



156 East First Street  
New Richmond, WI 54017  
Ph 715-246-4268 Fax 715-246-7129  
www.newrichmondwi.gov

**August 17, 2016**

**TO ALL PLAN COMMISSION MEMBERS:**

<b>Fred Horne</b>	<b>Ron Volkert</b>
<b>Jim Zajkowski</b>	<b>David Wilford</b>
<b>Mike Kastens</b>	<b>Kyle Hinrichs</b>
<b>MaryKay Rice</b>	<b>Sarah Skinner (ex officio)</b>

**This is to notify you that there is a Plan Commission meeting scheduled for Tuesday, August 23, 2016 at 5:00 p.m. in the Council Chambers of the Civic Center, 156 East First Street, City of New Richmond, WI.**

**AGENDA:**

- 1. Roll Call**
- 2. Adoption of Agenda**
- 3. Approval of the Minutes of the Previous Meeting, July 7, 2016**
- 4. Certified Survey Map From City of New Richmond**
- 5. Certified Survey Map From Federal Foam**
- 6. ESR Site Plan and Stormwater**
- 7. Public Hearing**
  - a. Application for Conditional Use Permit from Bakken-Young Properties to allow the operation of a funeral home in an area zoned Z4 General Urban District and multiple principle buildings within one lot. Property is located just south of 644 South Knowles Avenue and described as ALL THAT PRT OUTLOT 175 LYING S OF LN COM ON W LINE SD OUTLOT AT A PT 170.5 FT S OF NW COR THEREOF, TH E 136 FT, S 60 FT, E 257 FT EXC W 6 FT FOR HWY.**
  - b. Amendment of Section 121-44 of the Zoning Ordinance regulating signs.**
- 8. Action on Public Hearing Agenda**
- 9. Communications and Miscellaneous**
- 10. Adjournment**

**Fred Horne  
Mayor**

**cc:**

**The News  
Nick Vivian  
Tom Rickard  
Craig Yehlik**

**Northwest Cable  
Mike Demulling  
Dan Licht  
Beth Thompson**

**City Website  
Bob Meyer  
Jim VanderWyst  
Steve Skinner**

PLAN COMMISSION MEETING  
JULY 7, 2016 - 5:00 P.M.

Members Present: Fred Horne, Ron Volkert, Mike Kastens, Jim Zajkowski and Sarah Skinner (ex-officio)

Members Absent: David Wilford, Kyle Hinrichs, and MaryKay Rice

Others Present: Brian Johnston, Beth Thompson, Tanya Reigel and Noah Wiedenfeld

Fred Horne called the meeting to order and roll call was taken.

Jim Zajkowski moved to adopt the agenda as presented, seconded by Mike Kastens and carried.

Mike Kastens moved to approve the minutes of the previous meeting on June 7, 2016, seconded by Jim Zajkowski and carried.

**Site Plan Review for New Richmond Area Centre/School District**

Beth Thompson reviewed the site plan from the New Richmond Area Center/School District. This is currently a single family home and the School District has asked to have their Bridge Program housed there on a temporary basis for three staff and four to seven kids. The goal for the school district is to use the Farm to Table house for this program as soon as it is available. The Development Review Committee has reviewed the site plan and recommends approval. The comprehensive plan and zoning ordinance allows for this use. Staff will park in the Centre lot rather than on the street. Kids could be present from 7:30 a.m. to 3:30 p.m. No signs will be put up and there will be no outdoor storage. Sarah Skinner stated that the building code allows her and the Fire Chief to approve a temporary occupancy for 180 days and that can be extended for an additional 180 days. The time period for the approved occupancy will be September of 2016 to June of 2018. Fred Horne requested to have the school district contact the adjacent neighbors to explain the bridge program. This was added as a condition to the approval below.

Jim Zajkowski moved to approve the site plan and occupancy of 451 East 5<sup>th</sup> Street by high school education program of the School District of New Richmond subject to the following conditions:

1. Use of the premises for an education program is limited to September 2016 to June 2018 unless an amended site plan is approved and the building is brought into compliance with the requirements of the Building Code for a permanent use.
2. Occupancy of the building is subject to review and approval of the Building Inspector for compliance with the requirements of the Building Code.
3. Off-Street parking for staff and/or students shall occur within the improved parking areas of the adjacent New Richmond Area Centre; no vehicles are to be parked on the subject site or abutting public streets.
4. Any outdoor uses or storage shall comply with Section 121-48.A.2 of the Zoning Ordinance and any trash generated by the use shall be kept inside of the principal building.
5. No signs identifying the use shall be displayed upon the property.
6. The school district is required to notify the adjacent neighbors of the Bridge program that will occupy this home.

Motion was seconded by Fred Horne and carried.

**Sign Ordinance Update**

Noah Wiedenfeld gave an update on the Sign Ordinance. There was discussion regarding sign permit fees. Staff is recommending a flat fee of \$75 plus \$10 per additional sign. There was discussion regarding a graduated fee of \$150.00 for signs larger than a certain size. There was also discussion regarding temporary signs. Mayor Horne requested more time and thought on how many days we should allow temporary signs.

**Communications & Miscellaneous**

Fun Fest is this weekend and non-profit organizations are looking for help if anyone is interested. The parade will be on Sunday at 12:30 p.m.

Mike Kastens moved to adjourn the meeting, seconded by Jim Zajkowski and carried.

Meeting adjourned at 5:25 p.m.

Tanya Reigel  
City Clerk



3601 Thurston Avenue N, Suite 100  
Anoka, MN 55303  
Phone: 763.231.5840  
Facsimile: 763.427.0520  
TPC@PlanningCo.com

## MEMORANDUM

TO: Beth Thompson

FROM: Daniel Licht, AICP

DATE: 17 August 2016

RE: New Richmond – Dorset Lane; CSM

TPC FILE: 164.01

## BACKGROUND

The City of New Richmond has prepared a Certified Survey Map (CSM) to provide for dedication of public right-of-way for a portion of Dorset Lane from an existing lot at the southeast corner of Knowles Avenue (Highway 65) and East Richmond Way. The subject site is owned by St. Croix County. The acquisition of public right-of-way to be dedicated with the CSM will allow for extension of Dorset Lane as a public street, which currently terminates to the north of the subject site. The CSM is subject to review by the Plan Commission and approval of the City Council, in accordance with Section 117-20 of the Subdivision Ordinance.

### Exhibits:

- A. Site Location
- B. Certified Survey Map

## ANALYSIS

**Comprehensive Plan.** The Comprehensive Plan guides the subject site for commercial uses. The proposed CSM will provide for extension of Dorset Lane from the north through the subject site. Extension of Dorset Lane is necessary to allow for development of the approved Aldi's to the west of the subject site and will create opportunity for future commercial development of the land to the south in Richmond Township consistent with the Land Use Plan adopted as part of the Comprehensive Plan.

**Zoning.** The subject site is zoned Z3 District. The Z3 District allows for a range of uses appropriate for the Knowles Avenue corridor. St. Croix County’s current use of the subject site as a services center (essentially an office use) is a permitted use in the Z3 District as listed in Table 3 of the Zoning Ordinance.

**Surrounding Uses.** The subject site is surrounded by the existing and planned land uses shown in the table below.

Direction	Land Use Plan	Zoning Map	Existing Use
North	Commercial	Z3 District	Undeveloped
East	Institutional	Z3 District	School
South	Commercial	N/A	Agriculture
West	Commercial	Z3 District	Large box retail

**Right-of-Way.** The proposed CSM provides right-of-way for the east side of Dorset Lane starting with a width of 30 feet and tapering to 27 feet, transitioning from the existing 60 foot wide right-of-way to the 50 foot wide right-of-way standard now required by Table 4 of the Subdivision Ordinance for a local commercial street. The right-of-way being dedicated from the subject site is off-set four feet to the east to minimize the curvature in the extension of Dorset Lane and maintain the necessary building envelope for the approved Aldi’s store on the lot west of Dorset Lane.

**Public Improvement Project.** The City has initiated a public improvement project to reconstruct the existing private roadway as a public street. The proposed street section will include curb and gutter and a sidewalk on the west side of the street. The City is coordinating the public improvement project with the abutting property owners with regards to access locations and driveway widths that comply with Section 70-39 of the City Code, subject to approval of the Public Works Director.

**Lot Requirements.** Table 6 of the Zoning Ordinance establishes minimum requirements for lots within the Z3 District. The minimum lot width requirement is 80 feet and the subject site will comply with this requirement upon approval of the CSM and dedication of public right-of-way. Lot coverage within the Z3 District is limited to 70 percent. The subject site appears to exceed this requirement, but as an existing developed lot predating the establishment of the current Z3 District requirements, the lot coverage of the subject site exists as a legal non-conforming condition.

**Setbacks.** Setbacks applicable to the subject site are established by Table 6 of the Zoning Ordinance. The only setback affected by the proposed CSM is the required 25 foot primary front yard setback required between the existing principal building the proposed east right-of-way line. The existing building will be setback approximately 240 feet from the proposed right-of-way line exceeding the front yard setback requirement of the Z3 District. The parking area will be setback 10 feet, whereas the Z3 District requires a 15 foot setback for parking areas from the principal front lot line. As the setback for the parking area is being established

through public action to acquire the right-of-way for Dorset Lane, a setback less than 15 feet may be approved as part of the CSM due to existing conditions.

**Easements.** The proposed CSM identifies drainage and utility easements at the perimeter of each lot as required by Section 117-41.C.1 including 10 feet abutting public rights-of-way and five feet along side lot lines. The CSM also illustrates a 45 foot wide private access easement along the north property line of the subject site that may provide for a future private driveway between Dorset Lane and Doman Drive based on the development of the two lots to the north of the subject site and/or potential redevelopment of the subject site.

## **RECOMMENDATION**

City staff recommends approval of the CSM to provide for right-of-way required for extension of Dorset Lane as outlined below.

## **POSSIBLE MOTIONS**

- A. Motion to **approve** a CSM for the City of New Richmond as presented.
  - B. Motion to **deny** the application based on a finding that the request is not consistent with the Comprehensive Plan and/or Subdivision Ordinance.
  - C. Motion to **table** for further discussion.
- c. Mike Darrow, City Administrator  
Tanya Reigel, City Clerk  
Jeremiah Wendt, Public Works Director  
Sarah Skinner, Building Inspector



SUBJECT SITE

W RICHMOND WAY

E RICHMOND WAY

HAMILTON AVE

DORSE LN

DOMAN DR

GUNSTON DR

CASSANDRA DR

11

NW - SW

NE-SE

10

65



DISCLAIMER: This map is not guaranteed to be accurate, current, or complete and conclusions drawn are the responsibility of the user.





**City of New Richmond**  
156 East First Street ❖ New Richmond, WI 54017  
Phone: (715) 246-4268 ❖ Fax: (715) 246-7129

CITY ORDINANCE SECTION 117 & 121  
www.newrichmondwi.gov

- |   |          |                               |
|---|----------|-------------------------------|
| <input type="checkbox"/> SITE PLAN/STORM WATER REVIEW FEE:    | \$250.00 | ESCROW: \$1,500.00            |
| <input type="checkbox"/> CONCEPT PLAN FEE:                    | \$150.00 | ESCROW: \$1,500.00            |
| <input checked="" type="checkbox"/> CERTIFIED SURVEY MAP FEE: | \$200.00 | ESCROW: \$1,500.00 <i>N/A</i> |
| <input type="checkbox"/> AMENDED CERTIFIED SURVEY FEE:        | \$200.00 | ESCROW: \$1,500.00            |

*Application fees should be made payable to City of New Richmond upon submittal of completed application. Escrow funds will be drawn to cover project-related costs. Additional funds may be required; surplus funds will be returned.*

Please complete the application by typing or printing in ink. Use additional paper if necessary.

**1. Property Owner Information:**

Company name: St. Croix County / City of New Richmond  
Last name: \_\_\_\_\_ First name: \_\_\_\_\_  
Address: 1752 Dorset Lane City/State/Zip: New Richmond, WI 54017  
Phone number: 715-246-6991 Email address: N/A

**2. Applicant Information: (if different from above)**

Company name: City of New Richmond  
Last name: \_\_\_\_\_ First name: \_\_\_\_\_  
Address: 156 East First Street City/State/Zip: New Richmond, WI 54017  
Phone number: 715-246-4268 Email address: \_\_\_\_\_

**3. Address(es) of Property Involved: (if different from above)**

\_\_\_\_\_

**4. Zoning Designation:** Z3 Multi Use Corridor District

**5. Statement of Intent:** Briefly describe what will be done on or with the property: \_\_\_\_\_

The City has prepared a CSM to provide for dedication of public right-of-way for a portion of  
Dorset Lane from a lot owned by St. Croix County.

**6. Additional Required Information:**

- a. **Legal Description and PIN:** Provide the Parcel Identification Number(s) and the complete legal description(s) of the property involved.
- b. **Consultant Fees:** Whenever third party consultants are utilized in the preparation of application materials (e.g., a traffic study) or the City's review of an application (e.g., traffic study analysis), the applicant shall be responsible for paying the entirety of those costs.
- c. **Other Information:** In addition to a full size site plan and an 11" x 17" copy, topographic survey, landscape plan, grading and drainage plan, exterior building elevation drawings, and other information may also be required if deemed necessary by City Staff. Please refer to Sec. 121-31 for further information on Site Plans.

7. **Signature(s):** By signing below, you attest that the information above and attached is true and correct to the best of your knowledge.

Property Owner: \_\_\_\_\_

Date: \_\_\_\_\_

Applicant:  \_\_\_\_\_

Date: 8/17/16

Fee Paid: N/A

Date: 8/17/16

Receipt # N/A

Escrow Paid: N/A

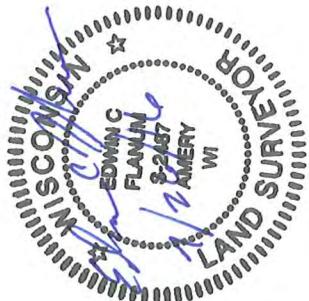
Date: 8/17/16

Receipt # N/A

**Zoning change applications must be received by the first Thursday of each month; applications received after this date cannot be heard at the Planning Commission meeting the following month.**

# CERTIFIED SURVEY MAP

LOCATED IN PART OF THE NW1/4 OF THE SW1/4, SECTION 11, T30N, R18W, CITY OF NEW RICHMOND, ST. CROIX COUNTY, WISCONSIN; BEING LOT 11 OF CERTIFIED SURVEY MAP RECORDED IN VOLUME 22, PAGE 5373, DOCUMENT NUMBER 846611.



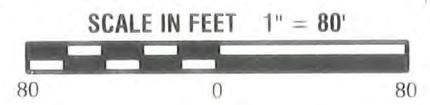
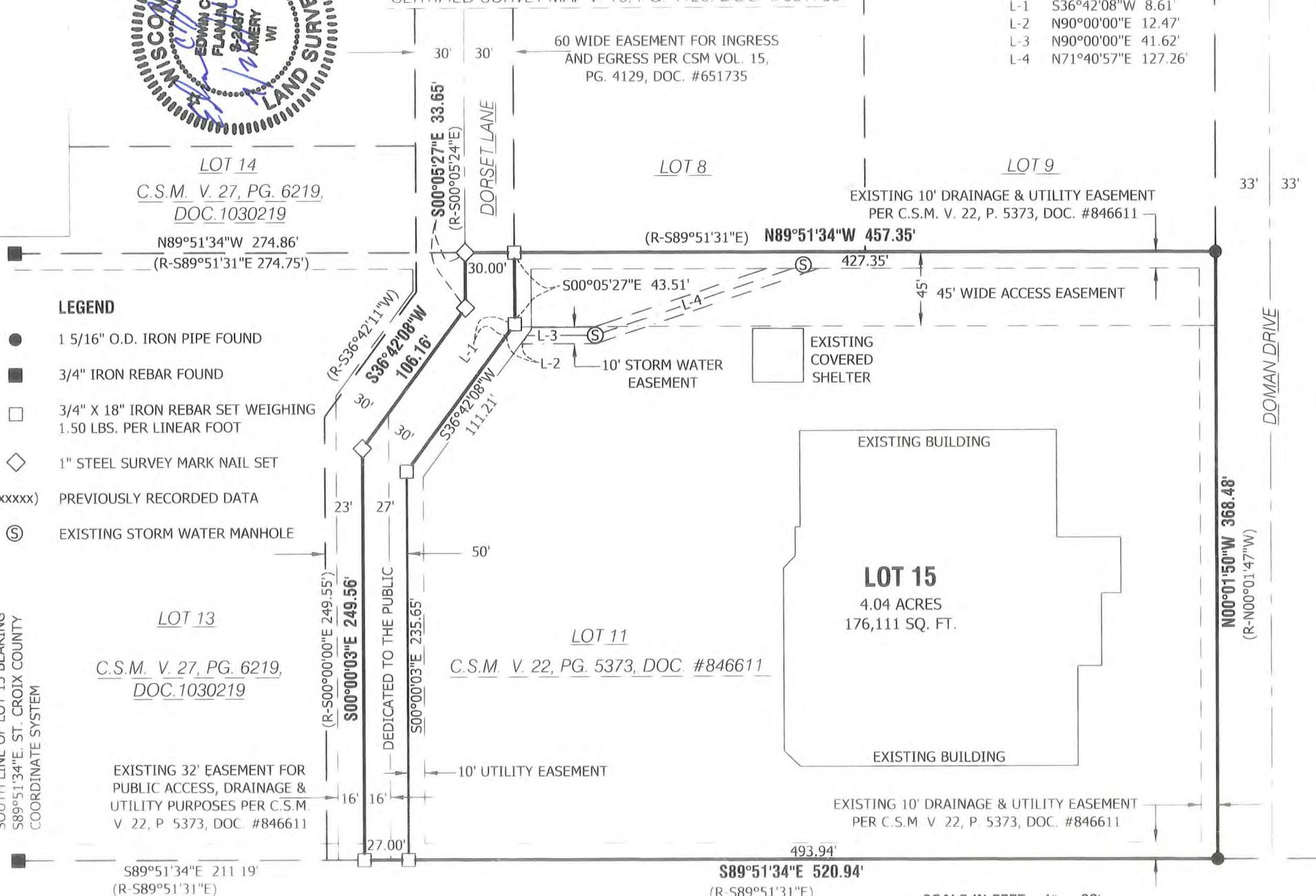
CERTIFIED SURVEY MAP V. 15, PG. 4129, DOC. #651735

LINE DATA

L-1	S36°42'08"W	8.61'
L-2	N90°00'00"E	12.47'
L-3	N90°00'00"E	41.62'
L-4	N71°40'57"E	127.26'

- LEGEND**
- 1 5/16" O.D. IRON PIPE FOUND
  - 3/4" IRON REBAR FOUND
  - 3/4" X 18" IRON REBAR SET WEIGHING 1.50 LBS. PER LINEAR FOOT
  - ◇ 1" STEEL SURVEY MARK NAIL SET
  - (R-xxxxx) PREVIOUSLY RECORDED DATA
  - Ⓢ EXISTING STORM WATER MANHOLE

**N**  
BEARINGS ARE REFERENCED TO THE SOUTH LINE OF LOT 13 BEARING S89°51'34"E. ST. CROIX COUNTY COORDINATE SYSTEM



# CERTIFIED SURVEY MAP

LOCATED IN PART OF THE NW1/4 OF THE SW1/4, SECTION 11, T30N, R18W, CITY OF NEW RICHMOND, ST. CROIX COUNTY, WISCONSIN; BEING LOT 11 OF CERTIFIED SURVEY MAP RECORDED IN VOLUME 22, PAGE 5373, DOCUMENT NUMBER 846611.

## SURVEYOR'S CERTIFICATE

I, Edwin C. Flanum, Professional Wisconsin Land Surveyor, hereby certify that by the direction of the City of New Richmond, I have surveyed, mapped and described the parcel of land which is represented by this Certified Survey Map; that the exterior boundary of the parcel of land surveyed and mapped is described as follows:

Lot 11 of Certified Survey Map recorded in Volume 22, Page 5373, Document Number 846611 at the St. Croix County Register of Deeds Office. Located in part of the NW1/4 of the SW1/4 of Section 11, T30N, R18W, City of New Richmond, St. Croix County, Wisconsin.

Described parcel contains 4.29 acres (187,079 Sq. Ft.). Parcel is subject to all easements, restrictions, and covenants of record.

I, also certify that this Certified Survey Map is a correct representation to scale of the exterior boundary surveyed and described; that I have fully complied with the current provisions of Chapter 236.34 of the Wisconsin Statutes and the City of New Richmond Subdivision Ordinance in surveying and mapping same.

  
Edwin C. Flanum, P.L.S. 2487  
7/26/16  
Date



**OWNER**  
ST. CROIX COUNTY  
1101 CARMICHAEL ROAD  
HUDSON, WI 54016

**SURVEYOR**  
EDWIN C FLANUM  
NORTHLAND SURVEYING, INC.  
P.O. BOX 152  
AMERY, WI 54001

## OWNER'S CERTIFICATE OF DEDICATION

St. Croix County, a governmental subdivision of the State of Wisconsin, as owner, does hereby certify that said county caused the land described on this Certified Survey Map to be surveyed, divided, mapped, and dedicated as represented on this Certified Survey Map.

St. Croix County, does further certify that this Certified Survey Map is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection: City of New Richmond.

