
 2. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES TO REMAIN. ONLY BE IN CHARGE LOCATIONS DIRECTED BY THE ENGINEER AND/OR OWNER. CONTRACTOR SHALL PROTECT ALL TREES, SHRUBS, AND CORRESPONDING ROOT SYSTEMS. TREES AND/OR SHRUBS SHALL BE COORDINATED WITH THE ENGINEER AND/OR OWNER.
 3. CONTRACTOR SHALL NOT DISTURB ANY P.W. STAKES. ANY STAKES SHALL BE RELOCATED BY THE ENGINEER. OTHERWISE, THE CONTRACTOR SHALL BE HELD FOR REPLACEMENT.
 4. WITH THE PROJECT MANAGER. THE AMOUNT OF PENDANT REMOVAL SHALL BE APPROVED BY THE ENGINEER AND/OR OWNER.
 5. NO TREES OR STUMPS ARE TO BE BURIED ON SITE. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL STUMPS AND BRUSH. CONTRACTOR TO REPAIR AND RESTORE ANY DAMAGED OR DISTURBED AREAS OF PAVEMENT, CONCRETE, LANDSCAPING, ELECTRICAL, AND MECHANICAL SYSTEMS TO ORIGINAL OR BETTER CONDITION ON ADJACENT PROPERTIES.
 6. ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE SHALL BE REPORTED TO THE ENGINEER. THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE INFORMATION. ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.

CONTROL - 18015

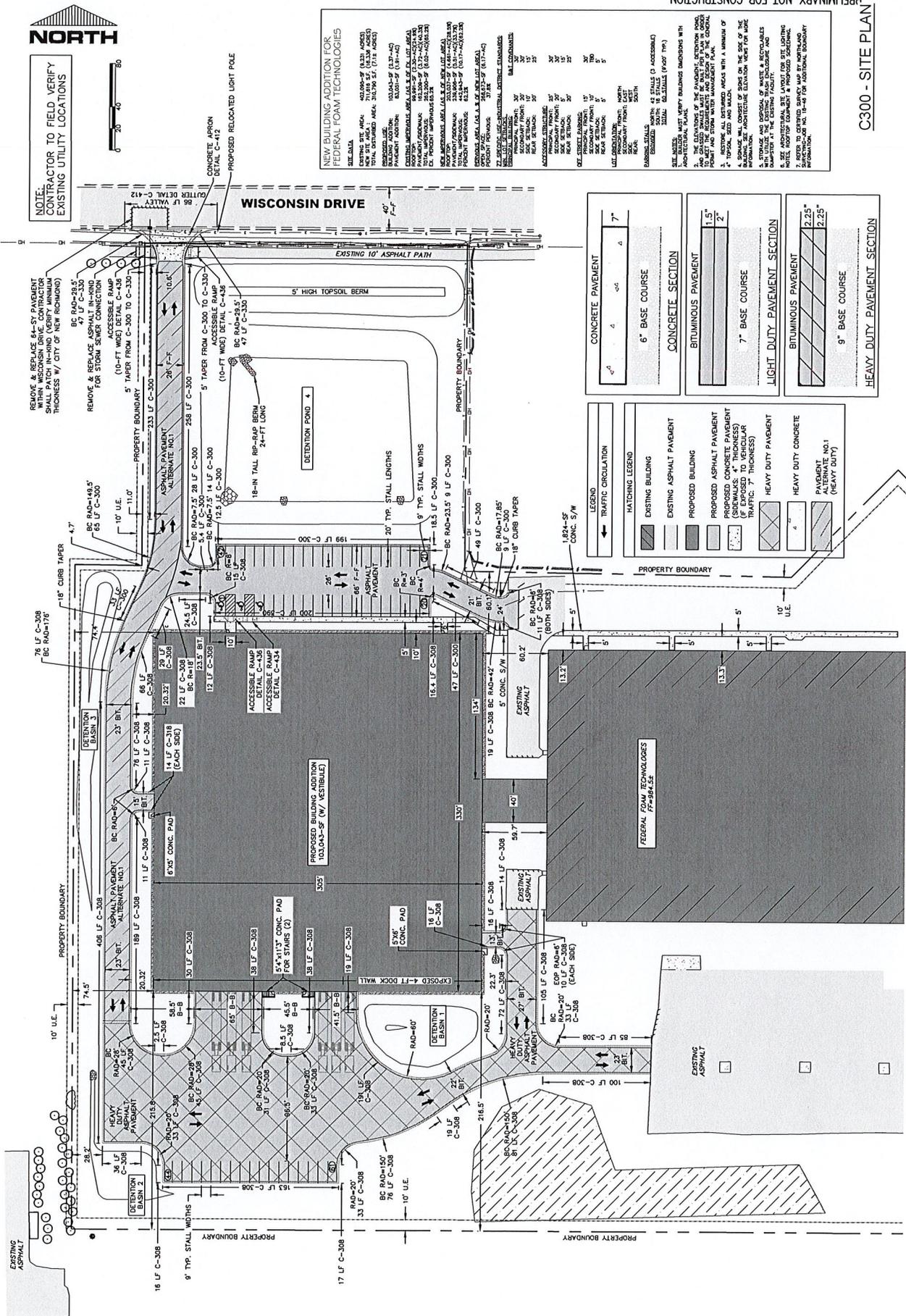
POINT #	TYPE	NORTHING	EASTING	ELEVATION
103	606 SPIKE	389120.0467	56462.549	
201	604 SPIKE	388413.4237	565141.6027	
202	604 SPIKE	388887.9617	565145.0377	
BENCHMARK	FIRST FLOOR ELEVATION			864.56'

C200 - EXISTING CONDITIONS AND DEMOLITION PLAN

PRELIMINARY - NOT FOR CONSTRUCTION

PRELIMINARY-NOT FOR CONSTRUCTION

C300 - SITE PLAN

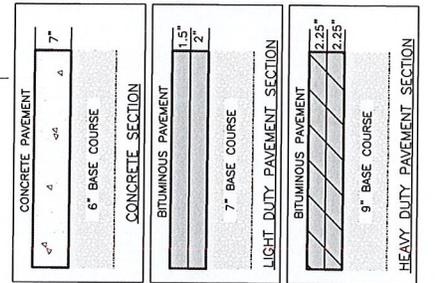


NOTE:
 CONTRACTOR TO FIELD VERIFY
 EXISTING UTILITY LOCATIONS

**NEW BUILDING ADDITION FOR
 FEDERAL FOAM TECHNOLOGIES**

EXISTING SITE AREA: 402,000 SF (18.3 ACRES)
 TOTAL DISTURBED AREA: 210,700 SF (9.18 ACRES)
 PROPOSED USE: COMMERCIAL/INDUSTRIAL
 PROJECT LOCATION: 5407 WISCONSIN DRIVE, NEW BRUNSWICK, WI 53091
 PROJECT NUMBER: 2018-001
 PREPARED BY: RIVER VALLEY ARCHITECTS, INC.
 DATE: 08/15/2018

1. THE DIVISIONS OF THE PAVEMENT, DETENTION POND, AND DETENTION BASIN ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOT).
2. THE DIVISIONS OF THE PAVEMENT, DETENTION POND, AND DETENTION BASIN ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOT).
3. THE DIVISIONS OF THE PAVEMENT, DETENTION POND, AND DETENTION BASIN ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOT).
4. THE DIVISIONS OF THE PAVEMENT, DETENTION POND, AND DETENTION BASIN ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOT).
5. THE DIVISIONS OF THE PAVEMENT, DETENTION POND, AND DETENTION BASIN ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOT).
6. THE DIVISIONS OF THE PAVEMENT, DETENTION POND, AND DETENTION BASIN ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOT).
7. THE DIVISIONS OF THE PAVEMENT, DETENTION POND, AND DETENTION BASIN ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOT).
8. THE DIVISIONS OF THE PAVEMENT, DETENTION POND, AND DETENTION BASIN ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOT).
9. THE DIVISIONS OF THE PAVEMENT, DETENTION POND, AND DETENTION BASIN ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOT).
10. THE DIVISIONS OF THE PAVEMENT, DETENTION POND, AND DETENTION BASIN ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOT).



REMOVE & REPLACE 6x6 PAVEMENT WITHIN WISCONSIN DRIVE. CONTRACTOR SHALL PATCH IN-KIND (VERIFY MINIMUM THICKNESS W/ CITY OF NEW BRUNSWICK)

REMOVE & REPLACE ASER CONNECTION FOR STORM SEWER CONNECTION

ACCESSIBLE RAMP (10'-FT WIDE) DETAIL C-436 (5' TAPER FROM C-300 TO C-330)

ACCESSIBLE RAMP (10'-FT WIDE) DETAIL C-438 (5' TAPER FROM C-300 TO C-330)

CONCRETE AIRPORT DETAIL C-412

PROPOSED RELOCATED LIGHT POLE

18" CURB TAPER

76 LF C-308 BC RAD=176"

10' U.E.

76 LF C-308 BC RAD=148.5"

65 LF C-300

10' U.E.

11.0'

10.6'

10.4'

10.4'

10.4'

10.4'

20.32'

20.32'

20.32'

20.32'

20.32'

20.32'

20.32'

20.32'

20.32'

23' BIT.

14 LF C-318 (EACH SIDE)

23' BIT.

20' TYP. STALL WIDTHS

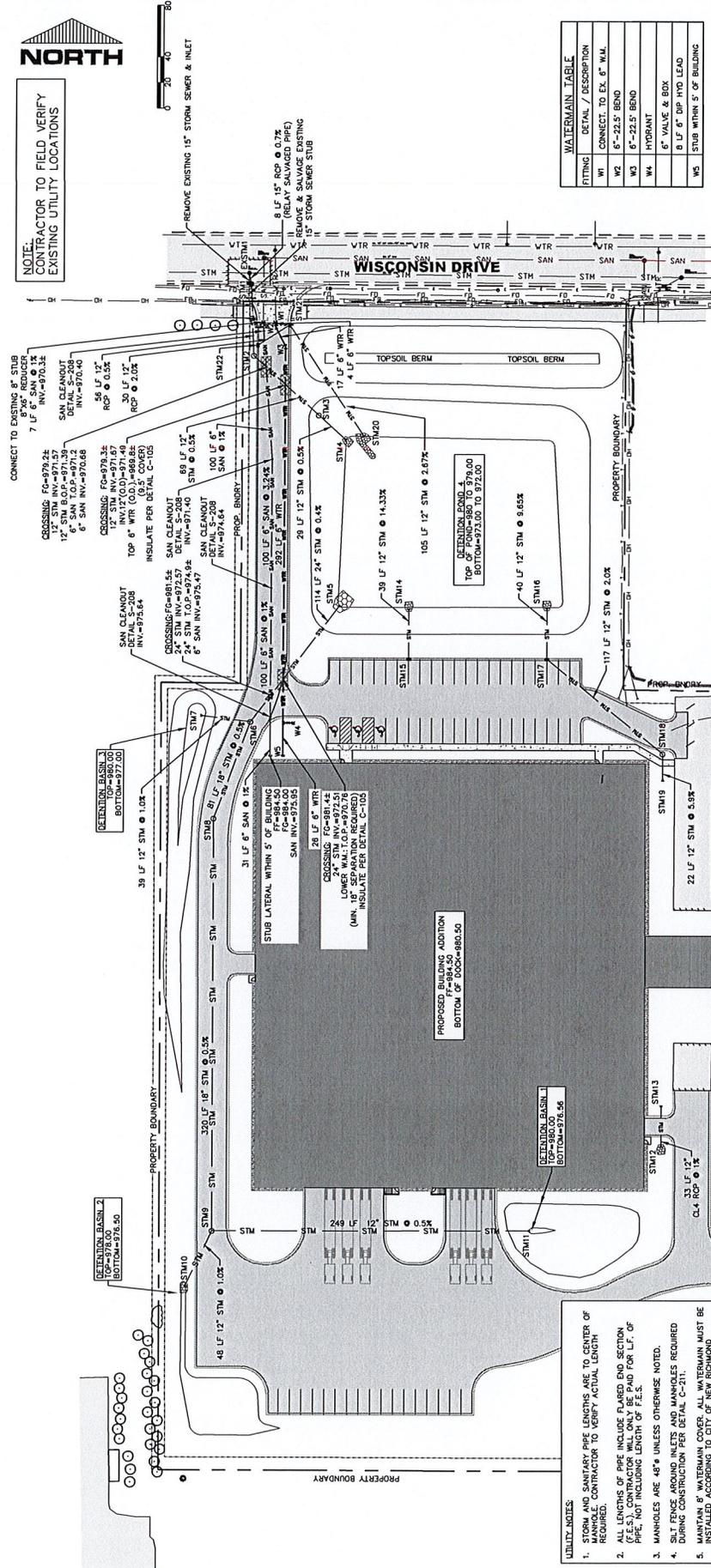
18" IN-TALL RP-RAP BERM 4'-FT LONG

5' HIGH TOPSOIL BERM

10' U.E.