N WITNESS WHEREOF, said St. Croix County has caused these presents to be signed by Roger Larson, its County Board Chairperson, and countersigned by Cindy Campbell, its County Clerk, at Hudson, Wisconsin, and its seal to be hereunto affixed on this \_\_\_\_\_, day of \_\_\_\_\_, 20\_\_\_\_. In the presence of:

  
Roger Larson, County Board Chairperson  
Date 8-11-2016

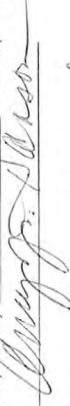
  
Cindy Campbell, County Clerk  
Date 8-11-2016

State of Wisconsin )SS  
County of St. Croix )

Personally came before me this 11<sup>th</sup> day of August, 2016, Roger Larson, County Board Chairperson, and Cindy Campbell, County Clerk of St. Croix County, to me known to be the persons who executed the foregoing instrument, and to me known to be such County Board Chairperson and County Clerk of said County, and acknowledged that they executed the foregoing instrument as such officers as the deed of said county, by its authority.



(Notary Seal) \_\_\_\_\_, Notary Public, St. Croix Co., Wisconsin

  
Notary Public, St. Croix Co., Wisconsin.  
My Commission expires 02-02-2019

## Common Council Approval Certificate

Resolved, that this Certified Survey Map in the City of New Richmond, St. Croix County, owner, is hereby approved by the common council.

Date approved: \_\_\_\_\_ Signed: \_\_\_\_\_ Frederick Horne, Mayor

Date signed: \_\_\_\_\_ Signed: \_\_\_\_\_ Frederick Horne, Mayor

Clerk's Certificate

I hereby certify that the foregoing is a copy of a resolution adopted by the common council of the City of New Richmond.

Tanya Reigel, Clerk

Date



3601 Thurston Avenue N, Suite 100  
Anoka, MN 55303  
Phone: 763.231.5840  
Facsimile: 763.427.0520  
TPC@PlanningCo.com

## MEMORANDUM

TO: Beth Thompson

FROM: Daniel Licht, AICP

DATE: 17 August 2016

RE: New Richmond – Federal Foam; CSM

TPC FILE: 164.02

## BACKGROUND

Granberg & Sonnentag Land Solutions LLC has prepared a Certified Survey Map (CSM) to provide for subdivision and dedication of public right-of-way of the lot owned by Federal Foam within the property at the northeast corner of Knowles Avenue (Highway 65) and Paperjack Drive. City staff has discussed with the property owner acquisition of public right-of-way to be dedicated with the CSM for Heritage Drive, which currently terminates to the north of the subject site. Although there is no public right-of-way through the subject site and the abutting property to the north for Heritage Drive, there is a paved roadway being used by the public as a connection between Paperjack Drive and Meridian Drive. There are also City water and sewer utilities in-place beneath the paved roadway section. The CSM is subject to review by the Plan Commission and approval of the City Council, in accordance with Section 117-20 of the Subdivision Ordinance.

### Exhibits:

- A. Site Location
- B. CSM

## ANALYSIS

**Comprehensive Plan.** The Comprehensive Plan guides the subject site for commercial uses. The proposed CSM will provide for two lots, one with the existing developed principal building and one abutting Knowles Avenue with the existing off-street parking area. The proposed lot

abutting Knowles Avenue is an opportunity to develop a commercial use consistent with the land use policies of the Comprehensive Plan.

**Zoning.** The subject site is zoned Z3 District. The Z3 District allows for a range of uses appropriate for the Knowles Avenue corridor. Federal Foam’s existing warehousing use of the property (and proposed Lot 3) is not allowed within the Z3 District, but operates as a legal non-conforming use in accordance with Section 121-17 of the Zoning Ordinance. Development of proposed Lot 2 will be subject to the allowed uses within the Z3 District as specified by Table 3 of the Zoning Ordinance.

**Surrounding Uses.** The subject site is surrounded by the existing and planned land uses shown in the table below.

Direction	Land Use Plan	Zoning Map	Existing Use
North	Commercial	Z3 District	Undeveloped
East	Med. Density Residential	Z3 District	Twin homes
South	Commercial	Z3 District	Retail Store C-Store/gas
West	Industrial	Z7 District	Office/Industrial

**Right-of-Way.** The proposed CSM provides for a 50 foot wide right-of-way to be dedicated to the public for Heritage Drive from the south line to the north line of the subject site overlaying the existing roadway and utility corridor. The width of the proposed right-of-way complies with Table 4 of the Subdivision Ordinance for a local commercial street. To complete the connection of Heritage Drive from its current terminus to Paperjack Drive, additional right-of-way must be acquired from the abutting undeveloped property to the north. City staff is discussing acquisition of the right-of-way with that property owner as a separate action. Section 121-49.B of the Zoning Ordinance provides that all buildings be placed on a lot so that they will not obstruct future streets or utilities. This provision ensure that the City will ultimately be able to effect connecting Heritage Drive between Paperjack Drive and Meridian Drive to provide for access and circulation of traffic to all properties in the area.

**Lot Requirements.** Table 6 of the Zoning Ordinance establishes minimum requirements for lots within the Z3 District. The minimum lot width requirement is 80 feet and both lots proposed on the CSM exceed this requirement. Development of the lots is limited to 70 percent lot coverage. As an existing developed lot predating the establishment of the current Z3 District requirements, the lot coverage of the subject site exists as a legal non-conforming condition.

**Setbacks.** Setbacks applicable to the subject site and proposed lots shown on the CSM are established in Table 6 of the Zoning Ordinance. The only setback affected by the proposed CSM is the required 20 foot secondary front yard setback required between the existing principal building on Lot 3 and the proposed right-of-way for Heritage Drive. The existing building will be setback 10 feet from the proposed right-of-way line. As the CSM is providing for dedication of right-of-way over an existing roadway being used by the public and the location of the existing

principal building relative to this roadway is already established, non-compliance with the 20 foot setback requirement is considered to be a legal non-conforming condition subject to Section 121-17 of the Zoning Ordinance. That the non-conforming condition is further caused by City action to acquire right-of-way over the roadway used by the public is further basis for approval of the CSM.

**Easements.** The proposed CSM identifies drainage and utility easements at the perimeter of each lot as required by Section 117-41.C.1 including 10 feet abutting public rights-of-way and five feet along side lot lines. The easement acquired by the City for construction of a sidewalk abutting Paperjack Drive along the south lot line of the subject site is also shown on the CSM.

**Utilities.** There are existing sanitary sewer and water utility mains in-place beneath the paved roadway included within the right-of-way to be dedicated to the public with the proposed CSM. No modification of the existing utilities is planned at this time. Future modifications or connections to these existing utilities will be subject to review and approval of the Public Works Director.

**Grading.** No grading plan has been prepared in conjunction with the proposed CSM and no grading activities are planned at this time. Future improvement of Heritage Drive or redevelopment of Lots 2 and 3 will be subject to performance standards for grading, drainage, and erosion control as established by the Zoning Ordinance and City Code, subject to review and approval of the Public Works Director.

**Access.** The subject site abuts Knowles Avenue and Paperjack Drive, but no direct lot access to these roadways is allowed based on their respective functional classifications as a minor arterial and collector street by the Comprehensive Plan. Access to proposed Lots 2 and 3 will be provided from the roadway within the Heritage Drive right-of-way to be dedicated to the public. The dedication of right-of-way with the CSM for Heritage Drive will also allow for extension of the roadway to access future development of the abutting lot to the north.

**Off-Street Parking.** The proposed CSM creating two lots divided by public right-of-way separates the principal building from its accessory off-street parking. To ensure access to off-street parking for both the existing use and any potential future use, access to the parking on Lot 2 must be secured for Lot 3. Section 121-52.A.6 of the Zoning Ordinance allows for administrative approval of shared parking between adjacent properties within 300 feet. A cross parking easement will need to be recorded with Lots 2 and 3 establishing a joint parking arrangement. Future development of Lot 2 will be required to provide the number of off-street parking stalls required for the existing use of Lot 3, as well as the use to be developed on Lot 2 (unless additional parking is constructed on Lot 3).

## RECOMMENDATION

The proposed CSM complies with the requirements of the Subdivision Ordinance and Zoning Ordinance. The Development Review Committee considered the proposed CSM at their meeting on 19 July 2016 and recommends approval as outlined below.

## POSSIBLE MOTIONS

- A. Motion to recommend City Council **approval** of a CSM for berg & Sonnentag Land Solutions LLC, subject to the following condition:
    - 1. The developer shall submit a cross parking easement to be recorded with Lots 2 and 3 establishing a joint parking arrangement for the number of off-street parking stalls required by the Zoning Ordinance.
  - B. Motion to recommend the application be **denied** based on a finding that the request is not consistent with the Comprehensive Plan, Zoning Ordinance and/or Subdivision Ordinance.
  - C. Motion to **table** for further discussion.
- c. Mike Darrow, City Administrator  
Tanya Reigel, City Clerk  
Jeremiah Wendt, Public Works Director  
Sarah Skinner, Building Inspector



SUBJECT SITE

EXHIBIT A

LOT 1

ARLENE CT

KATHRYN CT

ALICE CT

DOMAN DR

DOMAN DR

VACATED ROW HERITAGE DR

CAMPUS DR

WISCONSIN DR

PAPERJACK DR

CHARLESTON DR

WILLIAMSBURG PL

GUNSTON DR

DOMAN DR

CROFT ST

BLOCK 1

ANNEXATION 916805



NE disclaimer text: This map is not guaranteed to be accurate, complete and up-to-date. The user assumes all responsibility for the use of this map.



City of New Richmond  
156 East First Street ❖ New Richmond, WI 54017  
Phone: (715) 246-4268 ❖ Fax: (715) 246-7129

CITY ORDINANCE SECTION 117 & 121  
www.newrichmondwi.gov

<input type="checkbox"/> SITE PLAN/STORM WATER REVIEW FEE:	\$250.00	ESCROW: \$1,500.00
<input type="checkbox"/> CONCEPT PLAN FEE:	\$150.00	ESCROW: \$1,500.00
<input checked="" type="checkbox"/> CERTIFIED SURVEY MAP FEE:	\$200.00	ESCROW: \$1,500.00
<input type="checkbox"/> AMENDED CERTIFIED SURVEY FEE:	\$200.00	ESCROW: \$1,500.00

*Application fees should be made payable to City of New Richmond upon submittal of completed application. Escrow funds will be drawn to cover project-related costs. Additional funds may be required; surplus funds will be returned.*

Please complete the application by typing or printing in ink. Use additional paper if necessary.

1. Property Owner Information:

Company name: Federal Foam Technologies, Inc.  
Last name: Longtin First name: Cathy  
Address: 600 Wisconsin Drive City/State/Zip: New Richmond, WI 54017  
Phone number: 715-246-9500 Email address: c.longtin@federalfoam.com

2. Applicant Information: (if different from above)

Company name: GRANBERG & SONNENTAG LAND SOLUTIONS, LLC.  
Last name: GRANBERG First name: JOSEPH  
Address: 1428 134th AVE City/State/Zip: NEW RICHMOND, WI 54017  
Phone number: 715-246-7529 Email address: joe@gslandsolutions.com

3. Address(es) of Property Involved: (if different from above) 1470 S. Knowles Ave.  
New Richmond, WI 54017

4. Zoning Designation: Z-3 (multi use)

5. Statement of Intent: Briefly describe what will be done on or with the property: Divide  
existing lot into 3 lots & dedicate roadway back  
to City of N.R.

**6. Additional Required Information:**

- a. **Legal Description and PIN:** Provide the Parcel Identification Number(s) and the complete legal description(s) of the property involved.
- b. **Consultant Fees:** Whenever third party consultants are utilized in the preparation of application materials (e.g., a traffic study) or the City's review of an application (e.g., traffic study analysis), the applicant shall be responsible for paying the entirety of those costs.
- c. **Other Information:** In addition to a full size site plan and an 11" x 17" copy, topographic survey, landscape plan, grading and drainage plan, exterior building elevation drawings, and other information may also be required if deemed necessary by City Staff. Please refer to Sec. 121-31 for further information on Site Plans.

7. **Signature(s):** By signing below, you attest that the information above and attached is true and correct to the best of your knowledge.

Property Owner: Federal Foam Technologies

Date: 6/23/2016

Applicant: Catherine Long

Date: 6/23/2016

Fee Paid: \$200.00

Date: 6/24/16

Receipt # 63064

Escrow Paid: \$500.00

Date: 6/24/16

Receipt # 63064

**Zoning change applications must be received by the first Thursday of each month; applications received after this date cannot be heard at the Planning Commission meeting the following month.**





3601 Thurston Avenue N, Suite 100  
Anoka, MN 55303  
Phone: 763.231.5840  
Facsimile: 763.427.0520  
TPC@PlanningCo.com

## MEMORANDUM

TO: Beth Thompson

FROM: D. Daniel Licht, AICP

DATE: 17 August 2016

RE: New Richmond – ESR: Site Plan Review

TPC FILE: 164.02

## BACKGROUND

The City has received a development application for a lot within the New Richmond Business and Technical Park with East Suburban Resources (ESR) for development of a 15,490 square foot building. ESR is a non-profit organization that employs adults with developmental disabilities and other special needs for various businesses. The proposed building would be used as a manufacturing facility that would include service to other businesses in the New Richmond Business and Technical Park. The subject site is located adjacent to St. Croix Avenue across from Wisconsin Drive. The Development Review Committee considered the application at their meeting on 15 August 2016.

### Exhibits:

- A. Site location map
- B. Proposed Floor Plan
- C. Exterior Elevations
- D. Existing Site Conditions
- E. Site Plan (2 sheets)
- F. Grading Plan
- G. Erosion Control Plan
- H. Utility Plan
- I. Landscape Plan
- J. Site Details (3 sheets)

**ANALYSIS**

**Comprehensive Plan.** The subject site is guided by the Comprehensive Plan for industrial use. The proposed 15,490 square foot manufacturing facility would be consistent with the future land use plan.

**Zoning.** The subject site is zoned Z7 District and manufacturing uses are a permitted use. The proposed building is subject to administrative review by the Development Review Committee (DRC) in accordance with Section 121-30 of the Zoning Ordinance. Due to the large scale of this project, the DRC brought the item to the Plan Commission for approval. The site and building plans are also subject to review by the Development Covenants Architectural Review Board.

**Lot Requirements.** The table below outlines the lot requirements applicable to the subject site. The proposed site plan complies with the applicable lot requirements of the Z7 District.

	Max. Lot Cover	Setbacks					
		Building			Parking		
		ROW	Side		Front	Side	
		St. Croix Ave.	East	South	St. Croix Ave.	East	South
Required	60%	30ft.	10ft.		15ft.	5ft.	
Proposed	54%	70ft.	36ft.	54ft.	30ft.	17ft.	26ft.

**Building.** The proposed exterior of the building must comply with Section 121-49.G of the Zoning Ordinance. The proposed building exterior must also comply with the development covenants for the New Richmond Business and Technical Park. Section 121-49.G.2 of the Zoning Ordinance limits use of metal siding for the proposed building to not more than 50 percent of the area of any elevation with brick, stone, rock face block or precast concrete panels used for the remaining exterior material. Section A-9 of the Development Covenants has a less restrictive requirement of 25 percent masonry materials for elevations facing public streets that the proposed building complies with.

Section 121-49.G.3.a of the Zoning Ordinance further states that for buildings not visible from adjacent residential districts, the Zoning Administrator may grant an additional exception to the exterior material requirements. The subject site is screened from view of the existing residential uses to the north by vegetation within a City owned greenway and plantings on the Phillips Medisize property. As such, an administrative exception to allow the exterior elevations to have up to 75 percent of each elevation (all four sides of the building) finished with metal siding is appropriate and will comply with the requirements of the Zoning Ordinance and Development Covenants.

**Landscaping.** A landscape plan has been provided and is subject to the requirements of Section 121-55 of the Zoning Ordinance, including Table 15. The proposed landscape plan meets minimum 80% opacity requirement for screening of parking/loading areas from public street and the number of evergreen plantings represent 60% of the total. Section 121-55.I.2 of the Zoning Ordinance requires the developer to provide a financial guarantee equal to 125 percent of the cost for materials and labor for proposed landscape plan. The security is to be held by the City until it is verified that all plantings have survived through two winter seasons between October 31 and April 30.

**Access.** Section 70-39 of the City Code limits each property to one driveway and driveway width is limited to 26 feet. Exceptions to these requirements for site specific access and traffic circulation needs are allowed subject to the recommendation of the Public Works Director. The site plan proposes three accesses to St. Croix Avenue. The south/west most access is 20 feet wide and must be posted to allow entrance only for one-way circulation counterclockwise around the building. The central access is 42 feet wide provides primary entry and exit for the passenger vehicle parking area, as well as semi-tractor/trailer entry. The east access is 26 feet wide and will be the primary exit from the loading dock.

**Pedestrian Access.** There is an existing trail along St. Croix Avenue abutting the subject site. The site plan illustrates a five-foot wide concrete sidewalk extending from the front of the principal building and connecting to the trail on St. Croix Avenue. The area where the pedestrian way crosses the parking area is also shown to be striped. The site plan must be revised to provide a pedestrian ramp to the west side of the cross walk.

**Off-Street Parking.** Table 14 of the Zoning Ordinance requires off-street parking stalls to be provided at 1 stall per 2 employees on the maximum shift, plus 1 stall per 2,000 square feet of building area. Information provided by the developer indicates that there are up to 24 employees on a shift, which equals 12 parking stalls. The 15,490 square foot area of the building requires an additional 8 parking stalls for a total requirement of 20 parking stalls. The site plan illustrates that 40 parking stalls are provided, including 3 disability accessible stalls as required by ADA standards. Off-street parking stalls have dimensions of 9 feet by 18 feet and are accessed by 26 foot wide drive aisles as required by Table 13 of the Zoning Ordinance. The parking area must be surfaced with asphalt or concrete and surrounded by perimeter curb in accordance with Section 121-52.A.5 of the Zoning Ordinance. The site plan indicates an asphalt surface for the off-street parking area. Concrete barrier and ribbon curb (for storm water management functions) is specified and subject to approval of the Public Works Director.

**Trash Storage.** An exterior refuse area is shown on the site plan at the northeast corner of the building adjacent to the loading dock. Section 121-48.C of the Zoning Ordinance and Section A-3 of the Development Covenants requires exterior storage of waste and recycling containers be screened by an enclosure. The enclosure is required to be constructed of materials consistent with that of the principal building. The submitted plans indicate that the trash enclosure is to be screened by a chain link fence with privacy slats, which does not meet the requirement of the Zoning Ordinance or Development Covenants. The trash enclosure must be revised to use

siding consistent with that of the principal building and provide a solid gate that will completely screen the view of the trash enclosure from St. Croix Avenue.

**Exterior Lighting.** A photometric lighting plan has been submitted to illustrate the location and intensity of proposed exterior lighting fixtures for compliance with Section 121-51.A.1 of the Zoning Ordinance. The intensity measurements shown on the plan are illegible and will need to be revised for additional review by City staff.

**Grading.** The developer has submitted a grading plan and erosion control plan for the proposed site plan. All grading, drainage and utility issues are subject to review and approval of the Public Works Director.

**Utilities.** Municipal utilities are available at the property, including sanitary sewer, water and electric service. The developer has submitted a utility plan showing connection to municipal sanitary sewer and water utilities. A 6-inch water and 6-inch sewer lines are shown to the lot but do not show the actual connections, which must be identified regarding size and location into the building when the mechanical design is complete. All utility issues are subject to review and approval of the Public Works Director.

## **RECOMMENDATION**

The DRC has reviewed the site plan application and approves the request subject to the following conditions outlined below.

## **POSSIBLE ACTIONS**

- A. Motion to **approve** a site plan for ESR subject to the following conditions:
1. The developer shall provide a financial guarantee equal to 125 percent of the cost for materials and labor for proposed landscape plan to be held by the City until it is verified that all plantings have survived through two winter seasons between October 31 and April 30.
  2. The site plan shall be revised to provide a pedestrian ramp to the west of the crosswalk within the parking area.
  3. The proposed trash enclosure shall be revised to utilize siding consistent with the principal building and provide a solid gate meeting the requirements of Section 121-48.C of the Zoning Ordinance and Section A-3 of the Development Covenants.

4. A photometric lighting plan illustrating the location and intensity of proposed exterior lighting fixtures complying with Section 121-51.A.1 of the Zoning Ordinance and is subject to review and approval of the Zoning Administrator.
  5. All grading, drainage and utility issues shall be subject to review and approval of the Public Works Director.
  6. All utility issues are subject to review and approval of the Public Works Director, including (but not limited to) the following:
    - a. When mechanical design is completed, identify the size and location of water and sewer utilities entering the building.
- B. Motion to **deny** the application based on a finding that the request does not comply with the Comprehensive Plan and Zoning Ordinance.
- C. Motion to **table**.
- c. Mike Darrow, City Administrator  
Jeremiah Wendt, Public Works Director  
Sarah Skinner, Building Inspector  
Tanya Reigel, City Clerk



0 1000 1500  
DSC & Associates map is not guaranteed to be accurate. Current or complete and total responsibility shall be the responsibility of the user.