NOTE:
 CONTRACTOR TO FIELD VERIFY
 EXISTING UTILITY LOCATIONS



- UTILITY NOTES:**
- STORM AND SANITARY PIPE LENGTHS ARE TO CENTER OF MANHOLE. CONTRACTOR TO VERIFY ACTUAL LENGTH REQUIRED.
 - ALL LENGTHS OF PIPE INCLUDE FLARED END SECTION (F.E.S.). CONTRACTOR WILL ONLY BE PAID FOR L.F. OF PIPE, NOT INCLUDING LENGTH OF F.E.S.
 - MANHOLES ARE 48" UNLESS OTHERWISE NOTED.
 - SKIT FENCE AROUND INLETS AND MANHOLES REQUIRED DURING CONSTRUCTION PER DETAIL C-211.
 - MAINTAIN 8" WATERMAN COVER. ALL WATERMAN MUST BE INSTALLED PER DETAIL C-211 (STANDARDS FOR THE INSTALLATION OF WATERMAN). REFER TO STANDARD DETAILS FOR ALL UTILITY INSTALLATIONS. WATERMAN OR SEWER UNDER SANITARY, WATERMAN OR SEWER UNDER SANITARY, WATERMAN OR SEWER UNDER SANITARY, WATERMAN OR SEWER UNDER SANITARY.
 - 12" CLEARANCE WHEN WATERMAN GOES OVER SANITARY, WATERMAN OR SEWER UNDER SANITARY, WATERMAN OR SEWER UNDER SANITARY, WATERMAN OR SEWER UNDER SANITARY.
 - UPON COMPLETION OF STORM SEWER INSTALLATION, STORM SEWER INLETS SHALL BE PROTECTED FROM DEBRIS. PROTECTION SHALL REMAIN IN PLACE UNTIL APPROPRIATE MEASURES HAVE BEEN TAKEN TO PROTECT THE STORM SEWER.
 - CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES FROM ANY SINK, POOL, ETC. ENTERING THE PIPER DURING CONSTRUCTION.
 - SEE HYDRANT LEAD LENGTHS IN WATER TABLE.
 - IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY OBSTACLES OR CONFLICTS WITH EXISTING UTILITIES, THE CONTRACTOR SHALL STOP WORK ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD IN THE SITE LAYOUT AS PROVIDED BY THE BACKLOG. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROCEED WITH THE CONSTRUCTION OF THE PROJECT UNLESS AUTHORIZED TO PROCEED. ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.

WATERMAIN TABLE

FITTING	DETAIL / DESCRIPTION
W1	CONNECT TO EX. 6" W.M.
W2	6" - 22.5' BEND
W3	6" - 22.5' BEND
W4	HYDRANT
W5	6" VALVE & BOX
W6	8 LF 6" DIP HYD LEAD
W7	STUB WITHIN 5' OF BUILDING

STORM SEWER TABLE

STRUCTURE NO.	DETAIL NO.	RM	INVERT	DIRECTION	PIPE DIA.
STM10	SS-460/C-111	---	976.50	---	12"
STM11	SS-460/C-111	---	976.56	---	12"
STM12	SS-460/C-111	---	981.38	---	12"
STM13	SS-460/C-111	---	972.42	---	12"
STM14	SS-200	---	972.00	---	12"
STM15	SS-200	---	982.06	---	12"
STM16	SS-460/C-111	---	973.00	---	12"
STM17	SS-200	---	981.83	---	12"
STM18	SS-212	---	982.72	---	12"
STM19	SS-460	---	979.20	---	12"
STM20	SS-460/C-111	---	980.50	---	12"
STM21	SS-100	---	978.76	---	12"
STM22	SS-100	---	974.80	---	12"
STM23	SS-100	---	975.40	---	12"

STORM SEWER TABLE

STRUCTURE NO.	DETAIL NO.	RM	INVERT	DIRECTION	PIPE DIA.
ESTIMA	---	---	972.27	---	48"
ESTIMA	---	---	964.62	---	48"
ESTIMA	---	---	974.42	---	15"
ESTIMA	---	---	971.16	---	15"
ESTIMA	---	---	971.22	---	15"
ESTIMA	---	---	971.50	---	12"
ESTIMA	---	---	971.50	---	12"
ESTIMA	---	---	971.85	---	12"
ESTIMA	---	---	972.00	---	24"
ESTIMA	---	---	976.88	---	18"
ESTIMA	---	---	972.00	---	12"
ESTIMA	---	---	971.00	---	18"
ESTIMA	---	---	976.02	---	12"
ESTIMA	---	---	975.32	---	12"
ESTIMA	---	---	974.72	---	18"

PRELIMINARY-NOT FOR CONSTRUCTION

C400 - UTILITY PLAN

DATE:	10/20/2018
SCALE:	AS SHOWN
SHEET NO.:	C500
PROJECT NO.:	18-0067
DATE:	10/20/2018



UNDERGROUND UTILITY LOCATIONS TO BE VERIFIED BY CONTRACTOR

GRADING LEGEND:

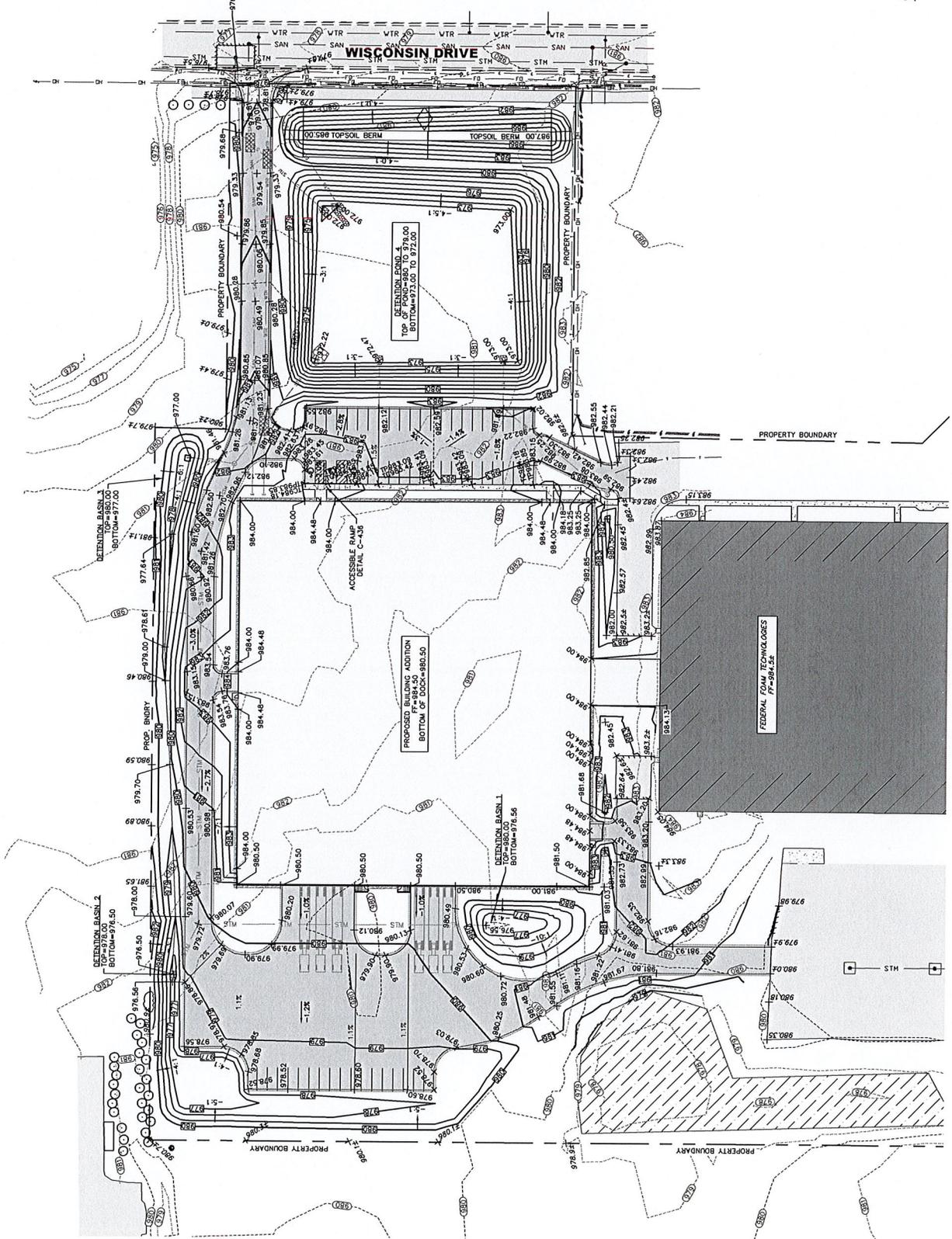
- EXISTING CONTOUR-MIR
- EXISTING CONTOUR-MAR
- FINAL CONTOUR-MAR
- FINAL CONTOUR-MIR
- DRAINAGE PATTERN LINES
- ↑ DRAINAGE ARROW
- FT FINISHED FLOOR ELEVATION
- + XXX.XX PROPOSED SPOT ELEVATION
- + XXX.XX EXISTING SPOT ELEVATION

GRADING NOTES:

- ALL CONTOURS ARE COMPUTER GENERATED AND REPRESENT PROPOSED CONTOURS. EXISTING FINISHED GROUND CONTOURS IN STREET RIGHT-OF-WAY ARE NOT REPRESENT TOP OF PAVEMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING POSITIVE DRAINAGE AWAY FROM STRUCTURES.
- OVER EXCAVATE DETENTION PONDS FOR USE AS TEMPORARY SEDIMENT TRAPS UNTIL FINISH GRADED. PLACE BRICKS IN PLACE IMMEDIATELY AFTER FINISH GRADING.
- IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS BETWEEN THE PROPOSED SITE AND THE POINTS INDICATED ON THE PLANS, OR ANY ERRORS OR OMISSIONS, LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE ENGINEER, UNTIL AUTHORIZED TO SUCH DISCOVERY WORK PERFORMED AFTER SUCH DISCOVERY WORK, PERFORMED AFTER CONTRACTOR'S SALE RISK AND EXPENSE.

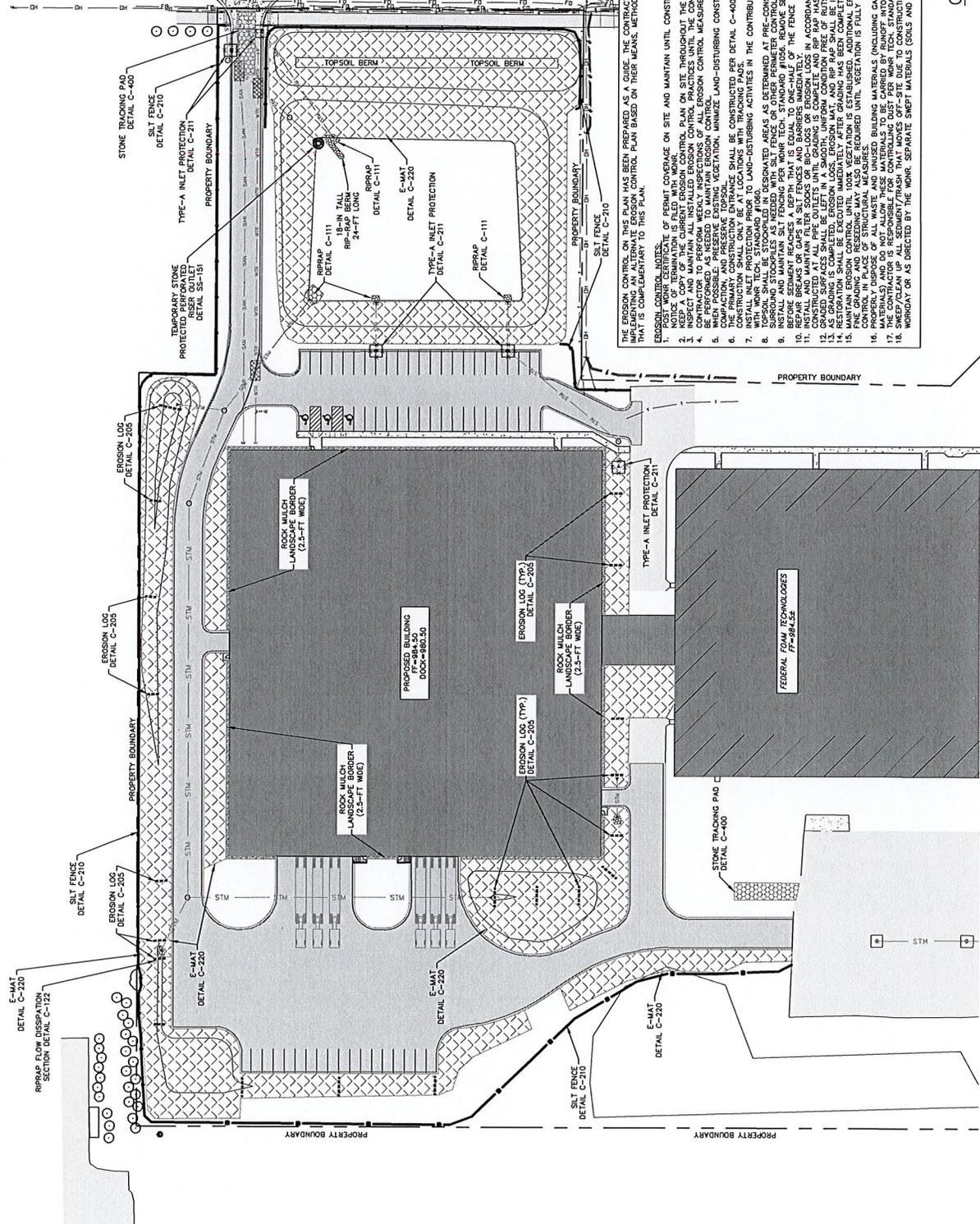
PRELIMINARY-NOT FOR CONSTRUCTION

C500 - GRADING PLAN





NOTE:
 CONTRACTOR TO FIELD VERIFY
 EXISTING UTILITY LOCATIONS



EROSION CONTROL LEGEND

[Symbol]	SILT FENCE DETAIL C-210
[Symbol]	CONSTRUCTION DETAIL C-400
[Symbol]	E-MAT DETAIL C-220
[Symbol]	EROSION LOSS DETAIL C-205
[Symbol]	RIP-RAP DETAIL C-111
[Symbol]	NEW INLET PROTECTION DETAIL C-211
[Symbol]	STONE TRACKING PAD DETAIL C-400
[Symbol]	TEMPORARY STONE PROTECTED RISER DETAIL SS-151