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A

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11

WISCONSIN DR  
DRIY RUN RD  
MADISON AVE  
WISCONSIN DR  
GERTRUDIS AVE  
SAINT CROIX AVE  
CAMP 05 DR

ROCK CREEK DR

DORSET LN  
DEMANDR

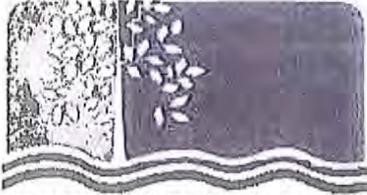
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WILLIAM DR

CHARLESTON DR

WISCONSIN DR  
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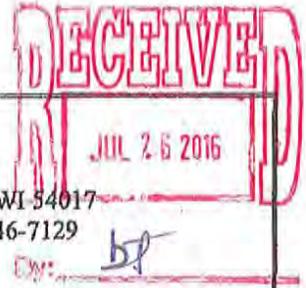
BLED AVE

TOWN OF TOWN OF



CITY OF NEW RICHMOND  
THE CITY BEAUTIFUL

City of New Richmond  
156 East First Street ❖ New Richmond, WI 54017  
Phone: (715) 246-4268 ❖ Fax: (715) 246-7129



CITY ORDINANCE SECTION 117 & 121  
www.newrichmondwi.gov

<input checked="" type="checkbox"/> SITE PLAN/STORM WATER REVIEW FEE:	\$250.00	ESCROW: \$1,500.00
<input type="checkbox"/> CONCEPT PLAN FEE:	\$150.00	ESCROW: \$1,500.00
<input type="checkbox"/> CERTIFIED SURVEY MAP FEE:	\$200.00	ESCROW: \$1,500.00
<input type="checkbox"/> AMENDED CERTIFIED SURVEY FEE:	\$200.00	ESCROW: \$1,500.00

*Application fees should be made payable to City of New Richmond upon submittal of completed application. Escrow funds will be drawn to cover project-related costs. Additional funds may be required; surplus funds will be returned.*

Please complete the application by typing or printing in ink. Use additional paper if necessary.

**1. Property Owner Information:**

Company name: ESR

Last name: Boeve First name: Ed

Address: 1754 Washington Avenue City/State/Zip: Stillwater, MN 55082

Phone number: 651-351-0190 ext 4453 Email address: eboeve@esrworks.org

**2. Applicant Information: (if different from above)**

Company name: Ross & Associates Ltd.

Last name: Cripe First name: Tony

Address: 246 Summit City/State/Zip: River Falls, WI 54022

Phone number: 715-425-9011 Email address: tony@rosscm.com

**3. Address(es) of Property Involved: (if different from above)**

650 St. Croix Avenue, New Richmond, WI 54017

**4. Zoning Designation: Z7**

**5. Statement of Intent:** Briefly describe what will be done on or with the property: Building a new, 15,000 square foot, pre-engineered steel building for the ESR New Richmond Program Center.  
ESR is a private nonprofit agency supporting adults with developmental disabilities.

**6. Additional Required Information:**

- a. **Legal Description and PIN:** Provide the Parcel Identification Number(s) and the complete legal description(s) of the property involved.
- b. **Consultant Fees:** Whenever third party consultants are utilized in the preparation of application materials (e.g., a traffic study) or the City's review of an application (e.g., traffic study analysis), the applicant shall be responsible for paying the entirety of those costs.
- c. **Other Information:** In addition to a full size site plan and an 11" x 17" copy, topographic survey, landscape plan, grading and drainage plan, exterior building elevation drawings, and other information may also be required if deemed necessary by City Staff. Please refer to Sec. 121-31 for further information on Site Plans.

7. **Signature(s):** By signing below, you attest that the information above and attached is true and correct to the best of your knowledge.

Property Owner: ESR Inc. BY M. S. Brown Date: 07-19-2016

Applicant: Tony Cripe - Ross + Associates Ltd Date: 7-22-16

Fee Paid: \$250 Date: 7/26/16 Receipt # 63277

Escrow Paid: \$1,500 Date: 7/26/16 Receipt # 63277

Zoning change applications must be received by the first Thursday of each month; applications received after this date cannot be heard at the Planning Commission meeting the following month.



156 East First Street  
New Richmond, WI 54017  
Ph 715-246-4268 Fax 715-246-7129  
www.newrichmondwi.gov

**TO:** Beth Thompson, Community Development Director  
Dennis Blau, Cedar Corporation

**FROM:** Jeremiah Wendt, Public Works Director 

**DATE:** August 16, 2016

**RE:** ESR Stormwater Management Plan

We have reviewed the Stormwater Management Plan dated July, 2016, along with the revised plan sheets dated August 12, 2016, submitted by Cedar Corporation and Ross Associates. The submittals appear to be in conformance with the City's stormwater ordinance, and are hereby approved.





**SPECIFICATIONS**

**1. GENERAL REQUIREMENTS**

**1.01 SUMMARY OF THE WORK**

CONTRACTOR TO CONDUCT THE BUILDING AS DESCRIBED IN THE PROJECT DOCUMENTS, ALONG WITH ALL APPURTENANT SITE IMPROVEMENTS. THE CONTRACTOR SHALL COORDINATE THE WORK OF OTHERS, INCLUDING THAT PERFORMED OR ORDERED BY THE OWNER.

ALL DOCUMENTS AND GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, LATEST EDITION IS INCORPORATED INTO THE PROJECT DOCUMENTS BY REFERENCE. IN THE EVENT OF CONFLICTS OR DISCREPANCIES AMONG THE CONTRACT DOCUMENTS, INTERPRETATIONS WILL ASSUME THE FOLLOWING PRIORITY: THE CONTRACT, THEN THE LATEST ADDENDUM, THEN THE GENERAL CONDITIONS, AND THEN THE DRAWINGS AND SPECIFICATIONS TAKEN TOGETHER.

IT IS NOT INTENDED THAT THESE SPECIFICATIONS CONFLICT IN ANY WAY WITH THE MANUFACTURER'S SPECIFICATIONS, APPLICATION INSTRUCTIONS, RECOMMENDED DETAILS, OR STANDARD PRACTICE. CONTRACTOR AND SUBCONTRACTORS SHALL CONFIRM THESE SPECIFICATIONS WITH THE MANUFACTURER AND NOTIFY THE ARCHITECT IN WRITING OF ANY CONFLICT, WHETHER THE REQUIREMENTS OF THESE SPECIFICATIONS ARE MORE STRINGENT THAN THE MANUFACTURER'S SPECIFICATIONS, BUT NOT IN CONFLICT, THEN THESE SPECIFICATIONS SHALL GOVERN.

**1.02 PERMITS AND FEES**

CONTRACTOR SHALL OBTAIN AND OWNER SHALL PAY FOR ALL NECESSARY PERMITS AND FEES REQUIRED BY THIS PROJECT.

**1.03 BONDS**

PERFORMANCE BONDS SHALL NOT BE REQUIRED EXCEPT BY CHANGE ORDER IF REQUESTED BY OWNER AND THEN AT INVOICED COST TO CONTRACTOR.

**1.04 LIABILITY INSURANCE**

CONTRACTOR SHALL FURNISH EVIDENCE SATISFACTORY TO OWNER OF GENERAL LIABILITY INSURANCE PRIOR TO COMMENCEMENT OF THE WORK FROM A COMPANY LAWFULLY AUTHORIZED TO DO BUSINESS IN THE JURISDICTION OF THE PROJECT, AND SHALL NAME THE OWNER AND ITS LENDING AUTHORITY AS ADDITIONAL INSURED. CERTIFICATES OF INSURANCE SHALL BE FILED PRIOR TO THE COMMENCEMENT OF THE WORK AND SHALL BE ON AN ACCORD OR COFFER. CERTIFICATES SHALL CONTAIN A PROVISION THAT THE COVERAGES AFFORDED SHALL NOT BE CANCELLED OR NON-RENEWED WITHOUT 30 DAYS PRIOR WRITTEN NOTICE TO THE OWNER.

COVERAGES FOR WORKMANS COMPENSATION AND GENERAL LIABILITY SHALL BE AS FOLLOWS:

WORKMANS COMPENSATION  
COVERAGE A: PER STATE STATUTE  
COVERAGE B: \$100,000 EACH ACCIDENT  
\$100,000 DISEASE/ACCIDENT LIMIT  
\$100,000 DEFENSE, EACH EMPLOYEE

**GENERAL LIABILITY**

\$2,000,000 GENERAL AGGREGATE  
\$2,000,000 PRODUCTS, COMPLETED OPERATIONS AGGREGATE  
\$1,000,000 EACH OCCURRENCE  
\$1,000,000 PERSONAL INJURY

GENERAL LIABILITY SHALL COVER THE OPERATIONS OF THE CONTRACTOR, THE SUBCONTRACTOR AS CONTINGENT LIABILITY, PERSONAL INJURY INCLUDING EMPLOYEE RELATED CLAIMS, EMPLOYEES AS ADDITIONAL INSURED, PROPERTY DAMAGE HAZARDS OF EXPLOSION, COLLAPSE, AND UNDERGROUND AND CONTRACTUAL LIABILITY.

**COMPREHENSIVE AUTOMOBILE LIABILITY**

\$1,000,000 COVERED SINGLE LIMIT BODILY INJURY AND PROPERTY DAMAGE FOR ALL OWNED VEHICLES, NON-OWNED VEHICLES AND HIRED VEHICLES.  
\$1,000,000 PERSONAL INJURY  
\$1,000,000 EACH CLAIM  
\$1,000,000 ANNUAL AGGREGATE  
THE UMBRELLA LIMITS SHALL PROVIDE EXCESS LIMITS OVER AND ABOVE THE COMMERCIAL GENERAL LIABILITY AND COMPREHENSIVE AUTOMOBILE LIABILITY LIMITS STATED WITHIN THIS ARTICLE.

**1.05 PROPERTY INSURANCE**

THE OWNER SHALL PURCHASE AND MAINTAIN DURING THE CONSTRUCTION PERIOD BUILDERS RISK INSURANCE. SUCH INSURANCE SHALL BE ON A COMPLETED VALUE FORM AND SHALL BE WRITTEN FOR AN AMOUNT EQUAL TO 100% OF THE COMPLETED VALUE OF THE PROJECT. SUCH INSURANCE SHALL COVER THE WORK AND MATERIALS AT THE SITE, AT TEMPORARY STORAGE SITES, AND DURING TRANSIT. PROPERTY INSURANCE SHALL BE WRITTEN ON ALL FLS (FORM A13) SHALL INCLUDE FIRE, EXTENDED COVERAGE, VANDALISM AND MALICIOUS MISCHIEF, THEFT, COLLAPSE, GLASS, AND RESULTANT DAMAGE FROM FAULTY WORK. MATERIALS OR EQUIPMENT AND OMISSIONS IN DESIGN. THE POLICY SHALL ALLOW PARTIAL OCCUPANCY BY THE OWNER PRIOR TO COMPLETION OF THE PROJECT. THE POLICY SHALL NAME AS INSURED THE OWNER, CONTRACTOR, CONSTRUCTION MANAGER, ARCHITECT, ENGINEERS, ALL PRIME CONTRACTORS, SUBCONTRACTORS, LOWER TIER SUBCONTRACTORS AND ALL SUPPLIERS AT THE JOB SITE. THE OWNER MAY REQUEST THE CONTRACTOR TO PURCHASE SUCH PROPERTY BUILDERS RISK INSURANCE, AND INCREASE THE CONTRACT SUM FOR THE PREMIUM BY CHANGE ORDER.

**1.06 LOSS OF USE INSURANCE**

THE OWNER MAY, AT ITS OPTION, PURCHASE SUCH INSURANCE AS WILL INSURE HIM AGAINST LOSS OF USE OF HIS PROPERTY DUE TO FIRE OR OTHER HAZARDS, HOWEVER CAUSED. THE OWNER WAIVES ALL RIGHTS OF ACTION AGAINST THE CONTRACTOR FOR LOSS OF USE OF HIS PROPERTY, INCLUDING CONSEQUENTIAL LOSSES DUE TO FIRE OR OTHER HAZARDS, HOWEVER CAUSED.

**1.07 LAYOUT OF THE WORK**

CONTRACTOR SHALL EMPLOY THE SERVICES OF A QUALIFIED REGISTERED PROFESSIONAL SURVEYOR AS PROJECT SURVEYOR TO LAYOUT THE MISC. SITE IMPROVEMENTS INCLUDING THE PLAYGROUND AREAS AND THE MONUMENT SIGN.

**1.08 TESTING**

CONTRACTOR SHALL EMPLOY AN INDEPENDENT QUALIFIED SOIL SCIENCES FIRM TO PERFORM OFF-SITE SOIL TESTING FOR THE SUBGRADE PRIOR TO FOOT AND CONCRETE FOUNDATIONS AND TO FIELD VERIFY VIBRATION HAZARDS AT THE STRUCTURE STRUCTURE IF REQUIRED BY CIVIL ENGINEER. REPORTS ARE TO BE FILED WITH THE OWNER, BUILDING OFFICIAL AND ARCHITECT, IN ACCORDANCE WITH APPLICABLE PROVISIONS OF THE UNIFORM BUILDING CODE SPECIAL INSPECTIONS REQUIREMENTS.

CONTRACTOR, ON BEHALF OF THE OWNER AND AT HIS OWN EXPENSE, SHALL EMPLOY AN INDEPENDENT TESTING AGENCY APPROVED BY THE ARCHITECT TO PERFORM THE REQUIRED SPECIAL INSPECTIONS INCLUDING BUT NOT LIMITED TO CONCRETE AND MASONRY TESTING AND OBSERVATION, FRAMING AND STRUCTURAL STEEL, WELDING SCHEDULE INSPECTIONS AS REQUIRED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE, STATE CODE AND LOCAL REQUIREMENTS OF THE BUILDING OFFICIAL. TEST REPORTS SHALL BE FURNISHED TO THE OWNER, BUILDING OFFICIAL AND ARCHITECT.

**1.09 CHASES, SLEEVES AND OPENINGS**

EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR PLACING SLEEVES AND RELATED PENETRATIONS INTO WALLS, FLOORS, FOUNDATIONS AND DECKS AS REQUIRED FOR THE INSTALLATION OF HIS WORK. SLEEVES THRU SLABS SHALL BE MADE FROM 2 GA GALVANIZED FIBER WITH LOCK-SEAM JOINTS OR PLASTIC UNITS SPECIFICALLY DESIGNED AS SLEEVES. SLEEVES THROUGH MASONRY OR CONCRETE WALLS SHALL BE STANDARD WEIGHT GALVANIZED STEEL PIPE OR PVC PIPE AND MUST BE SPACED TO MISS REINFORCING OR STRUCTURAL COMPONENTS, AND BE NO CLOSER THAN 3 SLEEVE DIAMETERS ON CENTER. SLEEVES SHALL BE SIZED TO PERMIT INSTALLATION OF INSULATION AND PROVIDE REQUIRED FREEDOM OF MOVEMENT. SEAL TIGHTLY BETWEEN SLEEVES AND THE PIPE, CHASIS, DUCT, ETC. PASSING THROUGH SLEEVE AND PIPE PARTITIONS TO MAINTAIN REQUIRED RATINGS. OPENINGS REPAIR AFTER CONSTRUCTION OF THE WALL, FLOOR DECK OR FOUNDATION SHALL BE DRILLED AND NOT HAMMERED, AND SHALL MISS REINFORCING STEEL OR ANY COMPONENT THAT WOULD REDUCE THE STRUCTURAL INTEGRITY OF THE ASSEMBLY.

**1.10 WORK ON OTHER PROPERTY**

THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL BE RESPONSIBLE FOR ALL PATIOWNS OF EXISTING CONDITIONS ON OR ADJACENT TO THE SITE, INCLUDING BUT NOT LIMITED TO LAWN, WALKS, PARKWAYS, ROADWAYS, STRUCTURES, AND UTILITIES WHICH ARE CUT OR DAMAGED BY CONSTRUCTION AND NOT SCHEDULED FOR REMOVAL, RELOCATION, OR REPLACEMENT IN THE COURSE OF CONSTRUCTION. CUTTING, PATCHING AND REPAIRS IN PUBLIC RIGHTS OF WAY SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL STANDARDS. CONTRACTOR SHALL FURTHER BE RESPONSIBLE FOR ALL STREET OVERLAP, DUST CONTROL, NOISE ABATEMENT AND OFF-SITE PARKING CONTROL, REQUIRED BY LOCAL AUTHORITY.

**1.11 MATERIALS AND EQUIPMENT**

UNLESS NOTED OTHERWISE, ALL MATERIALS USED OR CONSUMED DURING THE COURSE OF THE WORK SHALL BE NEW AND FREE OF MANUFACTURERS DEFECTS. MATERIALS THAT ARE SPECIFIED HEREIN OR INDICATED ON THE DRAWINGS FOR WHICH NO INSTALLATION INSTRUCTIONS HAVE BEEN PROVIDED SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS. MATERIALS SHOWN ON THE DRAWINGS BUT NOT SPECIFIED SHALL BE SELECTED BY THE CONTRACTOR IN ACCORDANCE WITH THE PERFORMANCE REQUIREMENTS OF THE DRAWING AND ASSEMBLY, AND SHALL BE PROPERLY INSTALLED AND FINISHED IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS.

BEFORE ACCEPTING SHIPMENTS OF MATERIALS AT SITE, CONTRACTOR SHALL VERIFY THAT THE SITE IS IN A CONDITION TO RECEIVE THE MATERIALS, AND THAT THE MATERIALS ARE STORED IN AN ENVIRONMENTAL CONDITION FOLLOWING BY THE MANUFACTURER. TO THE EXTENT MATERIAL IS STORED OFFSITE, ADEQUATE EVIDENCE OF INSURANCE SHALL BE PROVIDED TO THE OWNER PRIOR TO THE PAYMENT FOR SUCH MATERIALS.

**1.12 CLEAN-UP**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR REGULAR CLEAN UP OF THE SITE AND BUILDING, INCLUDING BLOWN DEBRIS FROM THIS SITE OR TO OTHER PROPERTY, DURING THE COURSE OF CONSTRUCTION. THE CONTRACTOR SHALL FURNISH ALL DUMPSTERS AND DISPOSAL COSTS, AND SHALL DISPOSE OF ALL WASTE MATERIALS TO LOCATIONS LEGALLY ACCEPTIVE OF THESE MATERIALS. ALL HAZARDOUS WASTE MATERIALS, IF ANY, SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LAWS AND ORDINANCES, WITH MANIFESTS, IF REQUIRED, COPIED TO THE OWNER. THE CONTRACTOR SHALL LEAVE THE BUILDING IN A BROOM CLEAN CONDITION AND ALL GLASS CLEANED FROM BOTH SIDES, IF REQUIRED BY LOCAL AUTHORITY. CONTRACTOR SHALL REGULARLY SWEEP PUBLIC STREETS OF DIRT AND DEBRIS CONSISTENT WITH LOCAL STANDARDS.

**1.13 TEMPORARY FACILITIES AND CONTROLS**

THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE SOLELY RESPONSIBLE TO PLACE, OR CAUSE TO BE PLACED, ALL TEMPORARY FACILITIES, CONTROLS AND UTILITIES NECESSARY TO ENSURE A SAFE, HEALTHY AND PROPER ENVIRONMENTAL SITE FOR OTHERS. ALL TEMPORARY FACILITIES, CONTROLS AND UTILITIES USED DURING THE COURSE OF THE WORK SHALL MEET ALL APPLICABLE RULES, CODES AND ORDINANCES, INCLUDING BUT NOT LIMITED TO OSHA. TEMPORARY HEATING AND VENTILATION SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR OR ITS DESIGNATED SUBCONTRACTOR. EACH SUBCONTRACTOR SHALL BE REQUIRED TO PROVIDE COLD OR INCLEMENT WEATHER PROTECTION REQUIRED TO MAINTAIN THE INTEGRITY OF THE WORK. CONTRACTOR SHALL PROVIDE ACCESS TO POTABLE WATER, TEMPORARY FIRE PROTECTION, TEMPORARY POWER, VENTILATION, SANITATION FACILITIES, AND FIRST AID REQUIRED BY THE JOB CONDITIONS AND OSHA. CONTRACTOR SHALL COLLECT AND MAINTAIN ON THE JOBSITE ALL MATERIAL SAFETY DATA SHEETS (MSDS) AVAILABLE TO ALL PARTIES DURING THE COURSE OF CONSTRUCTION.

**1.14 ALTERNATES**

THE FOLLOWING ALTERNATES, INCLUDING ALL TAXES, FREIGHT TO THE JOBSITE, MATERIALS, INSTALLATION, TAXES, OVERHEAD AND PROFIT, SHALL BE SUBMITTED WITH THE BASE CONTRACT PROPOSAL: NONE

**1.15 ALLOWANCES**

THE FOLLOWING ALLOWANCES SHALL BE INCLUDED WITH THE BASE CONTRACT PROPOSAL, AS INDICATED HEREIN WITHIN EACH APPLICABLE SPECIFICATION SECTION OR ON COVER SHEET.

**1.16 MEASUREMENT AND PAYMENT**

THE CONTRACTOR SHALL DEVELOP A SCHEDULE OF VALUES FOR THE PROJECT, WHICH SHALL BE THE BASIS FOR MAKING DRAW REQUESTS. ALL DRAW REQUESTS SHALL BE SUBMITTED IN A FORMAT ACCEPTABLE TO THE OWNER'S LENDING AUTHORITY.

PAY APPLICATIONS MAY BE MADE ONCE MONTHLY, ON A MUTUALLY AGREEABLE SCHEDULE WITH THE OWNER. THE CONTRACTOR SHALL SUBMIT ALL INFORMATION NECESSARY TO SUBSTANTIATE THE DRAW REQUEST, IF REQUIRED BY THE OWNER OR ITS LENDING AUTHORITY. NO PAYMENT SHALL BE MADE ON ACCOUNT OF MATERIALS OR EQUIPMENT IN TRANSIT, STORED OFF SITE, OR NOT INCORPORATED INTO THE WORK, UNLESS PRIOR ARRANGEMENTS HAVE BEEN MADE WITH THE OWNER OR LENDER, AND EVIDENCE OF INSURANCE EXCLUSIVELY COVERING THE STORED MATERIALS IS FURNISHED.

THE OWNER OR ITS LENDING AUTHORITY MAY REQUIRE RETENTION OF UP TO 10% OF THE CONTRACT APPLICATION SUM. SUCH RETENTION SHALL BE RELEASED BASED ON MUTUAL AGREEMENT WITH THE OWNER OR LENDING AUTHORITY UPON COMPLETION OF CERTAIN PORTIONS OF THE WORK OR UPON COMPLETION OF ALL WORK.

**1.17 SUBMITTALS**

SUCH DRAWINGS SHALL BE REQUIRED FOR THE FOLLOWING TRADES: ALL CONCRETE MIX DESIGNS, VAPOR BARRIER REBAR, STRUCTURAL STEEL, MISCELLANEOUS METALS, INSULATION AND AIR BARRIER, ROOFING ASSEMBLY, CLADDING AND FLASHINGS, SCOFFIT SYSTEMS, WINDOWS AND ALUMINUM STOREFRONT SYSTEMS, GLASS AND GLAZING SYSTEMS, GLASS SAMPLES, DOORS AND HARDWARE, SPECIALTIES, LIGHT FIXTURES, PLUMBING FIXTURES, HVAC, FIRE PROTECTION, AND OTHER ITEMS AS INDICATED WITHIN THE SPECIFICATIONS.

SAMPLES SHALL BE SUBMITTED FOR APPROVAL OF THE FOLLOWING ITEMS: PREFINISHED METAL PAINT FINISHES, AND OTHER MATERIALS AS INDICATED WITHIN THE SPECIFICATIONS. ELECTRICAL SUBMITTALS IN RELEASE OF FUNDS, HOWEVER A PARTIAL RELEASE OF FUNDS MAY BE MADE IF THE BALANCE OF OPERATING AND MAINTENANCE DATA AND INSTRUCTIONS SHALL BE SUBMITTED PRIOR TO COMPLETION AND FINAL PAYMENT OF THE WORK.

**1.18 CONTRACT CLOSEOUT**

AS A CONDITION OF FINAL PAYMENT, THE OWNER SHALL HAVE IN HIS POSSESSION ALL WARRANTIES, OPERATING INSTRUCTIONS AND MANUALS. A LIST OF SUBCONTRACTORS WHO PERFORMED WORK ON THE PROJECT, ONE SET OF UNRECORDED RECORD DRAWINGS, AND ANY OTHER INFORMATION NECESSARY TO THE OWNER TO OPERATE AND MAINTAIN THE BUILDING, WITH ONE BOUND VOLUME. THE CONTRACTOR SHALL OBTAIN A CERTIFICATE OF SUBSTANTIAL COMPLETION WITH A PUNCHLIST ATTACHED. THE PUNCHLIST SHALL BE FULLY COMPLETED PRIOR TO RELEASE OF FUNDS, HOWEVER A PARTIAL RELEASE OF FUNDS MAY BE MADE IF THE BALANCE OF UNCOMPLETED ITEMS AND AN APPROPRIATE VALUE FOR UNCOMPLETED WORK IS ACCEPTABLE TO OWNER AND ITS DESIGNATED LENDER OR TITLE COMPANY.

**1.19 WARRANTY**

UNLESS STATED OTHERWISE HEREIN, THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE REPAIR OF ANY DEFECTS WHICH MAY DEVELOP IN ANY PART OF THE WORK CAUSED BY FAULTY WORKMANSHIP, MATERIALS OR EQUIPMENT, DURING A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER, AND WITHOUT COST TO THE OWNER. LANDSCAPING SHALL BE WARRANTED FOR ONE FULL GROWING SEASON, REGARDLESS OF TIME OF INSTALLATION. COMPRESSORS AND SIMILAR EQUIPMENT SHALL BE WARRANTED FOR AT LEAST 5 YEARS. THE ROOF SHALL BE SUBJECT TO THE WARRANTY PROVISIONS PROVIDED IN THE SPECIFICATIONS.

**2. SITEWORK**

**2.1 EARTHWORK**

CONTRACTOR SHALL BE RESPONSIBLE FOR TREE, ASPHALT AND CONCRETE SITE REMOVAL, PRIMARY SITE AND BUILDING EXCAVATION, BACKFILL, SAND CUSHION, RANGING/DEMOS, MATERIALS, ALL FIVE GRADING OF THE SLAB, EXTERIOR CONCRETE AREAS AND THE SITE.

CONTRACTOR SHALL INSTALL BLACK DIRT AT LEAST 18" DEEP IN ALL SOO AND PLANTING AREAS, FREE OF LARGE LIMBS, STONES AND STICKS, GRADED AND READY FOR PLANTING. CLEAN BLACK DIRT SHALL ASSUME TO BE IMPORTED. FURNISH AND INSTALL RAIN GARDEN MIX IN ACCORDANCE WITH THE DESIGN CRITERIA.

CONTRACTOR SHALL PERFORM ALL EARTHWORK OPERATIONS TO MEET ALL APPLICABLE LAWS, ORDINANCES AND OSHA, AND OR STATE SAFETY GUIDELINES. CONTRACTOR SHALL FOLLOW THE REQUIREMENTS OF THE SOIL TEST REPORT FOR ALL EARTHWORK. MATERIALS IMPORTED TO THE SITE SHALL MEET WITH SOIL ENGINEER'S APPROVAL, AND SHALL BE CERTIFIED AS NON-CONTAMINATED. TESTING SHALL BE REQUIRED IN ACCORDANCE WITH ASTM D 1556. SAND CONE METHOD FOR ALL COMPACTED ENGINEERED FILL. ALL SOIL SURFACES BEFORE PLACING FILL OR BUILDING CONSTRUCTION, WALKWAYS AND PAVING SUBGRADE, AREAS THAT FAIL, TESTING SHALL BE RETESTED AT EARTHWORK CONTRACTOR'S EXPENSE.

CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ALL ADJACENT ROADWAYS, PARKING LOTS AND DRIVEWAYS CLEAN AS REQUIRED BY THE CITY AND ADJACENT PROPERTY OWNERS.

SAND FILL MATERIALS, WHERE SPECIFIED, SHALL BE CLEAN, FREE DRAINING SAND CONTAINING LESS THAN 50% PASSING THE #40 SIEVE, AND LESS THAN 10% PASSING THE #200 SIEVE.

UNLESS OTHERWISE NOTED IN SOILS REPORT, SUBGRADE SHALL BE COMPACTED TO 95% MOISTURE PROCTOR (ASTM D-1557).

LANDSCAPE AREAS SHALL BE COMPACTED TO 90% STANDARD PROCTOR OVER THE TOP 4" OF DEPTH. WALKWAYS SHALL BE BACKFILLED TO 95% MODIFIED PROCTOR FROM ONE TRAFFIC PAVEMENT SURFACE OF SLAB AREA, WITH NO LESS THAN 3 TESTS.

PROTECT GRADED AREAS FROM TRAFFIC AND EROSION, REPAIR AND RE-ESTABLISH GRADES TO SPECIFIED CONDITIONS WHERE APPLICABLE PRIOR TO FINAL ACCEPTANCE BY OWNER, WHERE OBSERVABLE OR MEASURABLE SETTLEMENT HAS OCCURRED DURING THE WARRANTY PERIOD. EARTHWORK CONTRACTOR SHALL REMOVE SURFACE, REPAIR SETTLED AREA TO EQUIPPED GRADE, AND RESTORE ALL FINISHES TO MATCH ADJACENT CONDITIONS.

**2.2 BITUMINOUS PAVING**

FURNISH AND INSTALL ALL NEW AND IF CALLED FOR, MILL AND OVERLAY BITUMINOUS PAVING AS CALLED FOR ON THE PLANS. SUBMIT ASPHALT MIX DESIGNS FOR ACCEPTANCE, PRIOR TO FINE GRADING OF SITE. PAVING CONTRACTOR SHALL INSPECT THE PROPERTY AND VERIFY THAT THE SUBGRADE IS WITHIN PLUS OR MINUS 1/8 OF A FOOT, AND THAT THE SUBGRADE CONDITIONS IS SUITABLE TO ACCEPT THE BASE MATERIAL RELATIVE TO SOIL COMPOSITION AND MOISTURE. IF THESE CONDITIONS ARE NOT PRESENT, PAVING CONTRACTOR SHALL NOTIFY THE CONTRACTOR AND NOT PROCEED UNTIL ACCEPTABLE CORRECTIVE MEASURES HAVE BEEN TAKEN.

APPLY PRIME AND TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50 DEGREES F, AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35 DEGREE F FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE COURSE IS WET OR CONTAINS EXCESSIVE MOISTURE. SURFACE COURSES SHALL BE PLACED WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40 DEGREES AND WHEN THE BASE COURSE IS DRY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30 DEGREES F AND WINDS.

PAVING CONTRACTOR SHALL PROOF ROLL THE PAVING LOT SUBGRADE PRIOR TO INSTALLATION OF BASE MATERIALS WITH AT LEAST THREE PASSES OF A VIBRATORY ROLLER. PAVING CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS IN GRADE OF BASE MATERIALS TO ASSURE POSITIVE DRAINAGE OF ALL POINTS ON THE LOT WITHOUT FLAT SPOTS, BERMSHOTS, ETC.

INSTALL BASE MATERIALS AND BITUMINOUS PAVING MATERIALS AS FOLLOWS:  
FURNISH A PRELIMINARY JOB MIX FORMULA USING MARSHALL METHOD, ASPHALT INSTITUTE MS-2.

GEOTEXTILE FABRIC (IF CALLED FOR ON THE PLANS) AND GEO FABRICS & FIBERS CO. AMCOO 4550, IMRARI 1601, OR LINO INDUST. FABRICS 150X4. BASE MATERIALS: UNDOT 3133 C-ASS V RECYCLED CONCRETE COMPACTING WITH ASTM C136 AND C174 LATEST EDITION, EQUAL TO 10% DESIGN INSTALLED IN MAXIMUM 6" LIFTS WITH A MINIMUM COMPACTING EQUIPMENT TO 100% MODIFIED PROCTOR, TESTED NOT MORE THAN 100' ON CENTER EACH WAY.  
BITUMINOUS BASE COURSE: UNDOT 2331 PLANT MIXED, P-AGED AT A MINIMUM TEMPERATURE OF 225 DEGREES F.  
BITUMEN TACK COAT: CONFORM TO MDOT 2157. APPLY AT RATE OF 0.05 TO 0.15 GALLONS PER SQUARE YARD OF SURFACE AREA.  
BITUMINOUS WEAR COURSE: UNDOT 2341 PLANT MIXED COMPACTING TO ASTM D2726, D1559, D1312.  
HOT DUTY PAVING: IF ROCK BASE, 1-1/2" BASE COURSE, 1-1/2" WEAR COURSE.  
HOT DUTY PAVING: 6" ROCK BASE, 1-1/2" BASE COURSE, 1" WEAR COURSE.

BEGUN ROLLING WHEN MIXTURE WILL BEAR WEIGHT WITHOUT EXCESSIVE DISPLACEMENT. CHECK SURFACE AFTER BREAKDOWN AND SECOND ROLLING AND REPAIR ANY DISPLACE AREAS. FINAL ROLLING SHALL BE DONE WITH A STEEL-WHEELED ROLLER CONTINUOUSLY UNTIL ALL ROLLER MARKS ARE ELIMINATED. CARE SHOULD BE TAKEN TO PROTECT ADJACENT CONCRETE FINISHES FROM DAMAGE OR SHEARING. ERECT BARRICADES TO PROTECT PAVING FROM TRAFFIC UNTIL MIXTURE HAS COOLED AND ATTAINED SUFFICIENT HARDNESS TO WITHSTAND TRAFFIC.

TOLERANCES: THICKNESS SHALL NOT DEVIATE MORE THAN ONE HALF INCH BASE COURSE, AND ONE QUARTER INCH WEAR COURSE. SMOOTHNESS SHALL BE TESTED USING A 10' STRAIGHT EDGE APPLIED PARALLEL WITH AND AT RIGHT ANGLES TO THE CENTERLINE OF PAVED AREAS, AND SHALL NOT EXCEED ONE QUARTER INCH FOR THE BASE COURSE. THREE THIRTEENTHS OF AN INCH ON THE WEAR COURSE, AND ONE QUARTER INCH ON A CROWNED SURFACE.

PARKING LOT STRIPING: COLOR-PAINTED RUBBER ALKYLE TYPING MEETING ASHSTO M 248, TYPE 3, WHITE WITH BLUE FIELD, WHITE HANDCAP MARKINGS.

**2.3 LANDSCAPING**

LANDSCAPE CONTRACTOR SHALL FURNISH AND INSTALL ALL LANDSCAPING AS CALLED FOR ON THE PLANS. PLANTING OPERATIONS SHALL BE CONDUCTED UNDER FAVORABLE WEATHER CONDITIONS BETWEEN SPRING PLANTING AND FALL PLANTING SEASON, GENERALLY BETWEEN APRIL 15 AND NOVEMBER GROUND FREEZE. SOOGRS SHALL BE DONE AFTER JUNE 1 UNTIL GROUND FREEZE.

PLANT MATERIALS: PLANTS SHALL BE NURSERY STOCK, UNROOT OR QUARTER CONDITION SIMILAR TO THOSE PREVAILING AT THE SITE FOR AT LEAST TWO YEARS AND SHALL HAVE BEEN TRANSPLANTED OR ROOT PRUNED AT LEAST ONCE. PLANTS SHALL BE TYPICAL OF THE SPECIES OR VARIETY, HAVE NORMAL BRANCH OF GROWTH, BE SOUND, HEALTHY AND VIGOROUS, AND HAVE WELL DEVELOPED BRANCHES DENSELY FOLIATED WHEN IN LEAF AND WELL DEVELOPED FIBEROUS ROOT SYSTEMS. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z601.1 SPECIFICATIONS FOR NURSERY STOCK, LATEST EDITION. PLANTS SHALL BE MEASURED BEFORE PLANTING WITH BRANCHES IN A NORMAL POSTURAL. PLANTS SHALL BE FREELY DUG, DO NOT PRUNE PLANTS PRIOR TO DELIVERY.

SOIL MATERIALS: SCARIFY TOPSOIL TO A DEPTH OF 5 INCHES AND RAKE UNTIL THE SURFACE IS SMOOTH, FRIABLE AND OF A UNIFORM FINE TEXTURE. CORRECT SOFT SPOTS AND IRREGULARITIES. UNIFORM APPLY 10-4 FORMULA COMMERCIAL FERTILIZER AT A RATE OF 10 LBS. PER 1,000 SF IMMEDIATELY BEFORE LAYING SOIL. ROLL OR TAMP IN PLACE AND WATER IMMEDIATELY IN ACCORDANCE WITH ASPA GUIDELINES (AMERICAN SOIL PRODUCTORS ASSOC. SURFACE RATE OF 500 GALLONS PER ACRE WITH ADJACENT WALKS AND CURBS. LAY SOO HORIZONTALLY ON SLOPES. FES 800 OF SOO STEEPER THAN 8:1 IN TWENTY-FOUR HOURS. KEEP SOO CONTINUOUSLY MOIST AND WELL WATERED FOR 14 DAYS AFTER LAYING, THEREAFTER SOAK AT LEAST ONCE IN FOUR DAYS UNLESS NATURAL RAINFALL HAS PROVIDED EQUIVALENT WATER. WATER AS REQUIRED FOR 21 DAYS AFTER INSTALLATION. THEREAFTER OWNER SHALL MAINTAIN SOO, INCLUDING WATER AND MOISTURE.

PROVIDE ADDITIONAL TOPSOIL FOR PLANTING BEDS AS NECESSARY, 10" MINIMUM FOR GROUND COVERS AND SHRUB BEDS AND 8 INCHES UNDER SHRUB POTTELS, AND 12" UNDER THE ROOTS OR BALLS OF TREES. THOROUGHLY MIX 6-10 FORMULA COMMERCIAL FERTILIZER, 5 LBS. PER CUBIC YARD OF TOPSOIL. PLANTING PITS SHALL BE LARGE ENOUGH TO PROVIDE 12 INCH SPACE AROUND BALL, AND REQUIRED DEPTH OF TOPSOIL. SET PLANTS IN CENTER OF PIT, FLUSH AND STRAIGHT AT AN ELEVATION THAT AFTER NORMAL SETTLEMENT THE CROWN WILL BE AT A NORMAL RELATIONSHIP TO GRADE.

PRUNE PLANTS ACCORDING TO STANDARD HORIZONTAL PLANTING PRACTICE. STAKE TREES AFTER PLANTING WITH MINIMUM OF TWO HEAVY DUTY METAL STAKES PER TREE, WIRE TIES AND GUYES AND GARBAN HOSES TO PROTECT TREE. TREE WRAP ALL TREES PLANTED IN THE FALL TO PREVENT BORE DAMAGE AND WINTER FREEZE. MULCH ALL PLANTINGS MINIMUM 2" THICK OR AS CALLED FOR ON THE PLANS. PROTECT, WATER AND MAINTAIN ALL PLANTINGS UNTIL ACCEPTANCE BY OWNER.

SOOGRS SHALL BE 5 INCH ROLL TOP WALK BETWEEN ALL SOO AND LANDSCAPE MOUND AREAS, UNLESS NOTED OTHERWISE ON PLANTING PLAN. FILTER FABRIC BELOW SOO SHALL BE 107# TEXTILE GLASS FIBER ROLL 18 INCH THICK. WEED KILLS MAY BE USED AS PERMITTED BY STATE AND LOCAL ORDINANCE, AND TO THE EXTENT IT DOES NOT PROVIDE CONSEQUENTIAL DAMAGE TO NEW MATERIALS.

LANDSCAPE CONTRACTOR SHALL WARRANT HIS MATERIALS FOR ONE FULL GROWING SEASON TO INCLUDE FULL MATERIAL REPLACEMENT. DECIDUOUS TREES OVER 3 INCH CALIPER AND EVERGREENS OVER 14 FEET IN HEIGHT SHALL BE WARRANTED FOR TWO FULL GROWING SEASONS.

**2.4 SITE CONCRETE**

FURNISH AND INSTALL ALL SITE CONCRETE AND FLOORWORK INDICATED ON THE PLANS OR SPECIFIED HEREIN. GENERALLY CONSISTING OF THE FOLLOWING: SIDEWALKS, COLORED CONCRETE PAVEDWALK, EMOSSSED PATTERNEDED CONCRETE, CURB AND GUTTER, AND PLAYGROUND PAVING.

UNLESS OTHERWISE NOTED, ALL CONCRETE WALKS SHALL BE 4 INCH THICK 4000 PSI, 4 INCH MAXIMUM ALL COVERABLE SLUMP, 6% AIR ENTRAINED MIX, MINIMUM WATER CONTENT OF 3.3 GALLONS PER 100 POUNDS OF CEMENT, BROOM FINISHED, AND TOoled IN THE PATTERNS SHOWN ON THE PLANS, WITH F, AT SHEETS OF 6X6/10/16 W/IF, COLD JOINTS SHALL BE TOoled, NOT CUT, AND BE LOCATED AGAINST STRUCTURES AND NOT OVER 25 FEET ON CENTER AND SHALL BE MADE WITH 1/2 INCH ASPHALT SATURATED FIBERBOND PREFORMED JOINT FILLER COMPLYING WITH ASTM D 1751. CONTROL JOINTS SHALL BE TOoled IN THE PATTERNS INDICATED ON THE PLAN, ZIP STRIP TYPE CONTROL JOINTS ARE NOT ACCEPTABLE. KEEP FOUR AREAS FREE OF SCRAPES, TRASH, ORGANIC MATTER AND LARGE STONES. COMPACT FOUR AREAS PRIOR TO FORMING.

TOLERANCES: THE LINE FOR STRAIGHT SECTIONS AND THE ARC FOR CURVED SECTIONS SHALL NOT DEVIATE MORE THAN THREE EIGHTHS OF AN INCH. GRADE SHALL NOT DEVIATE MORE THAN ONE QUARTER INCH FROM THE SPECIFIED GRADE, AND IN ANY CASE SHALL BE DIRECTED AWAY FROM THE BUILDING, AND IN THE CASE OF HANDICAP ACCESSIBLE RAMP, SHALL MATCH THE REQUIREMENTS OF THE CODE.