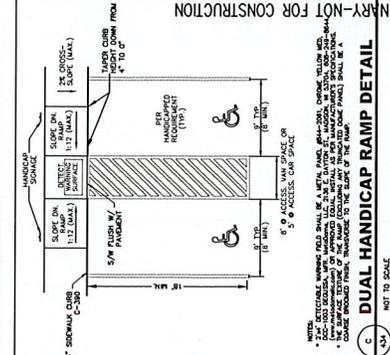
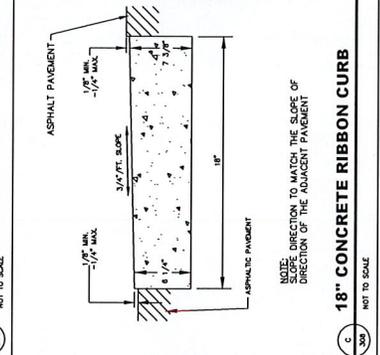
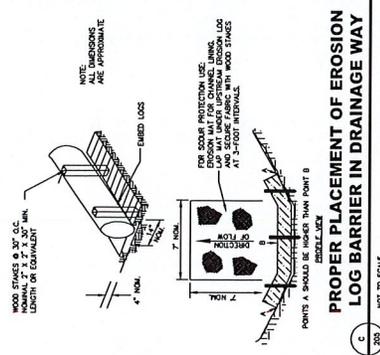
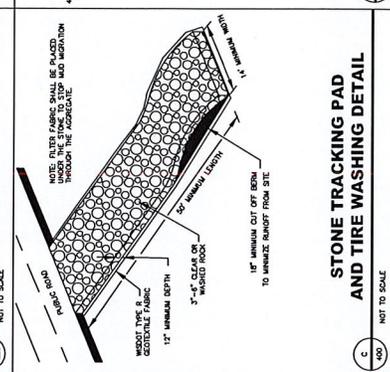
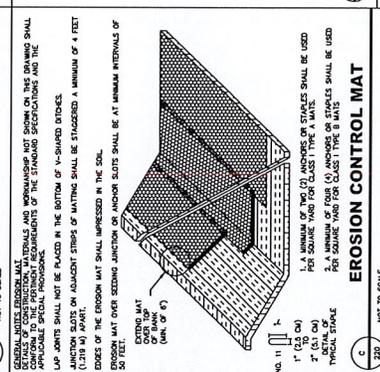
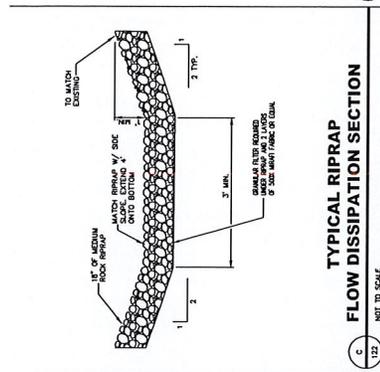
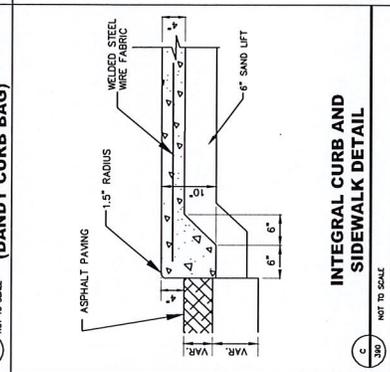
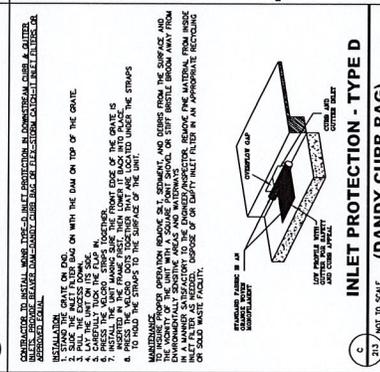
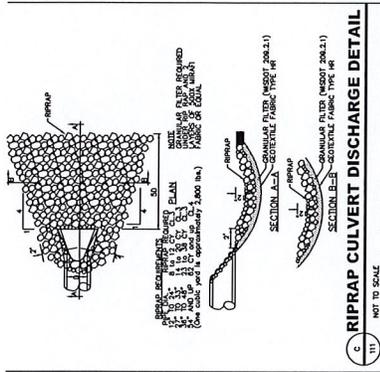
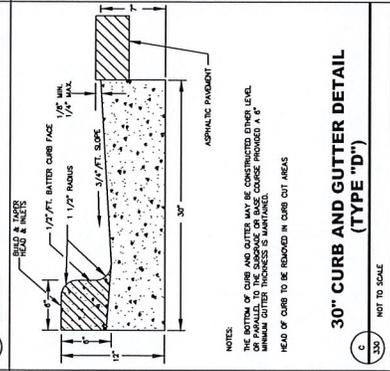
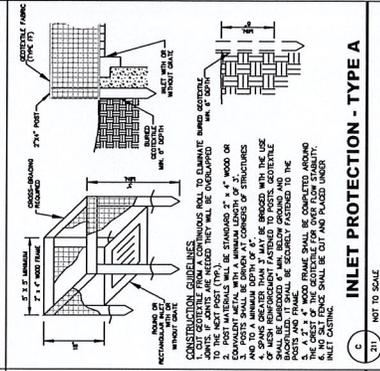
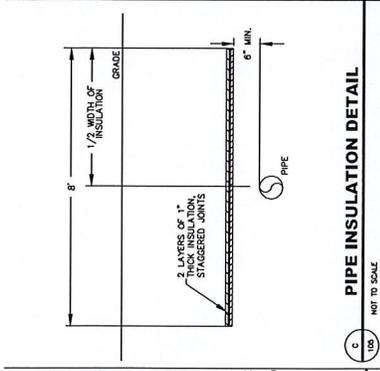
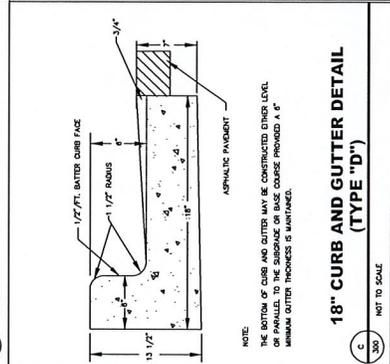
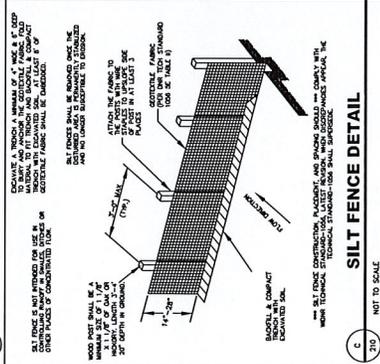
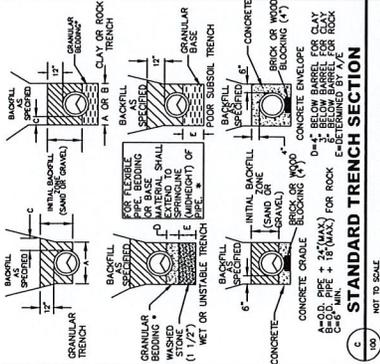
THE EROSION CONTROL ON THIS PLAN HAS BEEN PREPARED AS A GUIDE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING, MODIFYING AND REPLACING EROSION CONTROL MEASURES AS NECESSARY TO MAINTAIN THE PROPOSED EROSION CONTROL PLAN BASED ON THEIR MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION.

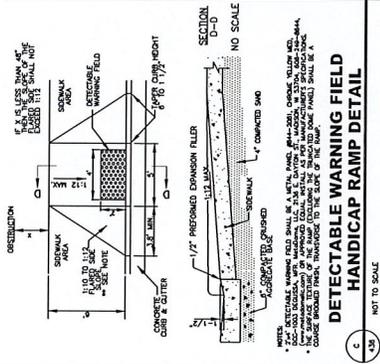
EROSION CONTROL MEASURES:

- POST MOIR CERTIFICATE OF PERMIT COVERAGE ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED. THE SITE IS STABILIZED, AND A NOTICE OF TERMINATION IS FILED WITH MOIR.
- CONTRACTOR TO PERFORM WEEKLY INSPECTIONS OF ALL EROSION CONTROL MEASURES, OR AFTER A RAIN EVENT OF 1/2" OR MORE. MAINTENANCE TO BE PERFORMED IMMEDIATELY.
- WHEN POSSIBLE, PRESERVE EXISTING VEGETATION. MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE. MINIMIZE SOIL EXPOSURE.
- THE PRIMARY CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED PER DETAIL C-400 OR MOIR TECH. STANDARD #1037. ACCESS INTO THE SITE DURING CONSTRUCTION SHALL ONLY BE AT LOCATIONS WITH TRACKING PADS.
- CONSTRUCTION SHALL ONLY BE AT LOCATIONS WITH TRACKING PADS.
- TOPSOIL SHALL BE STOCKPILED IN DESIGNATED AREAS AS DETERMINED AT PRE-CONSTRUCTION MEETING. IMMEDIATELY STABILIZE STOCKPILES AND COVER WITH MULCH OR EROSION CONTROL MATS.
- INSTALL AND MAINTAIN SILT FENCING PER MOIR TECH. STANDARD #1038. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE REMOVAL. REPAIRS A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
- INSTALL AND MAINTAIN FILTER SOCKS OR EROSION LOGS OR EROSION LOSS IN ACCORDANCE WITH MOIR TECH. STANDARD #1071. EROSION LOSS SHALL BE INSTALLED AT ALL EXPOSED SOIL SURFACES. EROSION LOGS SHALL BE LEFT IN A SMOOTH, UNIFORM CONDITION FREE OF BUNTS, DEBRIS, IRREGULARITIES, LOOSE UNCOMPACTED SOIL, ETC. AS GRADING IS COMPLETED. EROSION LOSS, EROSION MAT, AND RIP RAP SHALL BE INSTALLED.
- MAINTAIN EROSION CONTROL UNTIL HOAX VEGETATION IS ESTABLISHED. ADDITIONAL EROSION CONTROL MAY BE NEEDED (EROSION MAT AND SILT FENCE) TO MAINTAIN EROSION CONTROL UNTIL HOAX VEGETATION IS ESTABLISHED.
- FINE GRADING AND RESEEDING MAY ALSO BE REQUIRED UNTIL VEGETATION IS FULLY ESTABLISHED IN ORDER TO PROVIDE SUFFICIENT NATURAL EROSION CONTROL.
- PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
- SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE MOIR. SEPARATE SWEPT MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.

C600 - EROSION CONTROL PLAN

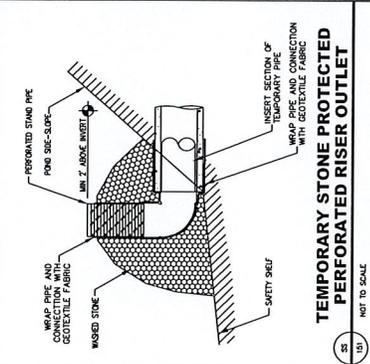
PRELIMINARY - NOT FOR CONSTRUCTION





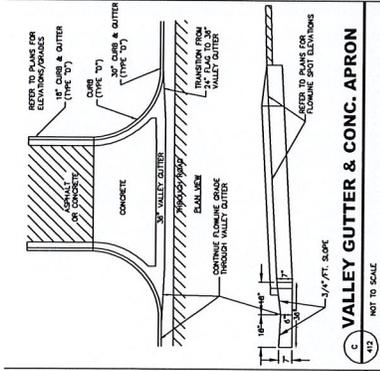
DETECTABLE WARNING FIELD HANDICAP RAMP DETAIL

NOT TO SCALE



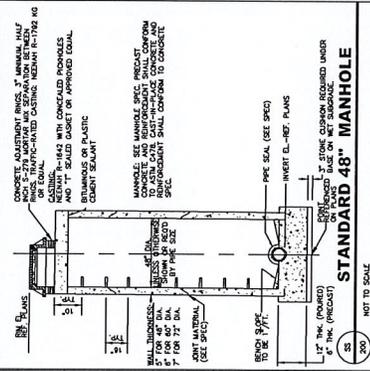
TEMPORARY STONE PROTECTED PERFORATED RISER OUTLET

NOT TO SCALE



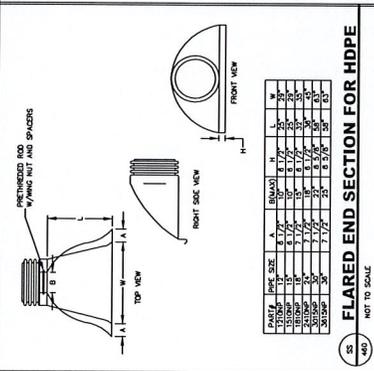
VALLEY GUTTER & CONC. APRON

NOT TO SCALE



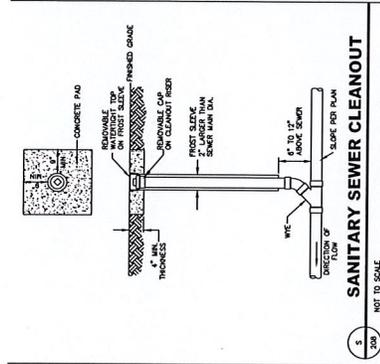
STANDARD 48\"/>

NOT TO SCALE



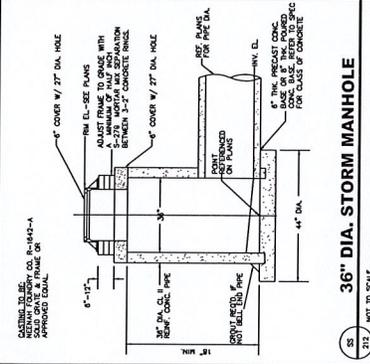
FLARED END SECTION FOR HDPE

NOT TO SCALE



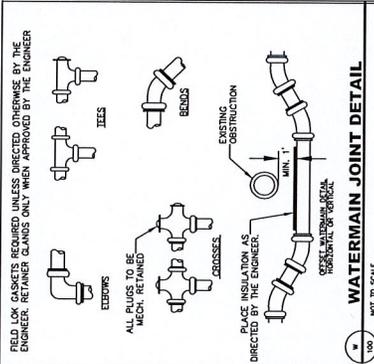
SANITARY SEWER CLEANOUT

NOT TO SCALE



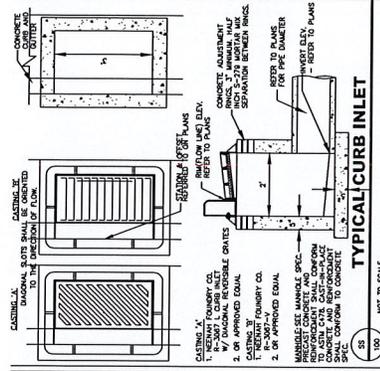
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NOT TO SCALE