EXTERIOR COLORED CONCRETE, WHERE CALLED FOR ON THE PLANS, SHALL CONTAIN THE PROPER PROPORTION OF CHROMIX ADMIXTURE FOR COLOR-CONDITIONED CONCRETE AS MANUFACTURED BY L. M. SCORPIO COMPANY, (800) 890-8900, LOS ANGELES, CA, AND ATLANTA, GA. PREMIUM FINISHES AS MANUFACTURED BY MK MANUFACTURING, INC. ST. PAUL, MN, OR EQUAL. THE COLOR-CONDITIONING ADMIXTURE SHALL COMPLY WITH ASTM C 424. ALL COLORED CONCRETE SHALL BE CURED WITH LITHOCHROME COLORWAX IN THE MATCHING COLOR, AND THE JOINTS SEALED WITH LITHOSEAL TRAFFICCALC-3G IN THE MATCHING COLOR. ALL MIX DESIGN, BATCHING, PLACING, FINISHING, CURING, JOINT SEALING, AND PATCHING SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE SCORPIO TECH DATA BULLETINS. 404 CHROMIX ADMIXTURES FOR COLOR-CONDITIONED CONCRETE, AS 14 LITHOCHROME COLORWAX, S-45-3G LITHOSEAL TRAFFICCALC-3G, AND M-304 CHROMIX COMPATCH. COLOR SHALL BE AS SHOWN ON THE PLANS.

STAMPED, TEXTURED AND PATTERNEDED POURED IN PLACE CONCRETE SHALL, WHERE INDICATED ON PLANS, BE LITOTEX PAVECRAFTER SERIES FROM L.M. SCORPIO COMPANY, OR APPROVED EQUAL.

PLACE CONCRETE IN ACCORDANCE WITH ACI 305 "RECOMMENDED PRACTICE FOR HOT WEATHER CONCRETE" OR ACI 309 "RECOMMENDED PRACTICE FOR COLD WEATHER CONCRETE" AS APPLICABLE. PROTECT ALL SITE CONCRETE FROM THE EFFECTS OF WEATHER AND TRAFFIC UNTIL FULLY CURED.

**2.5 SITE UTILITIES**

THE ALL HOOD DOWN/SPOUTS AND DRAINAGE INTO A PVC UNDERGROUND DRAINAGE SYSTEMS IF INDICATED ON PLAN.

SEE CIVIL DRAWINGS FOR SITE UTILITY SPECIFICATIONS.

**2.7 SITE ACCESSORIES**

FURNISH AND INSTALL THE FOLLOWING SITE ACCESSORIES:

**3. CONCRETE**

REFER TO STRUCTURAL DRAWINGS FOR SPECIFICATIONS ON CONCRETE AND REINFORCING STEEL.

**3.05 UNDER SLAB VAPOR BARRIER**

FURNISH AND INSTALL AN UNDER-SLAB VAPOR BARRIER, SEAM TAPE, AND MASTIC FOR INSTALLATION UNDER CONCRETE SLABS. VAPOR BARRIER MUST HAVE ALL OF THE FOLLOWING QUALITIES: PERMEANCE OF LESS THAN 0.01 PERMS AS TESTED IN ACCORDANCE WITH ASTM E 1745 SECTION 7; STRENGTH: ASTM E 1745 CLASS A; THICKNESS: 15 MIL MINIMUM.  
FURNISH PRODUCT'S EQUAL TO STEGO WRAP VAPOR BARRIER BY STEGO INDUSTRIES, I.C. (877) 464-7834. HYPER-INK  
TOP WINDSTOPPER-3000 BY STEGO INDUSTRIES, I.C.  
ALL MASTIC AND SEALERS SHALL BE TAPE USING MANUFACTURER'S RECOMMENDED PRODUCTS. ENSURE THAT BASE MATERIAL IS APPROVED BY GEOTECHNICAL ENGINEER, LEVEL, AND COMPACT BASE MATERIAL.

INSTALL VAPOR BARRIER IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND ASTM E 1643. UNROLL VAPOR BARRIER WITH THE LONGEST DIMENSION PARALLEL WITH THE DIRECTION OF THE CONCRETE PLACEMENT. LAP VAPOR BARRIER OVER FOOTINGS AND/OR SEAL TO FOUNDATION WALLS. OVERLAP JOINTS 6 INCHES AND SEAL WITH MANUFACTURER'S TAPE. SEAL ALL PENETRATIONS INCLUDING PIPES) PER MANUFACTURER'S INSTRUCTIONS. NO PENETRATION OF THE VAPOR BARRIER IS ALLOWED EXCEPT FOR REINFORCING STEEL AND PERMANENT UTILITIES. REPAIR DAMAGED AREAS BY CUTTING PATCHES OF VAPOR BARRIER, OVERLAPPING DAMAGED AREA 6 INCHES AND FINISH ALL SEAMS WITH TAPE. PHOTOGRAPH FINAL INSTALLATION PRIOR TO CASTING CONCRETE, OR CALL FOR A FINAL INSPECTION BY THE ARCHITECT OR INDEPENDENT INSPECTOR.

**3.35 PRECAST/PRESTRESSED CONCRETE**

FURNISH AND INSTALL ALL ARCHITECTURAL, PRECAST/PRESTRESSED CONCRETE CALLED FOR ON THE PLANS. PRODUCT SHALL BE AS DESIGNED AND MANUFACTURED BY HCLM CONCRETE PRODUCTS, HANSON SPANGRETE, MOWSETT, WELLS CONCRETE PRODUCTS, OR APPROVED EQUAL. CONCRETE SHALL CONTAIN MOISTURE RESISTANT ADMIXTURE, COMPLY WITH DESIGN REQUIREMENTS OF THE STRUCTURAL ENGINEERING DRAWINGS.  
FURNISH ENGINEERED SHOP DRAWINGS AND SAMPLES FOR ARCHITECT'S APPROVAL.

**4. MASONRY**

REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR SPECIFICATIONS ON CONCRETE, MASONRY AND REINFORCING STEEL. FURNISH AND INSTALL ALL MASONRY AND RELATED MATERIALS, INCLUDING BUT NOT LIMITED TO MORTAR, ANCHOR BOLTS, REINFORCING, UTILITIES WALL TIES, WIRE REINFORCING, FLASHING MEMBRANE, HEAD JOINT WEBS AND VISUAL NOT NECESSARY FOR A COMPLETE INSTALLATION.

CONCRETE BLOCK SHALL COMPLY WITH THE FOLLOWING STANDARDS:  
NON-LOADBEARING UNITS: ASTM C129.  
SOLID LOADBEARING UNITS: ASTM G14.

EXTERIOR CONCRETE BLOCK SHALL CONTAIN A MOISTURE RESISTANT ADMIXTURE.

MATERIAL: SELECTIONS AND UNIT SIZES SHALL BE AS SHOWN ON THE PLANS. PROVIDE A MATERIAL CAPD FOR FINAL APPROVAL.

INSTALL MASONRY UTILITIES TRUE PLUMB AND SQUARE. JOINTS IN FINISHED MASONRY WALLS SHALL BE 3/8 INCH CONCAVE UNLESS NOTED OTHERWISE. SCORED BLOCK JOINTS SHALL BE RAKED. PROTECT ALL WALLS DURING CONSTRUCTION FROM WEATHER BY APPROPRIATE COVER, FOLLOW ALL RECOMMENDATIONS OF THE STRUCTURAL ENGINEER AS TO REINFORCING PLACEMENT, MORTAR SPECIFICATION, GROUTING AND PLACEMENT OF STRUCTURAL BLOCK.

THE FOLLOWING REQUIREMENTS SHALL GOVERN COLD WEATHER MASONRY CONSTRUCTION:  
1. GENERAL: ALL MATERIALS SHALL BE DELIVERED IN A USABLE CONDITION AND STORED TO PREVENT WETTING BY CAPILLARY ACTION, RAIN, AND SNOW. THE TOPS OF ALL WALLS NOT EXPOSED OR SHIELDED SHALL BE COVERED WITH A STRONG WEATHER-RESISTIVE MATERIAL. AT THE END OF EACH DAY OR BREAKDOWN, PARTIALLY COMPLETED WALLS SHALL BE COVERED AT ALL TIMES WHEN WORK IS NOT IN PROGRESS. COVERS SHALL BE DRIED OVER THE WALL, AND EXTENDED A MINIMUM OF 2 FEET DOWN BOTH SIDES AND SHALL BE SECURELY HELD IN PLACE, EXCEPT WHEN ADDITIONAL PROTECTION IS REQUIRED.

2. ERECTION PREPARATION: IF ICE OR SNOW HAS PREVIOUSLY FORMED ON MASONRY BED, IT SHALL BE THAWED BY APPLICATION OF ICE CAREFULLY APPLIED UNTIL TOP SURFACE OF THE MASONRY IS DRY TO THE TOUCH. A SECTION OF MASONRY DEEMED FROZEN AND DAMAGED SHALL BE REMOVED BEFORE CONTINUING CONSTRUCTION OF THAT SECTION.

3. CONSTRUCTION MASONRY UN

ALL METALS EXCEPT NON-FERROUS OR STAINLESS STEEL, NOT INDICATED TO BE SET IN CONCRETE SHOULD BE SHOP PRIMED. ALL FINISHED FIELD WELDS AND BRACKETS SHALL BE GROUND SMOOTH. ERECTION SHALL BE AS PROVIDED IN THE APPROVED ERECTION DRAWINGS.

ALL CONNECTIONS ARE SUBJECT TO ENGINEERING INSPECTION. WELDED CONNECTIONS SHALL CONFORM TO AWS. DO NOT COVER STRUCTURAL STEEL PRIOR TO INSPECTION.

PROVIDE ALL TEMPORARY SHORING AND BRACING DURING ERECTION. ALL ERECTION SHALL BE DONE IN ACCORDANCE WITH OSHA STANDARDS. CLICK BOLDING FOR FIELD CORRECTIONS THATS NOT BE ALLOWED UNLESS APPROVED IN WRITING BY THE STRUCTURAL ENGINEER.

#### 8. LUMBER AND CARPENTRY

##### 8.1 ROUGH CARPENTRY

ROUGH CARPENTRY SHALL INCLUDE THE FRAMING AND PLACEMENT OF ALL STRUCTURAL AND NON-STRUCTURAL LUMBER COMPONENTS, INCLUDING ALL FASTENERS, BRACKETS AND RELATED HARDWARE NECESSARY FOR A COMPLETE INSTALLATION, AND IN COMPLIANCE WITH ALL APPLICABLE SECTIONS OF THE INTERNATIONAL BUILDING CODE.

CARPENTRY SUBCONTRACTOR SHALL FURNISH LIFTS/CRANES NEEDED TO INSTALL HIS WORK. PROVIDE ALL TEMPORARY BRACING, SHORING AND SUPPORT NECESSARY. SUBCONTRACTOR SHALL CLEAN UP ALL DEBRIS, NAILS, AND RELATED REFUSE TO CONTRACTORS DUMPSITE.

BLOCKING SHALL BE INSTALLED FOR ALL EXTERIOR SIGNAGE, AWNINGS, NEW PARAPET CAPS, TOILET ROOM ACCESSORIES, DOOR STOPS, BUCKS, AND RELATED ASSEMBLIES TO ANCHOR AND OR OTHERWISE SECURE ALL FIXTURES, ACCESSORIES, EQUIPMENT, HARDWARE, BRACKETS, AND RELATED DEVICES.

FRAMING LUMBER: COMPLY WITH REQUIREMENTS OF STRUCTURAL ENGINEERING DRAWINGS. S4S MAXIMUM 15% MOISTURE CONTENT. PLYWOOD SHEATHING/DECK: APA RATED FOR EXTERIOR USE. REFER TO ERECTION DRAWINGS.

PLYWOOD SHEATHING: APA RATED FOR EXTERIOR USE. REFER TO ERECTION DRAWINGS. GYPSUM SHEATHING: COMPLY WITH ASTM C974 AND F555-130 TYPE I SHEATHING, CLASS B FOR WATER RESISTANCE, GRADE W FOR WATER RESISTANCE OR "X" FOR FIRE RESISTANCE. WHEN CALLED FOR ON PLANS, FURNISH DENS-GLOSS GOLD SHEATHING BY GYPSUM CORPORATION. INSTALL DENS-GLOSS GOLD SHEATHING IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. BUILDING PAPER: ASTM D926 TYPE 1 15 LB. HIGH-PERFORATED ASPHALT SATURATED FELT. PRESERVATIVE TREATED: COMPLY WITH AWPA AND AWPA C (LUMBER) AND OR PLYWOOD. WATER RESISTANT: COMPLY WITH AWPA D-27. FIRE RETARDANT TREATED: COMPLY WITH AWPA C-27. MAXIMUM 15% MC, DRYING FR WITH CURRENT WARRANTY. BOARD LUMBER: MAXIMUM 19% MC, S DRY FOR PART #3 SOUTHERN PINE CONFORMING TO SPL #2 CEDAR FOR STAIN APPLICATIONS CONFORMING TO WPA.

HARDBOARD: 1/4" MAXIMUM TEMPERED HORN PERFORATED HARDBOARD. WOOD IN CONTACT WITH CONCRETE OR MASONRY: USE NON-FUNCTIONAL REDWOOD WITH BROWN GREEN MESH SOFT FINISH. HIDDEN VSS-99-B VINYL EXTRUDED PREFINISHED VENT STRIP OR EQUAL. SIL SEALER: PLASTIC FLOW CONTINUOUS ROLL SIL SEALER BETWEEN MASONRY, CONCRETE AND WOOD.

ANY WOOD IN DIRECT CONTACT WITH MASONRY SHALL BE TREATED. LUMBER USED IN FIRE RATED ASSEMBLIES AND PLENUMS SHALL BE FIRE RETARDANT TREATED. CUTTING AND HANDLING OF TREATED LUMBER SHALL COMPLY WITH MANUFACTURER'S RECOMMENDATIONS AND MATERIAL SAFETY DATA SHEETS.

##### 8.3 FINISH LUMBER AND ARCHITECTURAL WOODWORK

FURNISH ALL FINISH LUMBER AND ARCHITECTURAL WOODWORK CALLED FOR ON THE PLANS. WOODWORK SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN WOODWORK INSTITUTE (AWI) QUALITY STANDARDS OF THE ARCHITECTURAL WOODWORK INDUSTRY. SHOP DRAWINGS AND PRODUCT DATA CUT SHEETS ARE REQUIRED TO NOT SHOW SINK OR INSTALL WOODWORK UNTIL WORK OPERATIONS ARE COMPLETE, AND PROPER VENTILATION, TEMPERATURE AND HUMIDITY CAN BE MAINTAINED. ARRANGE A PRE-INSTALLATION MEETING WITH OWNER, ARCHITECT AND SUPPLIER INSTALLER PRIOR TO DELIVERING MATERIALS. PROCEED ONLY WHEN ENVIRONMENTAL CONDITIONS CAN BE CONTINUOUSLY MAINTAINED.

PRODUCTS WHERE SHOWN ON THE PLANS: PRESURE TREATED WOOD: PROVIDE PENTA SOLVENT SOLUTION TREATED WOOD IN ALL APPLICATIONS WHERE WOOD CABINET MEMBERS ARE IN CONTACT WITH CONCRETE OR MASONRY, OR LESS THAN 18 INCHES ABOVE GRADE. TOUCH UP CUT ENDS OF WOOD WITH A TYPE RECOMMENDED BY MANUFACTURER. HANDLE ALL TREATED WOOD IN STRICT CONFORMANCE WITH MANUFACTURER'S RECOMMENDATIONS AND MATERIAL SAFETY DATA SHEETS. T-JOINTS: EDGES: EQUAL TO CHAMFER INDUSTRIES, GRAND RAPIDS, MI. (800) 538-6695.

WIRE SHELVING: VINYL COATED OPEN WIRE EQUIVALENT TO CLOSET MAID LAMINATE. GENERAL: COMPLY WITH AWI SECTION 400 AND DIMENSION 400B. HIGH PRESSURE LAMINATE QUALITY GRADE OF NEVAMAR, WILSONART, FORMICA OR FORBO ARCHITEC. COMPLY WITH NEVA L03, G-50 GENERAL PURPOSE HORIZONTAL TYPE, G-28 FOR VERTICAL APPLICATIONS. PER-2 FOR POST FORMING APPLICATIONS. L03 FOR BRACING GRADE. LAMINATE CABINETS: CABINETS SHALL BE PERFORM GRADE, FLUSH OVER LAP WITH EDGES OF PVC IN MATCHING COLOR. PROVIDE DUST PANELS OF 1/4" THICK PLYWOOD OR TEMPERED HARDBOARD ABOVE COMPARTMENTS AND DRAWERS, EXCEPT WHERE COATED DIRECTLY TO USER TOOLS. CORE MATERIALS: PARTICLE BOARD COMPLY WITH ANSI A208.1, GRADE 1-MAX ADHESIVE. COMPLY WITH FS MM-44-103A, TYPE AS RECOMMENDED BY MANUFACTURER. HARDWARE: GENERAL: COMPLY WITH ANSI BHMA 1.95A FOR HARDWARE STANDARDS, AND BHMA 1301 FOR FINISH STANDARDS. DRAWERS: SHELVING HARDWARE: KNAFF & VOGT #205 STANDARDS AND #236 SUPPORTS. PROVIDE BLOCKING DRAWER SLIDES: GRAIN #333 WITH NYLON BALL BEARING ROLLERS, 7/16" OR GREATER LOAD RATING. HINGES: HEAVY DUTY HANO HINGES. DOOR AND DRAWER PULLS: 1/4" X 1/4" STAINLESS STEEL. PIVOT STYLE TRASH HOPPER DOORS: AMERICAN SPECIAL TIES, INC. MODEL 1033. CARS: DISC TUMBLER, MASTER KEVED DUAL CARTRIDGE FINISH EQUAL TO CYBER LOCKS BY FUTABA. ALL CABINETS TO HAVE LOCKS ON ALL DOORS AND DRAWERS. OFFICE CABINETS TO BE KEVED SEPARATELY FROM ALL OTHER CABINETS WHICH SHALL BE KEVED ALIKE. BASE TRIM: AT BOTTOM OF CABINET DOORS, THREE QUARTER ROUN JOINTS MATCH WITH CORNER BUMPER GUARD, OR APPROVED EQUAL.

LAMINATE COUNTERTOPS TO HAVE POST FORMED BUSHINGS WITH CORNER DETAILS AS INDICATED ON THE PLANS. TAMPER CHANGING STATION SHALL HAVE POST FORMED ROUNDED CORNERS WITH NO EDGE LESS THAN THREE QUARTER INCH RADIUS.

INSTALL ALL WOODWORK FINISH LEVEL, TRUE AND STRAIGHT WITH NO DISTORTIONS. SHIP AS REQUIRED USING CONCEALED SHIMS. INSTALL TO A TOLERANCE OF 1/8" IN 8' VERTICAL AND HORIZONTAL, WITH NO VARIATIONS IN FLUSHNESS TO ADJACENT SURFACES. ALL WOODWORK IS TO BE SECURELY ANCHORED TO BLOCKING DIRECTLY ATTACHED TO SUBSTRATES. USE CONCEALED FASTENERS, EXCEPT FOR EXPOSED WOODWORK OR PREFINISHED PASTELINE HEADS ARE SPECIFIED. INSTALL CABINETS WITHOUT DISTORTION OR RACKING SO THAT DOORS AND DRAWERS FIT OPENINGS PROPERLY, AND ARE PROPERLY ALIGNED. ADJUST HARDWARE AS REQUIRED, AND CLEAN AND LUBRICATE HARDWARE. REPAIR OR REPLACE DAMAGED OR DEFECTIVE WOODWORK.

6.65 SOLID CAST POLYMER FABRICATIONS FURNISH AND INSTALL ALL SOLID CAST POLYMER COMPONENTS INDICATED ON PLAN OR SPECIFIED HEREIN. PRODUCTS SHALL COMPLY WITH AIA 90-124.1, 124.1A AND A-112.19.2.3, AS WELL AS ALL APPLICABLE BUILDING CODES. ALLOWABLE TOLERANCES SHALL BE LIMITED TO PLUS OR MINUS ONE QUARTER INCH IN SIZE AND LOCATION OF OPENINGS. FABRICATOR SHALL HAVE A MINIMUM OF FIVE YEARS EXPERIENCE IN THE MANUFACTURE AND INSTALLATION OF SOLID CAST POLYMER PRODUCTS.

SUBMIT SHOP DRAWINGS AND SAMPLES FOR APPROVAL. SHOP DRAWINGS SHALL INDICATE DIMENSIONS, COMPONENT SIZES, INSTALLATION DETAILS, ATTACHMENT POINTS AND COORDINATION REQUIREMENTS WITH ADJACENT WORK. SAMPLES SHALL BE APPROXIMATELY 4" X 4" AND REPRESENT A FULL RANGE OF COLOR AND PATTERN. SUBMIT MANUFACTURER'S CARE AND MAINTENANCE RECOMMENDATIONS, INCLUDING RECOMMENDED REPAIR AND CLEANING INSTRUCTIONS. SUBMIT PRODUCT WARRANTY.

PRODUCTS SHALL BE EQUAL TO CORIAN, Silestone OR APPROVED EQUAL OF OTHER MANUFACTURERS IN COLORS AND PATTERNS AS INDICATED ON THE PLANS, TO INCLUDE AS FOLLOWS:

WINDOW SILLS: 3/4" TOPS WITH SEPARATE BACKSLASH 1/4"

TOPS, IF CALLED FOR ON THE PLANS, WITH SEPARATE SPLASH COMPONENTS, PANELS AND SURROUNDS SHALL USE ADHESIVES SUITABLE FOR CAST POLYMER PRODUCTS.