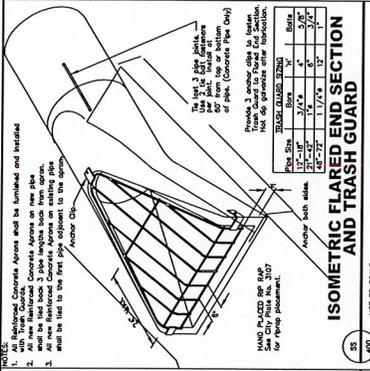
WATERMAIN JOINT DETAIL

NOT TO SCALE



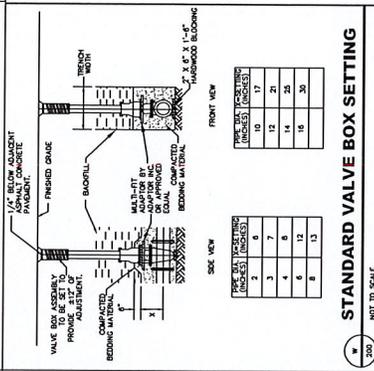
TYPICAL CURB INLET

NOT TO SCALE



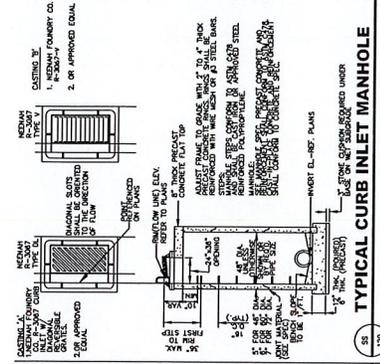
ISOMETRIC FLARED END SECTION AND TRASH GUARD

NOT TO SCALE



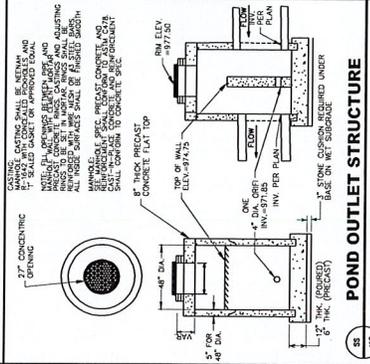
STANDARD VALVE BOX SETTING

NOT TO SCALE



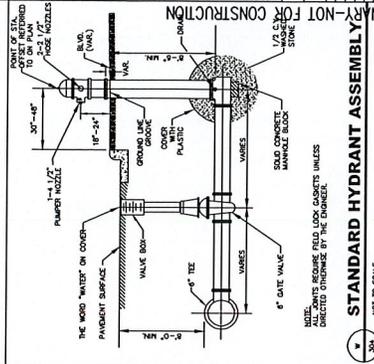
TYPICAL CURB INLET MANHOLE

NOT TO SCALE



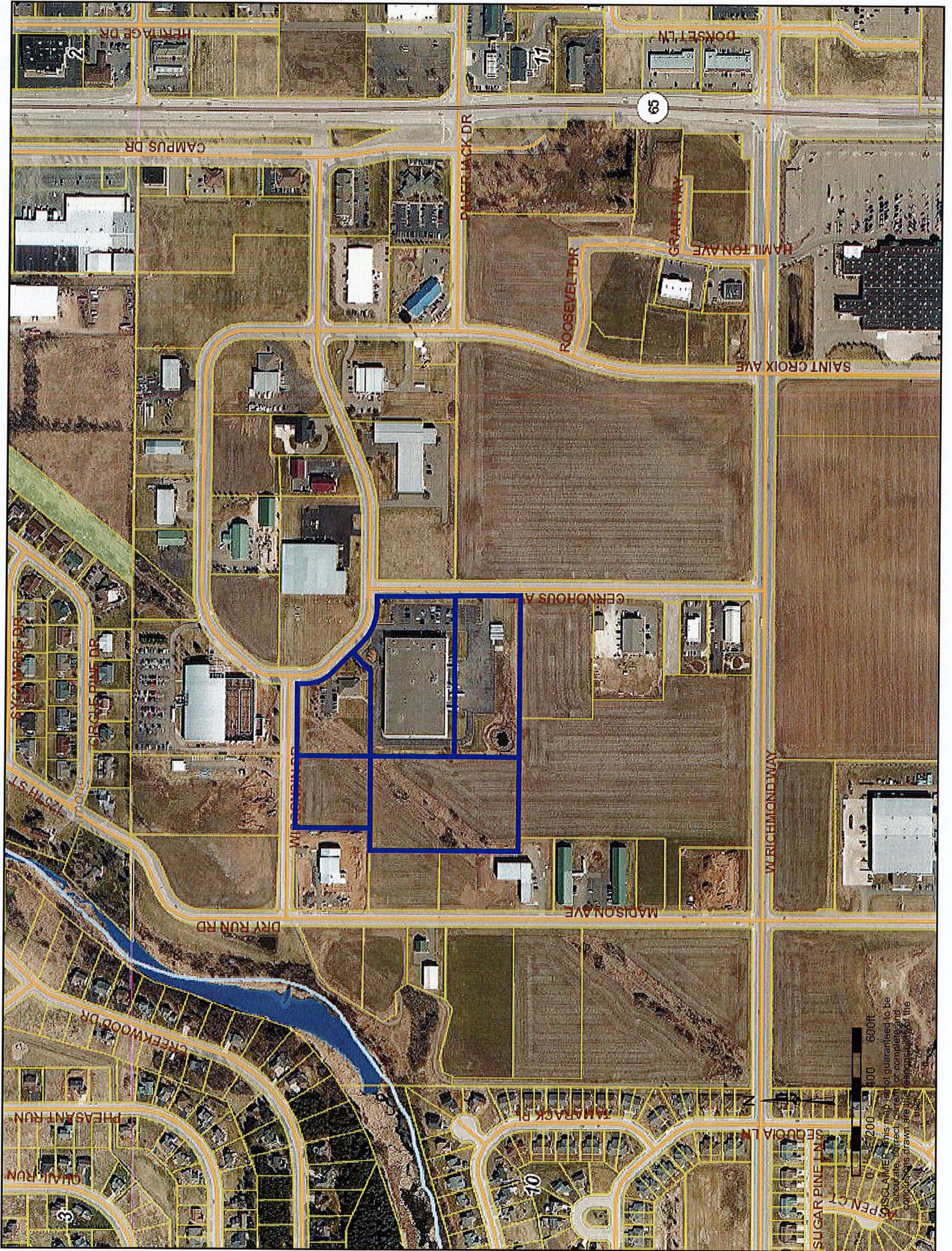
POND OUTLET STRUCTURE

NOT TO SCALE



STANDARD HYDRANT ASSEMBLY

NOT TO SCALE



0 100 200 300 400 500 600 FT

DISCLAIMER: This map is not guaranteed to be accurate, correct, current, or complete and the user assumes all responsibility for the use of this map.



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TO: Mayor Horne and City Council Members

FROM: Beth Thompson, Community Development Director

DATE: May 10, 2018

**RE: Comprehensive Plan Public Hearing
Possible Changes**

Background

The purpose of a Comprehensive Plan is to identify issues, opportunities, needs and organize public policy to address them in a manner that makes the best and most appropriate use of City resources. It will describe a desired future for the community over the next 20 years and establish goals to move toward that future. The Comprehensive Plan is meant to be used by elected and appointed officials and City staff in the ongoing process of making decisions, creating ordinances and allocating funds.