INSTALL COMPONENTS PLUMB AND LEVEL, SCRIBED TO ADJACENT FINISHES IN ACCORDANCE WITH APPROVED SHOP DRAWINGS AND RECOMMENDED INSTALLATION INSTRUCTIONS. FORM FIELD JOINTS USING MANUFACTURER'S RECOMMENDED ADHESIVES. ATTACH SINKS AND BASINS TO COUNTERTOPS USING MANUFACTURER'S RECOMMENDED ADHESIVE AND INCLUDING HARDWARE. PROTECT SURFACES FROM DAMAGE DURING AND AFTER INSTALLATION. REPAIR OR REPLACE DAMAGED PRODUCT.

#### 7. THERMAL & MOISTURE PROTECTION

##### 7.13 RUBBERIZED ASPHALTIC MASTIC (BITUMASTIC)

FURNISH AND INSTALL RUBBERIZED ASPHALTIC ADHESIVE MASTIC WHERE INDICATED ON PLAN OR SPECIFIED HEREIN. PRODUCTS SHALL BE EQUAL TO BITUTHENE MASTIC BY GAF CONSTRUCTION PRODUCTS, CAMBRIDGE, MASS, AND SHALL BE THROWN OR TUBE APPLIED. SIMILAR PRODUCTS OF OTHER MANUFACTURERS ARE ACCEPTABLE SUBJECT TO APPROVAL OF ARCHITECT.

INSTALL MASTIC IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. BITUMASTIC MASTIC CONTAINS VOLATILE ORGANIC COMPOUNDS AND MUST BE HANDLED IN A SAFE MANNER. REFER TO MANUFACTURER'S SAFETY DATA SHEETS FOR CORRECT HANDLING PROCEDURES.

##### 7.2 INSULATION

FURNISH AND INSTALL ALL INSULATION AS CALLED FOR ON THE PLANS.

PRODUCTS AND STANDARDS (ALTERNATES ACCEPTED IF EQUAL TO PRODUCT) SPECIFICATIONS REFERENCED:

##### EXTERIOR INSULATION PRODUCTS:

EXTERIOR WALL CLOSED CELL SPRAY FOAM INSULATION: BASF HIGH DENSITY CLOSED CELL POLYURETHANE FOAM 2 INCH MINIMUM WALL THICKNESS, R-6.7 PER INCH OR APPROVED EQUAL. SUBMIT MANUFACTURER CUT SHEET.

POLYETHYLENE VAPOR BARRIER: 6-MIL POLYETHYLENE FILM WITH LABORATORY TESTED VAPOR TRANSMISSION RATING OF 0.2 PER RUS. NATURAL COLOR. TAPE JOINTS OR FLUTURES: 10-MIL FOAM COMPOSITE FB BY ATLAS PRODUCTS. CLOSED CELL POLYMO BODIED TO 1/4" W/40 OR EQUAL.

WEAPOR RIGID INSULATION (WALL APPLICATION): 4" FOAM COMPOSITE FB BY ATLAS PRODUCTS. CLOSED CELL POLYMO BODIED TO 1/4" HIGH DENSITY WOOD FIBERBOARD WHERE CALLED FOR ON PLANS.

PERIMETER FOUNDATION AND CAVITY WALL INSULATION: EXTRUDED POLYSTYRENE EQUAL TO DOW CORNING, IN THICKNESS CALLED FOR ON PLANS. COMPLY WITH ASTM C578, TYPE IV, 2.5 LB PER COMPRESSION STRENGTH, R-5.0 PER INCH THICK AT 23F.

##### RIGID ROOF INSULATION (SEE ROOFING SPEC)

INSTALL ALL INSULATION IN COMPLIANCE WITH MANUFACTURER'S RECOMMENDATIONS AND BUILDING CODE REQUIREMENTS. FOLLOW ALL INSTALLER PROTECTION INSTRUCTIONS OF THE MANUFACTURER.

##### 7.27 FLUID-APPLIED AIR & WATER-RESISTIVE BARRIER SYSTEM

WORK OF THIS SECTION INCLUDES WINDOW AND DOOR FLASHING, AIR AND WATER RESISTIVE BARRIER MEMBRANE SYSTEM, AND ACCESSORY MATERIALS FOR APPLICATION TO EXTERIOR BUILDING ENVELOPE SUBSTRATES AS INDICATED ON THE DRAWINGS.

PERFORMANCE DESCRIPTION: THE BUILDING ENVELOPE SHALL BE CONSTRUCTED WITH A CONTINUOUS, AIR AND WATER RESISTIVE BARRIER TO CONTROL WATER AND AIR LEAKAGE INTO AND OUT OF THE CONDITIONED SPACE. JOINTS, PENETRATIONS AND PATCHES OF WATER AND AIR INFILTRATION SHALL BE MADE WATER/TIGHT AND AIR/TIGHT. SYSTEM SHALL BE CAPABLE OF WITHSTANDING POSITIVE AND NEGATIVE COMBINED WIND, STACK AND HVAC PRESSURES ON THE ENVELOPE WITHOUT DAMAGE OR DISPLACEMENT. SYSTEM SHALL BE INSTALLED IN AN AIR/TIGHT AND FLEXIBLE MANNER, ALLOWING FOR THE RELATIVE MOVEMENT OF SYSTEMS DUE TO THERMAL AND MOISTURE VARIATIONS.

SUBMIT MANUFACTURER'S PRODUCT DATA INCLUDING MEMBRANE AND ACCESSORY MATERIAL TYPES, TECHNICAL AND TEST DATA, COMPOSITION, DESCRIPTIONS AND PROPERTIES, INSTALLATION INSTRUCTIONS AND SUBSTRATE PREPARATION REQUIREMENTS. PROVIDE INSTALLATION GUIDELINE ILLUSTRATIONS.

MANUFACTURER'S QUALIFICATIONS: AIR AND WATER-RESISTIVE BARRIER SYSTEMS SHALL BE MANUFACTURED AND SERVICED BY A FIRM WITH A MINIMUM OF FIVE (5) YEARS EXPERIENCE IN THE PRODUCTION AND SALES OF AIR AND WATER-RESISTIVE BARRIER SYSTEMS. THE INSTALLER SHALL DEMONSTRATE QUALIFICATIONS TO PERFORM THE WORK OF THIS SECTION BY VERIFYING TRAINING BY AND APPROVED TO PERFORM WORK HEREIN SPECIFIED BY THE AIR AND WATER-RESISTIVE BARRIER SYSTEM MANUFACTURER.

INSPECTION AND TESTING: DO NOT COVER OR INSTALL PRODUCTS OR ASSEMBLIES UNTIL THEY HAVE BEEN INSPECTED, TESTED AND APPROVED.

DELIVER MATERIALS AND PRODUCTS IN LABELED PACKAGES, STORE AND HANDLE IN STRICT COMPLIANCE WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. PROTECT FROM DAMAGE, WEATHER, EXCESSIVE TEMPERATURES AND CONSTRUCTION OPERATIONS. PROTECT AIR AND WATER-RESISTIVE BARRIER COMPONENTS FROM FREEZING AND EXTREME HEAT. SECURE DELIVERIES TO AVOID DELAYS, AND TO MINIMIZE ON-SITE STORAGE.

WEATHER CONDITIONS: PERFORM WORK ONLY WHEN EXISTING AND FORECASTED WEATHER CONDITIONS ARE WITHIN THE LIMITS ESTABLISHED BY THE MANUFACTURER OF THE MATERIALS USED.

SUBMIT MANUFACTURER'S WRITTEN WARRANTY STATING THAT INSTALLED AIR AND WATER-RESISTIVE BARRIER MATERIALS ARE WATER/TIGHT, FREE FROM DEFECTS IN MATERIAL, AND WORKMANSHIP, AND AGREEING TO REPLACE DEFECTIVE MATERIALS AND COMPONENTS COVERING FIVE YEARS FROM DATE OF SUBSTITUTION, COMPLETION.

PRODUCTS: FURNISH AND INSTALL MATERIALS AND SYSTEMS AS MANUFACTURED BY PROSOCCO, INC. 3711 GREENWAY CIRCLE LAURENCE, KS 66044. PHONE: (800) 225-4245. FAX: (800) 877-2700. E-MAIL: CUSTSERVICE@PROSOCCO.COM, OR APPROVED EQUAL OF THE FOLLOWING PRODUCTS, AS APPLICABLE:

PROSOCCO RIGUARD DYP-RITE, PROSOCCO RIGUARD JOINT & SEAM FILLER, A SINGLE COMPONENT, 99% SOLIDS FIBER REINFORCED, SILV-TERMINATED POLY-ETHER (STEP) IS EASY TO GUN, SPREAD AND TOOL; THICKNESS: APPLY ACCORDANCE TO MANUFACTURER'S INSTRUCTIONS. HARDNESS: SHORE A, 45-50 WHEN TESTED IN ACCORDANCE WITH ASTM D691. WATER VAPOR PERMEABILITY: MINIMUM 14 PERMS WHEN TESTED IN ACCORDANCE WITH ASTM E 96. TENSILE STRENGTH: 225 PSI WHEN TESTED IN ACCORDANCE WITH ASTM D412, LAP 51 CAR STRENGTH 11 25 PSI WHEN TESTED IN ACCORDANCE WITH ASTM D1002. ELONGATION AT BREAK: 275% WH TESTED IN ACCORDANCE WITH ASTM D412. AND PEEL STRENGTH: 30 PLI WHEN TESTED IN ACCORDANCE WITH ASTM D1781.

PROSOCCO RIGUARD FASTFLASH, A SINGLE COMPONENT, 99% SOLIDS, SILV-TERMINATED POLY-ETHER (STEP) EASY TO GUN, SPREAD AND TOOL, TO PRODUCE A HIGHLY DURABLE, SEAMLESS, ELASTOMERIC FLASHING MEMBRANE IN ROUGH OPENINGS OF STRUCTURAL WALLS. THICKNESS: APPLY ACCORDANCE TO MANUFACTURER'S INSTRUCTIONS. WATER VAPOR PERMEABILITY: MINIMUM 14 PERMS WHEN TESTED IN ACCORDANCE WITH ASTM E 96. TENSILE STRENGTH: 225 PSI WHEN TESTED IN ACCORDANCE WITH ASTM D412, LAP 51 CAR STRENGTH 11 25 PSI WHEN TESTED IN ACCORDANCE WITH ASTM D1002. ELONGATION AT BREAK: 275% WH TESTED IN ACCORDANCE WITH ASTM D412. AND PEEL STRENGTH: 30 PLI WHEN TESTED IN ACCORDANCE WITH ASTM D1781.

PROSOCCO RIGUARD TRIP SPRAY WRAP, A FLUID APPLIED AIR AND WATER-RESISTIVE BARRIER THAT STOPS AIR AND WATER LEAKAGE IN CAVITY WALL, WHEN UPON THE SUBSTRATE, THE LIQUID CURE, DRIES INTO A RUBBERIZED, HIGHLY DURABLE, WATER-RESISTANT, VAPOR PERMEABLE MEMBRANE. THICKNESS: APPLY IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. SEE PRODUCT DATA SHEET. AIR INFILTRATION: LESS THAN 0.004 CFM PER SQUARE FOOT (0.02 L/SQ M) WHEN TESTED IN ACCORDANCE WITH ASTM E178 OR ASTM E93. AIR BARRIER ASSEMBLY PASS WHEN TESTED IN ACCORDANCE WITH ASTM E2033. WATER VAPOR PERMEABILITY: MINIMUM 14 PERMS WHEN TESTED IN ACCORDANCE WITH ASTM E96. STRUCTURAL PERFORMANCE: AIR AND WATER-RESISTIVE BARRIER SYSTEM SHALL WITHSTAND POSITIVE AND NEGATIVE WIND PRESSURE LOADINGS WHEN TESTED IN ACCORDANCE WITH ASTM E530. WATER PENETRATION (STATIC PRESSURE): NO UNCONTROLLED WATER PENETRATION WHEN TESTED IN ACCORDANCE WITH ASTM E93; TENSILE STRENGTH: GREATER THAN 75 PSI OR EXCEEDS STRENGTH OF SUBSTRATE WHEN TESTED IN ACCORDANCE WITH ASTM D412.

MASONRY VENEER CONSTRUCTION, AS WELL AS IN STUCCO, EPS AND MOST OTHER BUILDING WALL ASSEMBLIES (AIR INFILTRATION, LESS THAN 0.004 CFM PER SQUARE FOOT (0.02 L/SQ M) WHEN TESTED IN ACCORDANCE WITH ASTM E178 OR ASTM E93. AIR BARRIER ASSEMBLY PASS WHEN TESTED IN ACCORDANCE WITH ASTM E933. WATER VAPOR PERMEABILITY: MINIMUM 14 PERMS WHEN TESTED IN ACCORDANCE WITH ASTM E96. TENSILE STRENGTH: GREATER THAN 75 PSI OR EXCEEDS STRENGTH OF SUBSTRATE WHEN TESTED IN ACCORDANCE WITH ASTM D412.

PROSOCCO RIGUARD ADRAMP, A MEDIUM MODULUS SEALANT THAT COMBINES SILICONE AND POLYURETHANE PROPERTIES AS A SINGLE COMPONENT, 99% SOLIDS SILV-TERMINATED POLY-ETHER (STEP) TO GUN AND TOOL. IN ALL WEATHER CONDITIONS, (TENSILE STRENGTH WITH 10 PSI WHEN TESTED IN ACCORDANCE WITH ASTM D412, ELONGATION AT BREAK: 150% WHEN TESTED IN ACCORDANCE WITH ASTM D412, PEEL STRENGTH: 30 PLI WHEN TESTED IN ACCORDANCE WITH ASTM D1781).

BACKER ROD: COMPRESSIBLE, CLOSED CELL ROD STOCK AS RECOMMENDED BY MANUFACTURER FOR COMPATIBILITY WITH SEALANT. PROVIDE SIZE AND SHAPE OF ROD TO CONTROL JOINT DEPTH.

EXECUTION: INSTALL IN STRICT ACCORD WITH MANUFACTURER'S INSTALLATION GUIDELINES. VERIFY THAT SURFACES AND CONDITIONS ARE READY TO ACCEPT THE WORK OF THIS SECTION. ALL SURFACES MUST BE SOUND, CLEAN AND FREE OF GREASE, DIRT, EXCESS MORTAR OR OTHER CONTAMINANTS. FILL OR BRIDGE DAMAGED SURFACES, VOIDS OR GAPS LARGER THAN ONE-HALF (1/2) INCH WITH MORTAR, WOOD, METAL, SHEATHING OR OTHER SUITABLE MATERIAL, AS NECESSARY. FILL VOIDS AND GAPS DEEPER THAN ONE-HALF (1/2) INCH OR LESS WITH RIGUARD JOINT & SEAM FILLER AS NECESSARY TO ENSURE CONTINUITY. EXTERIOR SHEATHING SHALL BE PROPERLY INSTALLED WITH ENDS, CORNERS AND EDGES PROPERLY FASTENED. MECHANICAL FASTENERS USED TO SECURE SHEATHING BOARDS OR REINFORCING SHEATHING BOARDS SHALL BE FLUSH WITH SHEATHING. FASTENED AND SPACED WITH 16-GAUGE JOINT & SEAM FILLER AND FASTENED INTO SOLID BACKING. CONSIDERATE AND SEAL THE CUT EDGES OF GYPSUM WALL BOARDS EXPOSED IN ROUGH OPENINGS FOR WINDOWS AND DOORS AT CORNERS. THE TREATED EDGE PROVIDES A SUITABLE SURFACE FOR APPLICATION OF RIGUARD JOINT & SEAM FILLER BEHIND REINFORCED COAT AND SEAM TREATMENT. MASONRY AND CONCRETE SUBSTRATES, INCLUDING HEAD AND BED JOINTS SHOULD BE FULLY FILLED AND TOOLED. MECHANICALLY REMOVE LOOSE MORTAR FINIS, MORTAR ACCUMULATIONS AND PROTRUSIONS, AND DEBRIS.

#### 7.6 SHEETMETAL ROOFING AND FLASHINGS

SCOPE OF WORK SHALL INCLUDE ALL SHEETMETAL FLASHINGS, COPINGS, FASCIA, TRIM AND STANDING SEAM METAL ROOF.

MATERIAL TO BE 24-GAUGE COMMERCIAL GRADE HOT DIPPED GALVANIZED STEEL WITH FACTORY APPLIED 20 MIL WAFRANITY CYANURIC BASED COATING WITH A DRY FILM THICKNESS OF 1.0 MIL. APPROVED MANUFACTURERS INCLUDE COLORBOND, UNIA-COAT, PAG-GLAD, FOREMOST. COLOR TO BE FACIOLAD INTERESTATE BLUE FOR STANDING SEAM ROOF, OTHER COLORS AS NOTED OR SELECTED FROM STANDARD CO. OR PALETTE.

RELATED MATERIALS TO INCLUDE 3/8" WIDE RUBBERIZED ASPHALT MEMBRANE EQUAL TO W. GRADE ICE AND WATER SHEET, RED POSIN PAPER SLIP SHEET, COLOR COORDINATED PAPERLESS VULCANIZED SEALANTS, LOW VISCOSITY SINGLE COMPONENT WATER CUT OFF MASTIC BY GAF/LEO OR EQUAL, AND NON-CORROSIVE SCREWS OF SUFFICIENT LENGTH AND TYPE REQUIRED FOR POSITIVE FASTENING TO SUBSTRATE. CLIPS SHALL BE 27-GAUGE GALVANIZED AND HOOK STRIPS 24-GAUGE GALVANIZED, SHOP FORM AND FABRICATED COMPONENTS TO FIT CONSTRUCTION.

PROVIDE ALL PREFORMED ROOFING PANS, CLIPS AND SEAM CAPS, PROVIDE SHARP, TRUE LINES, ANGLES AND PROFILES WITHOUT WAVES AND BUCKLES. HEM ALL EXPOSED EDGES. ROOF PANS SHALL SPAN FROM EAVE TO RIDGE. SEAM CAPS SHALL BE NO LESS THAN 15" LONG. FLASHING SHALL BE NO LESS THAN 8" WITHOUT A SEAM.

SUBSTRATE SHALL BE FLAT, FREE OF WARP OR EAVE, AND FREE OF DEBRIS, FROST, SNOW AND ICE.

INSTALLATION: INSTALL ALL SYSTEMS IN ACCORDANCE WITH THE PLANS AND MANUFACTURER'S INSTRUCTIONS AND DETAILS. SECURELY ANCHOR WORK STRAIGHT, LEVEL AND FLUSH, MAINTAIN PROVISION FOR EXPANSION AND CONTRACTION. PROVIDE ALL FLASHING VALLEYS, DRIPS, SEALANTS, AND RETAINERS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND DETAILS TO PROVIDE A COMPLETE WATER/TIGHT SYSTEM, DO NOT FACE NAIL COPINGS, FLASHINGS OR TRIM.

STANDING SEAM ROOF ASSEMBLY TO HAVE FIVE (5) YEAR WARRANTY. FURNISH AND INSTALL PREFINISHED METAL SCUFFERS AND DOWNPOUTS AT ALL ROOF EDGES OVER SIDEWALKS, DRIVEWAYS AND AT LOCATIONS SHOWN ON THE DRAWINGS. INSTALLER TO SEAL ALL JOINTS.

##### 7.70 DOWNPOUTS AND GUTTERS

FURNISH AND INSTALL ALL SHEETMETAL DOWNPOUTS AND GUTTERS WHERE INDICATED ON PLAN.

MATERIALS SHALL CONSIST OF 0.640" THICK FACTORY FINISHED PAINTED ALUMINUM EQUAL TO COPPER SALES UNIA-COAT IN STANDARD COLORS.

GUTTERS SHALL BE CONTINUOUS OVER SECTIONS WITH THE FEWEST NUMBER OF SPLICES AS POSSIBLE.

INSTALL ALL GUTTERS, DOWNPOUTS AND RELATED ASSEMBLIES TO PROVIDE AMPLE SUPPORT AND PROPER DRAINAGE WITHOUT PUDDLES OR DAMS. PROVIDE EXPANSION CONTRACTION JOINTS WHEN NECESSARY TO ALLOW FOR MOVEMENT. PROVIDE STRIP COVERS FOR MOVEMENT ON ALL DOWNPOUTS. KEEP DOWNPOUTS SEPARATED FROM RILEY WALL SURFACES TO AVOID STAINING AND CORROSION. PROVIDE STRAINERS AND DOWNPOUT INLETS TO PREVENT DEBRIS FROM ACCUMULATING IN DRAINS.

WHERE CALLED FOR ON PLANS, TERMINATE ALL DOWNPOUTS INTO STORM DRAIN LEADERS USING CUSTOM FORMED TRANSITION FUNNELS.

CLEAN UP ALL DEBRIS AND EXCESS MATERIALS FROM SITE. LEAVE DRAINS CLEAN AND FREE OF DEBRIS. PROVIDE TWO-YEAR WARRANTY AGAINST FAULTY WORKMANSHIP, INCLUDING BUT NOT LIMITED TO INADEQUATE DRAINAGE OR INFILTRATION.

##### 7.6 ADHESIVE WALL BITUTHENE FLASHING AND TAPE

FURNISH AND INSTALL SELF-ADHERING GOLD PLY RUBBERIZED ASPHALTIC SHEET FLASHING AT ALL LEVELS, PENETRATIONS, DOORS, AND WINDOWS FEATURING A NAILING FLANGE OR PLASTIC OR METAL FLASHING. MATERIAL SHALL BE EQUAL TO PERMA-BARRIER WALL FLASHING, A CORD WITH RELATED MATERIALS SUCH AS PERMA-BARRIER SURFACE CONDITIONER, PERMA-BARRIER VIB PRIMER, AND TROVEX GRADE BITUTHENE MASTIC BY GAF CONSTRUCTION PRODUCTS, CAMBRIDGE, MASS OR SIMILAR PRODUCTS OF OTHER MANUFACTURERS.

MATERIAL SHALL BE 41 MIL COMPOSITE THICKNESS CONSISTING GENERALLY OF 32 MIL PLIABLE ADHESIVE RUBBERIZED ASPHALT COMPOUND LAMINATED TO 0.8 MIL HIGH DENSITY GRADE LAMINATED POLYETHYLENE FILM ON A SILICONE RELEASE PAPER. TENSILE STRENGTH SHALL BE 600 PSI MACHINE DIRECTION AND 900 PSI CROSS DIRECTION PER ASTM D412. ELONGATION SHALL BE 200% PER ASTM D412. PERMEABILITY SHALL BE 0.004 MAXIMUM PER ASTM E 96. METHOD B. WATER ABSORPTION SHALL BE 0.1 BY WEIGHT PER ASTM D574. PUNCTURE RESISTANCE SHALL BE 350/180 (LBS) MINIMUM PER ASTM E 154.

FLASHING SHALL NOT BE USED WHERE EXPOSED PERMANENTLY TO DIRECT SUNLIGHT, AND MUST BE COVERED WITHIN 30 DAYS OF INITIAL APPLICATION. THE FLASHING IS COMPATIBLE WITH MOST FULLY CURED POLYURETHANES, SILICONES AND COAL TAR SEALANTS AND DAMPPROOFING MATERIALS. IT IS NOT COMPATIBLE WITH GREGGOTE, JOINT SEALANTS CONTAINING POLYBUTYLENE POLYURETHANES, AND PRODUCTS MANUFACTURED FROM EPDM. REFER TO MANUFACTURER FOR FURTHER INFORMATION.

STORE MATERIAL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. INSTALL IN STRICT CONFORMANCE WITH MANUFACTURER'S RECOMMENDATIONS. VAPORS FROM APPLICATION OF MATERIALS AND PRIMERS MAY BE HARMFUL. USE BEST AVAILABLE HANDLING PRACTICES PER MANUFACTURER MATERIAL SAFETY DATA SHEETS (MSDS). INSTALL ONLY WHEN WEATHER CONDITIONS PERMIT, ABOVE AIR OR SURFACE TEMPERATURES OF 23 DEGREES FAHRENHEIT.

SURFACE MUST BE SMOOTH, DRY CLEAN AND FREE OF VOIDS, SPALLS, LOOSE SUBSTRATE, LOOSE NAILS, SHARP PROTRUSIONS OR OTHER MATTER THAT WILL INCREASE ADHESION OR THE UNIFORMITY OF THE WALL FLASHING INSTALLATION. USE PERMA-SURFACE CONDITIONER TO ENHANCE ADHESION OF DUST/CEMENTITIOUS SURFACES AND ALLOW TO DRY COMPLETELY. USE PERMA-BARRIER VIB PRIMER TO FACILITATE ADHESION TO ALL DRYWALL OR DENS-GLOSS GOLD SUBSTRATES. ADHESIVE FLASHING OVER NAILING PINS OR METAL FLASHINGS TO BE APPLIED PRIOR TO INSTALLATION OF FLASHING WRAP OR FELTS. APPLY BITUTHENE MASTIC ALONG ALL LAPS, SEAMS, TOP EDGES, CUTS AND PENETRATIONS. ADHESIVE WRAP FOR LINTELS, CEMENT ENDINGS USING FLASHING MATERIALS FOR WINDOWS WITH NAILING FINIS, INSTALL SIL FLASHING FIRST, LAPPED BY JAMB FLASHINGS, LAPPED BY HEAD FLASHING. BUILDING WRAP SHALL LAP THIS PRODUCT.

##### 7.6 PAINTING AND SEALANTS

FURNISH AND INSTALL ALL EXTERIOR AND INTERIOR CALLING AS CALLED FOR ON THE PLANS OR PROVIDED HEREIN

UNLESS OTHERWISE NOTED, MEAS TO BE CALKED INCLUDING: ALL GLASS WINDOWS, EXTERIOR DOOR FRAMES, SILLS AND THRESHOLDS, ROOF COPINGS, AND ELSEWHERE WHERE INDICATED ON PLAN.

FURNISH AND INSTALL ALL EXTERIOR JOINT SEALANT (EXCEPT FOR ROOFING AND ROOF FLASHING COVERED UNDER THEIR WORK) AND ALL INTERIOR CALLING. PRODUCTS OF TREMCO MANUFACTURING CO. ARE SPECIFIED TO ESTABLISH STANDARDS OF QUALITY. PERFORMANCE AND DESIGN CONCEPT, THE EQUIVALENT PRODUCTS AND COLORS OF OTHER SUBMIT QUALITY CURED SAMPLES OF THE EXTERIOR SEALANT MANUFACTURER'S FULL PALLETS OF STANDARD COLORS FOR THE ARCHITECT'S SELECTION.

EXTERIOR: TREMCO DYMERIC-3 PART EPOXY/URETHANE FOR CONTROL JOINTS AND ALL OTHER EXTERIOR CALLING. WOOD ON WOOD: BY CARPENTRY CONTRACTOR. GLASS & GLAZING: BY GLASS INSTALLER TO MATCH ALUMINUM COLOR. GENERALLY, CALK ALL SPLICES: BUILDING TO WALKWAY JOINTS, WALKWAY CONTROL JOINTS (OTHER THAN PREFINISHED STUCCO CONTROL JOINTS), SOFFITS/FASCIAS TO BUILDING WALLS, GUTTER SYSTEMS, AND OTHER JOINTS NECESSARY TO PROVIDE A WATER/TIGHT CONDITION.

DELIVER MATERIALS IN ORIGINAL UNOPENED CONTAINERS. DO NOT MODIFY AT JOB SITE IN ANY WAY EXCEPT PER MANUFACTURER'S INSTRUCTION. JOINTS SHALL BE CLEAN, DRY AND FREE FROM FROST, DUST, COIL INCLUDING FORM OIL, OR OTHER RESIDUE THAT WILL PREVENT ADHESION. CALK ONLY WHEN TEMPERATURES ARE ABOVE 40 DEGREES. DO NOT CALK DURING PERIOD OF PRECIPITATION NOR IMMEDIATELY THEREAFTER.

JOINT PREPARATION: JOINT DEFECTS, INCLUDING LACK OF ADEQUATE DEPTH OR SIZE, SHALL BE CORRECTED PRIOR TO ACCEPTANCE BY CALLING CONTRACTOR. OPENINGS, JOINTS OR CHANNELS SHALL BE THOROUGHLY CLEAN, DRY AND FREE FROM DUST, COIL, GREASE, LOOSE MORTAR OR ANY OTHER FOREIGN MATERIAL. SURFACES WITH PROTECTIVE COATINGS SHALL BE WIPED WITH XOL-OL OR METHYL ETHER, KEYSTONE SOLVENT TO REMOVE THE PROTECTIVE COATING AND ANY OTHER DEPOSIT THAT MAY BE LEFT ON THE METAL SURFACES, WHERE JOINTS ARE DEEPER THAN 1/2 INCH POLYURETHANE ROPE SHALL BE USED AND PACKED INTO THE JOINT TO WITHIN 1/2 INCH OF THE SURFACE. ALLOW FOR A MINIMUM OF 90% COMPRESSION, WHERE JOINTS ARE 3/4 INCH WIDE FLUGE BACKING TO THE DEPTH OF THE SEALANT AND CALKING SHALL NOT BE APPLIED TO MASONRY JOINTS TREATED WITH A WATER REPELLENT OR MASONRY PRESERVATIVE.

FILL JOINT COMPLETELY, ALL BEADS SHALL BE TOOLED IMMEDIATELY TO ENSURE FIRM, FULL CONTACT WITH JOINT. EXCESS MATERIAL SHALL BE STRIPPED OFF WITH A TOOLING STRIP OR KNIFE. REMOVE ALL EXCESS MATERIALS AND SMears ADJACENT TO THE JOINT AS WORK PROGRESSES. INSTALL ALL SEALANTS IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

##### 8. DOORS AND WINDOWS

##### 8.1 HOLLOW METAL DOORS & FRAMES

FURNISH AND INSTALL ALL FLUSH HOLLOW METAL DOORS AND WELDED HOLLOW METAL FRAMES, COMPLY WITH ANSI A115 SERIES 82: ANSI/SKI A151.1-1987, S31 112-88.

PROVIDE SHOP DRAWINGS FOR EACH TYPE OF DOOR AND FRAME FOR EACH OPENING. PROVIDE MANUFACTURER'S LITERATURE.

STORE DOORS IN AN UPRIGHT POSITION UNDER VENTED TRAP SO AS NOT TO CREATE HUMIDITY, SPACE AND BLOCK FRAMES.

ACCEPTABLE MANUFACTURERS: STEEL, DRAFT, CECO, CARRIES, AMVELD.

##### DOORS

EXTERIOR DOORS: 16GA. 460 GALVANIZED STEEL 1/4" THICK, INSULATED. CLOSE TOP EDGE WITH CONTINUOUS TOP CHANNEL AND BOTTOM EDGE WITH INVERTED CHANNEL.

##### FRAMES

HOLLOW METAL FRAMES: 16GA INTERIOR FRAMES: 16GA. 460 GALVANIZED STEEL FOR EXTERIOR FRAMES, FULLY WELD FRAMES WITH CORNERS INTERED AND GROUND SMOOTH.

FRAMES REINFORCING: COVER BOYS FOR HARDWARE CUTOUTS AND HINGES 9 GA. 1-1/2" X 9" WELDED TO FRAME; LOCK STRIKE 16 GA. 1-1/2"; GLOSS HOLDER 12 GA. 1-3/4" X 20" WELDED TO FRAME; ANGLE FLOOR CLIPS 16 GA.

ANCHORS: AT LEAST 3 ANCHORS PER JAMB FOR FRAMES UP TO 84" HIGH, PLUS 1 FOR EACH 24" OVER 84" HIGH.

PAINTING: CHEMICALLY PRIME AT SURFACES WITH PHOSPHATE COMPOUND TO MAXIMIZE PAINT ADHESION. APPLY ONE COAT OF PRIMER COMPLETELY COVERING SURFACE WITHOUT RUNS, SMEARS, OR BARE SPOTS.

INSTALLATION: INSTALL ALL DOORS AND FRAMES TRUE, SQUARE, AND FRAME WITHOUT RACKING OR SAG.

##### 8.1 WOOD DOORS

FURNISH AND INSTALL ALL FLUSH WOOD DOORS AS SHOWN ON THE PLANS AND SPECIFIED HEREIN. DOORS SHALL COMPLY WITH WDMA 1.5.1 ARCHITECTURAL WOOD FLUSH DOORS AND AMI QUALITY STANDARDS SECTION 1300.

FURNISH SHOP DRAWINGS SHOWING EACH TYPE OF DOOR FOR EACH OPENING. PROVIDE MANUFACTURER'S LITERATURE.

DO NOT DELIVER DOORS TO SITE UNTIL CONDITIONS ARE SUITABLE. STACK DOORS FLAT ON PALLETS WITH NON-ABSORBANT SPACERS BETWEEN DOORS AND PROTECTIVE WRAP BY MANUFACTURER. WRAP SHALL NOT BE REMOVED UNTIL JUST PRIOR TO FINISHING OR INSTALLATION: PROTECT FINISHED OR PARTIALLY FINISHED DOORS FROM WORK OF OTHER TRADES.

ACCEPTABLE MANUFACTURERS: ALGOMA, OSKOSH, GRAHAM, WEYERHAEUSER.

WARRANTY: WRITTEN WARRANTY BY MANUFACTURER FOR 5 YEARS AFTER INSTALLATION.

FABRICATION: FLUSH, SCULPT CORE, 5 PLY CORE, 38 LB DENSITY PARTICLE CORE FOR 50 MILUTE OR NON-RATED DOORS. MINERAL CORE FOR 45.50 N MILUTE DOORS. TYPE 1 FACE AND CORE ADHESIVE. STRUCTURAL COMPOSITE LUMBER HORIZONTAL EDGES. LAMINATE VERTICAL EDGES. ONE PLYCE HIGH DENSITY FIBERBOARD CROSSBANDS WITH A FORMICA OR EQUAL HIGH PRESSURE LAMINATE FINISH, COLOR AND PATTERN AS NOTED ON PLANS.

VISION LITE: WOOD LIP MOLDING MATCHING LAMINATE VENEER PER AMV SECTION 1350.

MACHINING:





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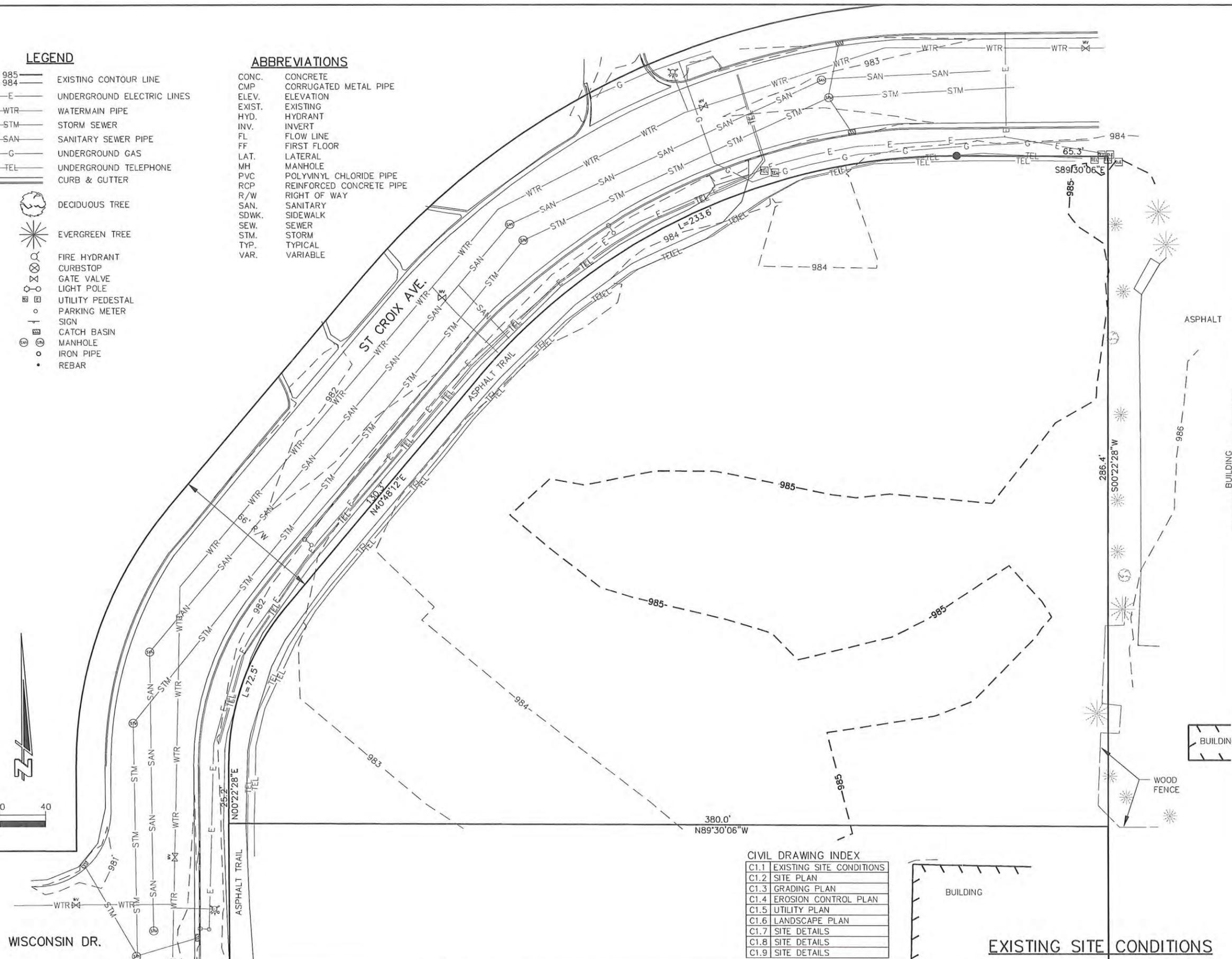
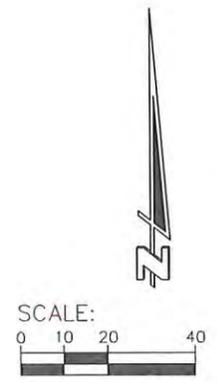
**LEGEND**

	985	EXISTING CONTOUR LINE
	984	EXISTING CONTOUR LINE
	E	UNDERGROUND ELECTRIC LINES
	WTR	WATERMAIN PIPE
	STM	STORM SEWER
	SAN	SANITARY SEWER PIPE
	G	UNDERGROUND GAS
	TEL	UNDERGROUND TELEPHONE
		CURB & GUTTER

- DECIDUOUS TREE
- EVERGREEN TREE
- FIRE HYDRANT
- CURBSTOP
- GATE VALVE
- LIGHT POLE
- UTILITY PEDESTAL
- PARKING METER
- SIGN
- CATCH BASIN
- MANHOLE
- IRON PIPE
- REBAR

**ABBREVIATIONS**

CONC.	CONCRETE
CMP	CORRUGATED METAL PIPE
ELEV.	ELEVATION
EXIST.	EXISTING
HYD.	HYDRANT
INV.	INVERT
FL	FLOW LINE
FF	FIRST FLOOR
LAT.	LATERAL
MH	MANHOLE
PVC	POLYVINYL CHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
R/W	RIGHT OF WAY
SAN.	SANITARY
SDWK.	SIDEWALK
SEW.	SEWER
STM.	STORM
TYP.	TYPICAL
VAR.	VARIABLE



**CIVIL DRAWING INDEX**

C1.1	EXISTING SITE CONDITIONS
C1.2	SITE PLAN
C1.3	GRADING PLAN
C1.4	EROSION CONTROL PLAN
C1.5	UTILITY PLAN
C1.6	LANDSCAPE PLAN
C1.7	SITE DETAILS
C1.8	SITE DETAILS
C1.9	SITE DETAILS

EXISTING SITE CONDITIONS

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**C1.1**

**NOTES:**

- \* ZONING Z7: SPECIFIC USE / INDUSTRIAL DISTRICT
- \* THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION & NOTIFY THE ENGINEER OF ANY DIFFERENCES.
- \* THE CONTRACTOR SHALL VERIFY ALL PLAN DIMENSIONS BEFORE INSTALLATION & NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- \* THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS WITH THE ARCHITECTURAL PLANS.
- \* THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS & SIZES OF ALL EXISTING UTILITIES.
- \* ALL DIMENSIONS ARE FROM THE FACE OF CURB WHERE APPLICABLE.
- \* 40 TOTAL PARKING STALLS AT 18'x9' INCLUDING 3 ACCESSIBLE STALLS.
- \* INSTALL ACCESSIBLE PARKING SIGNS AT ALL ACCESSIBLE PARKING STALLS AS PER STATE & FEDERAL ADA GUIDELINES.
- \* THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY CONSTRUCTION PERMITS.
- \* 4" WIDE YELLOW PARKING LOT STRIPING AS PER WIDOT SSHSC SECT. 646 & 647, NON EPOXY, SHALL BE INCIDENTAL TO ASPHALT PRICE.
- \* RADII ARE 5' UNLESS OTHERWISE NOTED.

**AREAS**

- \* LOT AREA, 85,341 SQ. FT. ±
- \* BUILDING AREA, 15,490 SQ. FT.
- \* IMPERVIOUS AREA, 30,240 SQ. FT.
- \* GREEN SPACE, 39,611 SQ. FT. (46.41%)

**REQUIRED PARKING STALLS**

- \* 1 STALL PER 2 EMPLOYEES ON LONGEST SHIFT PLUS 1 STALL PER 2000 SQ. FT. OF PRINCIPAL BUILDING
- 24 EMPLOYEES / 2 = 12
- 15,490 SQ. FT. / 2000 = 8
- REQUIRED STALLS = 20
- \* 40 STALL PROVIDED

REMOVE EXIST. BARRIER CURB & GUTTER TO NEAREST JOINT, REPLACE W/ DRIVEWAY CURB & GUTTER, MAINTAIN EXIST. FLOW LINE. REMOVE & REPLACE AGG. BASE & ASPHALT IN KIND.

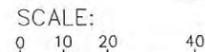
REMOVE EXIST. BARRIER CURB & GUTTER TO NEAREST JOINT, REPLACE W/ DRIVEWAY CURB & GUTTER, MAINTAIN EXIST. FLOW LINE. REMOVE & REPLACE AGG. BASE & ASPHALT IN KIND.