Over the last year the CAP group, along with staff and consultants have been working towards a new Comprehensive Plan for the City of New Richmond. The following was our public/community engagement process:

Regularly Scheduled CAP Committee Meetings

June 14, 2017 (CAP Kickoff)	October 11, 2017	December 13, 2017
August 23, 2017	October 25, 2017	January 10, 2018
September 13, 2017	November 8, 2017	January 24, 2018
September 27, 2017	November 29, 2017	February 21, 2018

CAP Committee Presentations and Community Open House

January 13, 2018	CAP Presentation to City Council
February 23, 2018	CAP Committee Presented at State of the City
February 28, 2018	Open House for the Comprehensive Plan hosted by the CAP Committee
March 21, 2018	CAP Committee Presented for Realtor Assn., Chamber Directors and Ambassadors
April 2, 2018	CAP Committee Presented to Kiwanis, VFW, American Legion, Women's Auxiliary, and Senior Group

Additional CAP/Comprehensive Plan Public Participation Activities

April 12, 2018	Meeting with surrounding Townships
April 17, 2018	Draft Comprehensive Plan was distributed to Mayor, City Council and Plan Commission Members,
April 18, 2018	Distributed to all CAP members
April 19, 2018	Draft Comprehensive Plan was distributed to CAP group, put on-line for public comment, sent to St. Croix County, New Richmond School District, Surrounding Township Clerks, Wisconsin Department of Administration, West Central Regional Planning Commission and Friday Memorial Library
April 19, 2018	Link on City's Website, Facebook and Twitter
April 19, 2018	Emailed to all City staff and E-blast
April 19 – May 14, 2018	Receive Public Comment and make recommendations to Plan Commission
May 15, 2018	Public Hearing held at the Plan Commission
May 15 – June 4, 2018	Receive Public Comment and Recommendations to City Council
June 11, 2018	City Council Meeting - Adoption of the Comprehensive Plan

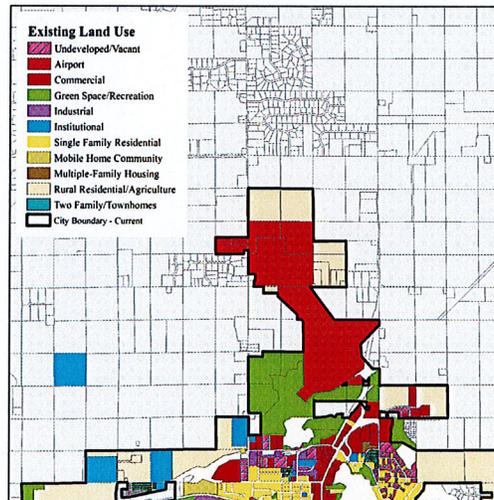
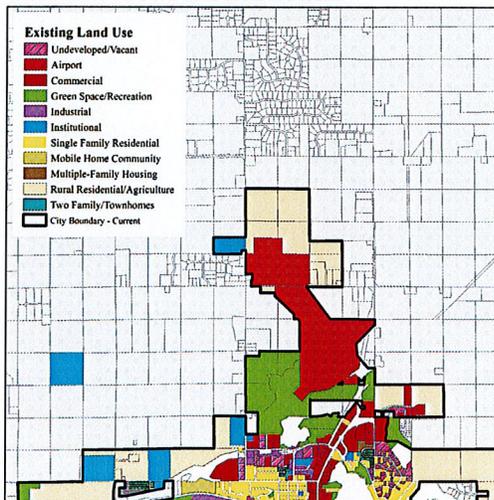
Recommendations

The following have been recommendations/feedback from the public and City staff is recommending approval of the recommendations:

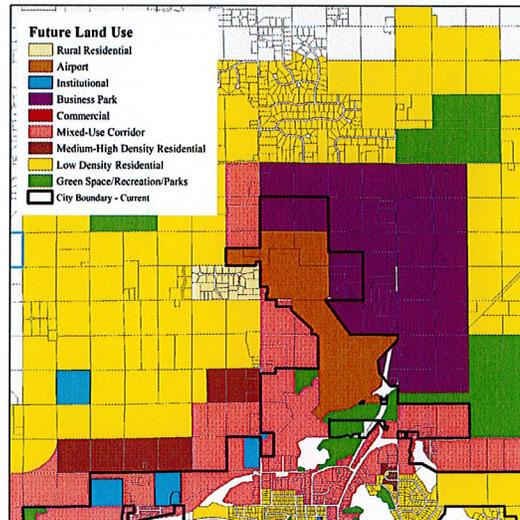
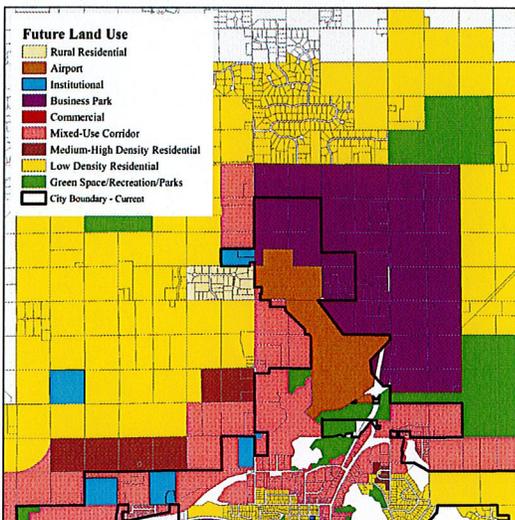
1. Page 1-5 Replace 2008 with 2018
2. Page 3-12 The font and bold needs to be changed to match other headings for Traditional Downtown Mixed-Use
3. Page 3-22 Replace capaCity with capacity
4. Page 4-4 Elevate the importance of Technology under goals and focus on technology
5. Page 4-1 Paragraph 3 take out the end quote”
6. Page 6-7 Add a date and timeframe to the figure
7. Page 7-2 Under City Offices change to “The New Richmond City Office is located
8. Page 8-3 Paragraph 1 second there replace with their
9. Page 9-10 Checklist 1st item – add in a question mark (?)
10. Page 9-15 Fifth paragraph down - Replace assess with access
11. Page 9-22 Add the total number for creation of new city hall

Map recommendations:

On both the existing and future land use maps the airport property needs to be updated and put in brown versus institutional.



Existing Land Use should be changed to

Future Land Use should be changed to



Additional recommendations:

Change the table (3-8) and nomenclature for anticipated growth to make it consistent with future land use categories on page 3-9. **Note:** Please note that this is anticipated growth not proposed growth.

Need to add the following to Page 6-13 or 6-14 - The City and School District recently completed a Safe Routes to School Plan ...

Need to add the following to Page 7-10 - The City of New Richmond supports the efficient use of energy and the development of clean energy resources within the community. The City adopted a resolution in 2008 to support the goal of meeting 25% of the electric and transportation fuel needs with renewable energy by the year 2025. A 2008 goal to achieve a 10% reduction of electric use in municipal buildings was achieved in 2016. In 2017, the City adopted a new municipal energy policy seeking to reduce energy consumption in municipal buildings by 2% in the next two years. Ambitious goals to achieve a clean energy future through energy efficiency and renewable energy will continue to drive change in energy sources and consumption behaviors.