REMOVE & REPLACE ASPHALT & BASE ON TRAIL AS PER DETAIL, SAWCUT EXIST. ASPHALT, TYP.

REMOVE & REPLACE ASPHALT & BASE ON TRAIL AS PER DETAIL, SAWCUT EXIST. ASPHALT, TYP.

REMOVE EXIST. BARRIER CURB & GUTTER TO NEAREST JOINT, REPLACE W/ DRIVEWAY CURB & GUTTER, MAINTAIN EXIST. FLOW LINE. REMOVE & REPLACE AGG. BASE & ASPHALT IN KIND.

ENTER ONLY SIGN



WISCONSIN DR.

SITE PLAN

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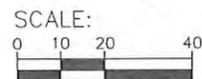
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**NOTES:**

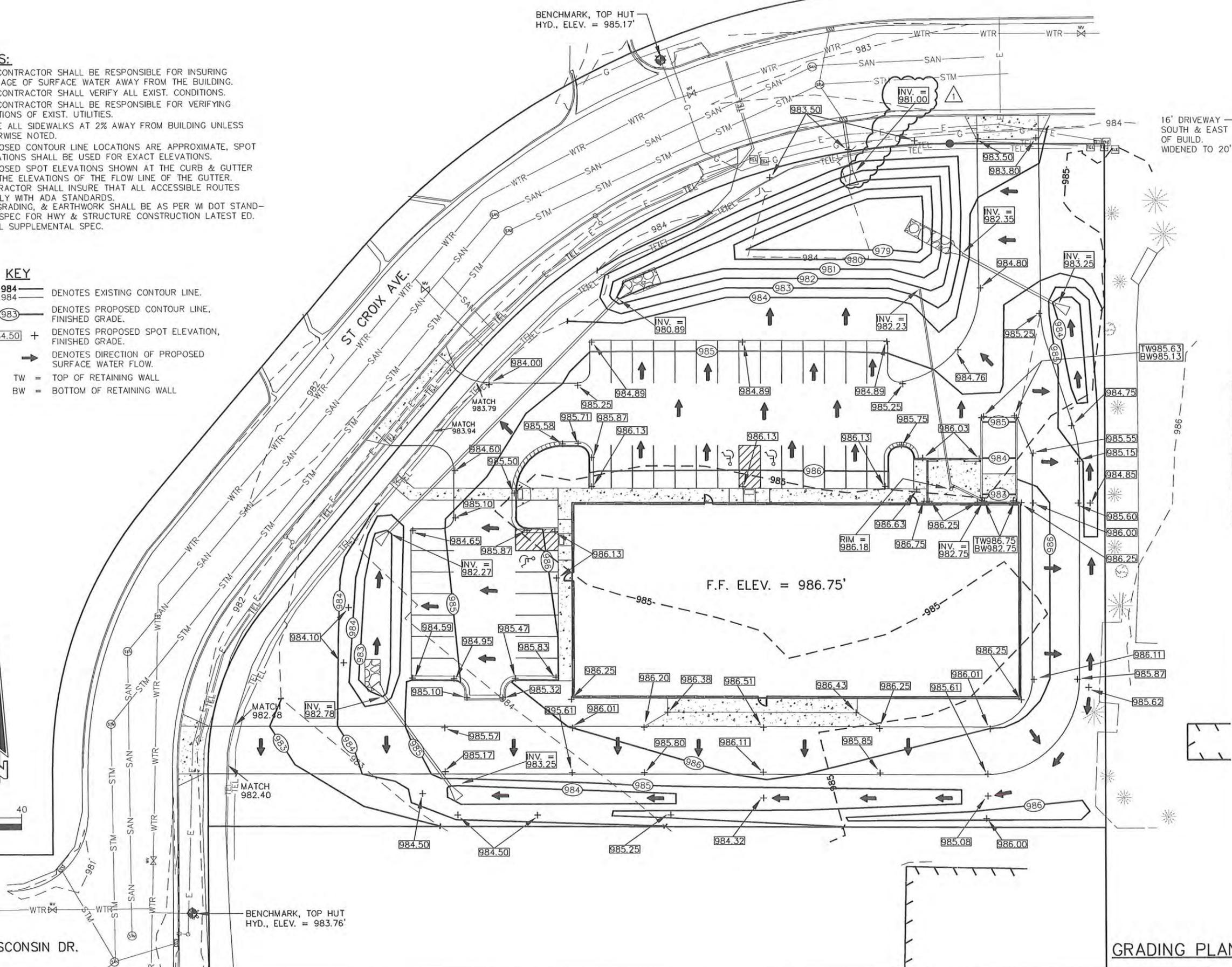
- \* THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING DRAINAGE OF SURFACE WATER AWAY FROM THE BUILDING.
- \* THE CONTRACTOR SHALL VERIFY ALL EXIST. CONDITIONS.
- \* THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF EXIST. UTILITIES.
- \* SLOPE ALL SIDEWALKS AT 2% AWAY FROM BUILDING UNLESS OTHERWISE NOTED.
- \* PROPOSED CONTOUR LINE LOCATIONS ARE APPROXIMATE, SPOT ELEVATIONS SHALL BE USED FOR EXACT ELEVATIONS.
- \* PROPOSED SPOT ELEVATIONS SHOWN AT THE CURB & GUTTER ARE THE ELEVATIONS OF THE FLOW LINE OF THE GUTTER.
- \* CONTRACTOR SHALL INSURE THAT ALL ACCESSIBLE ROUTES COMPLY WITH ADA STANDARDS.
- \* ALL GRADING, & EARTHWORK SHALL BE AS PER W DOT STANDARD SPEC FOR HWY & STRUCTURE CONSTRUCTION LATEST ED. & ALL SUPPLEMENTAL SPEC.

**KEY**

- 984 ——— DENOTES EXISTING CONTOUR LINE.
- 984 ——— DENOTES PROPOSED CONTOUR LINE, FINISHED GRADE.
- 984.50 + DENOTES PROPOSED SPOT ELEVATION, FINISHED GRADE.
- DENOTES DIRECTION OF PROPOSED SURFACE WATER FLOW.
- TW = TOP OF RETAINING WALL
- BW = BOTTOM OF RETAINING WALL



WISCONSIN DR.



GRADING PLAN

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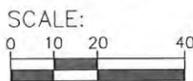
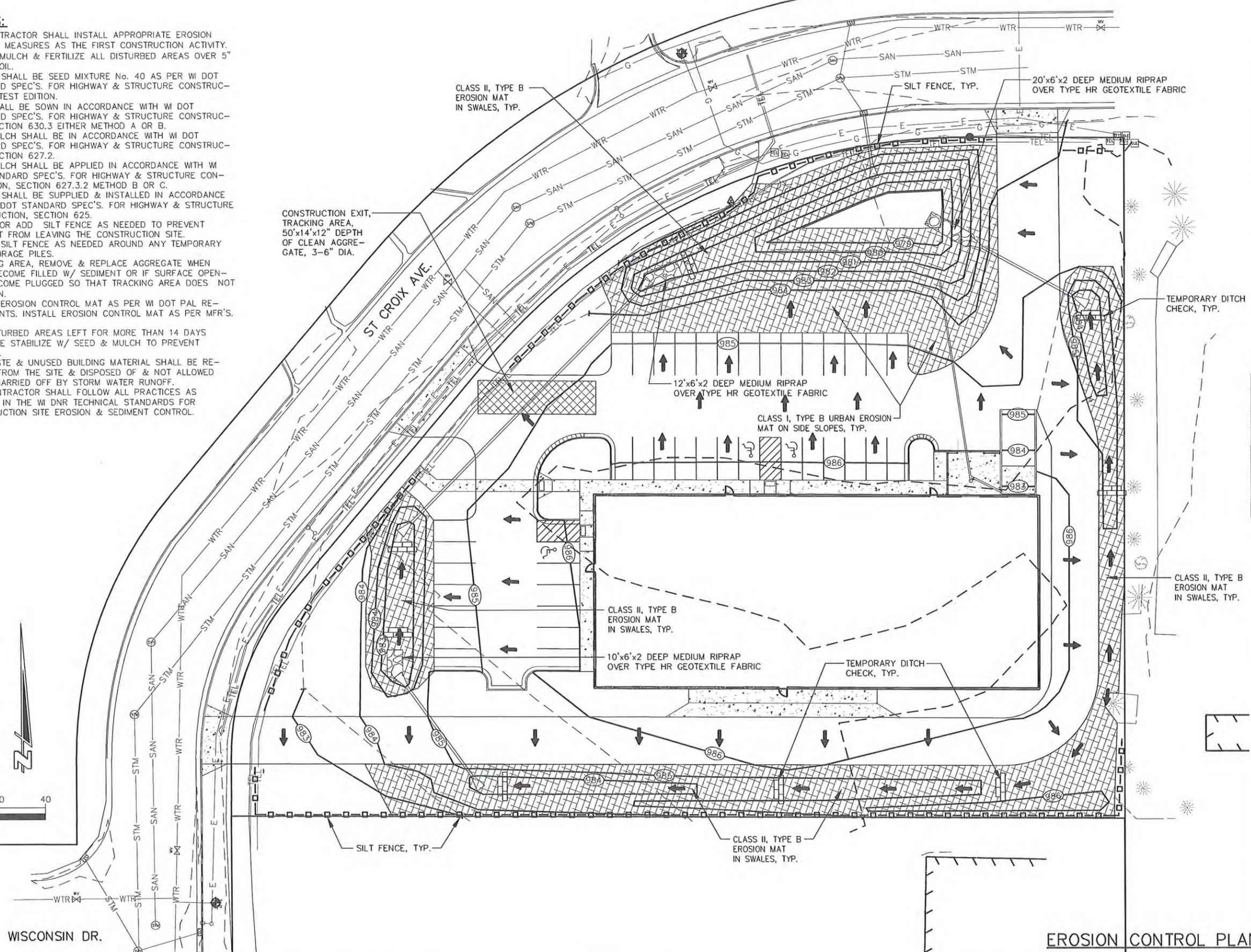
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**NOTES:**

- THE CONTRACTOR SHALL INSTALL APPROPRIATE EROSION CONTROL MEASURES AS THE FIRST CONSTRUCTION ACTIVITY.
- SEED & MULCH & FERTILIZE ALL DISTURBED AREAS OVER 5" OF TOPSOIL.
- SEEDING SHALL BE SEED MIXTURE No. 40 AS PER WI DOT STANDARD SPEC'S. FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION.
- SEED SHALL BE SOWN IN ACCORDANCE WITH WI DOT STANDARD SPEC'S. FOR HIGHWAY & STRUCTURE CONSTRUCTION, SECTION 630.3 EITHER METHOD A OR B.
- SEED MULCH SHALL BE IN ACCORDANCE WITH WI DOT STANDARD SPEC'S. FOR HIGHWAY & STRUCTURE CONSTRUCTION, SECTION 627.2.
- SEED MULCH SHALL BE APPLIED IN ACCORDANCE WITH WI DOT STANDARD SPEC'S. FOR HIGHWAY & STRUCTURE CONSTRUCTION, SECTION 627.3.2 METHOD B OR C.
- TOPSOIL SHALL BE SUPPLIED & INSTALLED IN ACCORDANCE WITH WI DOT STANDARD SPEC'S. FOR HIGHWAY & STRUCTURE CONSTRUCTION, SECTION 625.
- ADJUST OR ADD SILT FENCE AS NEEDED TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION SITE.
- INSTALL SILT FENCE AS NEEDED AROUND ANY TEMPORARY SOIL STORAGE PILES.
- TRACKING AREA, REMOVE & REPLACE AGGREGATE WHEN VOIDS BECOME FILLED W/ SEDIMENT OR IF SURFACE OPENINGS BECOME PLUGGED SO THAT TRACKING AREA DOES NOT FUNCTION.
- SUPPLY EROSION CONTROL MAT AS PER WI DOT PAL REQUIREMENTS. INSTALL EROSION CONTROL MAT AS PER MFR'S SPEC'S.
- ALL DISTURBED AREAS LEFT FOR MORE THAN 14 DAYS SHALL BE STABILIZE W/ SEED & MULCH TO PREVENT EROSION.
- ALL WASTE & UNUSED BUILDING MATERIAL SHALL BE REMOVED FROM THE SITE & DISPOSED OF & NOT ALLOWED TO BE CARRIED OFF BY STORM WATER RUNOFF.
- THE CONTRACTOR SHALL FOLLOW ALL PRACTICES AS DEFINED IN THE WI DNR TECHNICAL STANDARDS FOR CONSTRUCTION SITE EROSION & SEDIMENT CONTROL.



WISCONSIN DR.

EROSION CONTROL PLAN

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**NOTES:**

- \* CONTRACTOR SHALL LOCATE ALL EXIST. UTILITIES IN & AROUND CONSTRUCTION AREA.
- \* CONTRACTOR SHALL FIELD VERIFY DEPTHS, LOCATIONS & SIZES OF ALL EXIST. UTILITIES, LOCATIONS ARE APPROXIMATE.
- \* 12" STORM SEWER PIPE SHALL BE REINFORCED CONCRETE, CLASS 5.
- \* ALL PVC SANITARY SEWER PIPES SHALL BE SDR. 35.
- \* ALL PVC STORM SEWER PIPES SHALL BE SCH. 40.
- \* CONTRACTOR SHALL COORDINATE SEW. & WTR. CONNECTIONS WITH MUNICIPALITY.
- \* IF THE WATERMAIN OR WATER LATERAL PIPE CROSSING A SEWER PIPE IS BELOW THE SEWER PIPE, THERE SHALL BE AN 18" MIN. SEPARATION, IF THE WATER PIPE IS ABOVE THE SEWER PIPE, THERE SHALL BE A 12" MIN. SEPARATION.
- \* CONTRACTOR SHALL MAINTAIN A MIN. OF 7.5' COVER OVER TOP OF WATER LATERAL.
- \* INSTALL 12 GAUGE SOLID COPPER TRACER WIRE W/ PLASTIC COATING ON TOP OF ALL PLASTIC SEWER & WATER PIPES.
- \* TRACER WIRE SHALL BE ATTACHED TO PLASTIC PIPE EVERY 10 FT. & AT EVERY BEND.
- \* SPLICES IN TRACER WIRE SHALL BE MADE W/ SPLIT BOLT OR COMPRESSION-TYPE CONNECTORS. ALL SPLICES SHALL BE WATER PROOF.
- \* TRACER WIRE SHALL HAVE ACCESS POINTS TO GRADE AT A MIN. OF EVERY 300' W/ VAULTS, CLEANOUTS, MANHOLES, VALVE BOXES OR OTHER COVERED ACCESS.
- \* CONTRACTOR SHALL VERIFY LOCATIONS & ELEVATIONS FOR ALL UTILITY CROSSINGS (EXIST. & PROP.) TO ELIMINATE POSSIBLE CONFLICTS. REPORT ANY CONFLICTS TO ENGINEER IMMEDIATELY.
- \* ALL ELECTRIC, TELEPHONE & GAS SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY CO. SPECS. LOCATIONS SHALL BE COORDINATED W/ APPROPRIATE UTILITY CO.
- \* ALL UTILITIES SHALL BE INSTALLED ACCORDING TO STATE & LOCAL REQUIREMENTS, WI DOT STANDARD SPEC FOR HWY & STRUCTURE CONSTRUCTION LATEST ED. & ALL SUPPLEMENTALS & STANDARD SPEC FOR SEWER & WATER CONST. IN WI LATEST ED. INCLUDING ALL ADDENDUMS & REVISIONS.
- \* INSTALL TRAFFIC CONTROL & TEMP. DETOUR AS PER MUTCD & MUNICIPALITIES REQUIREMENTS.
- \* THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICABLE LOCAL & STATE PERMITS AND PERMITS FEES.
- \* WHEN WORKING ON AN EXISTING INLET OR MANHOLE THE CONTRACTOR SHALL ASSURE THAT THE INLET OR MANHOLE IS COMPLETELY SEALED TO PREVENT LEAKAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REQUIRED REPAIRS TO THE EXISTING INLETS OR MANHOLES IF REQUIRED.

REMOVE & REPLACE EXIST. TRAIL ASPHALT & BASE IN KING AS REQ'D FOR SEW. & WTR. LATERAL INSTALLATION

CONNECT TO EXIST. SAN. SEW. STUB, CONSTRUCT MANHOLE, VERIFY DEPTH, SIZE & LOCATION

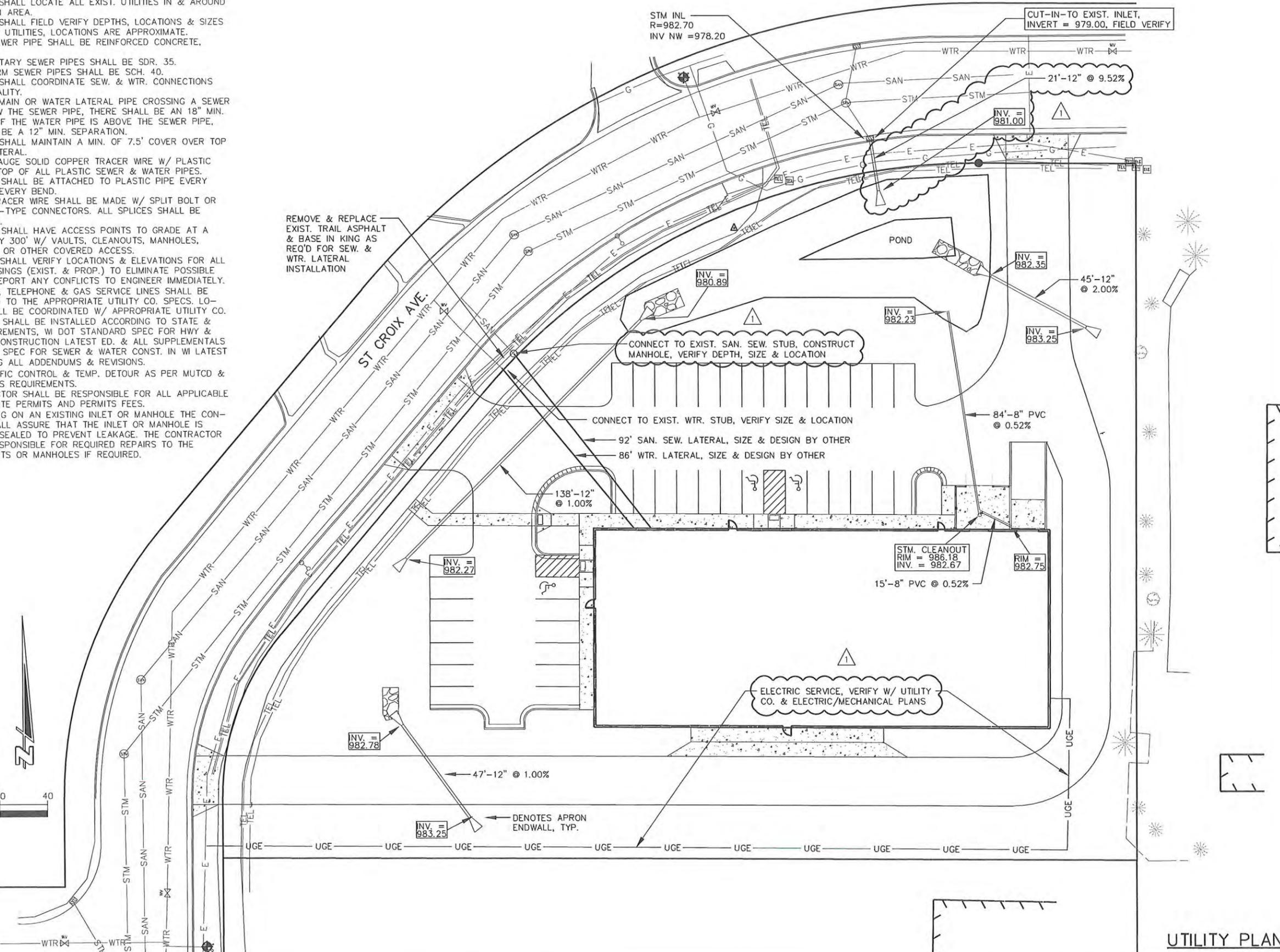
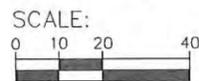
CONNECT TO EXIST. WTR. STUB, VERIFY SIZE & LOCATION

92' SAN. SEW. LATERAL, SIZE & DESIGN BY OTHER

86' WTR. LATERAL, SIZE & DESIGN BY OTHER

ELECTRIC SERVICE, VERIFY W/ UTILITY CO. & ELECTRIC/MECHANICAL PLANS

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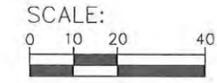
UTILITY PLAN

**PLANTING SCHEDULE**

KEY	QTY.	COMMON NAME	BOTANIC NAME	SIZE	ROOT	REMARKS
ABM	1	AUTUMN BLAZE MAPLE	ACER x FREEMANII 'JEFFERSRED'	3,1/2" DIA.	B&B	FULL
GS	1	GREENSPIRE LINDEN	TILIA CORDATA 'GREENSPIRE'	2,1/2" DIA.	B&B	FULL
SH	1	SKYLINE HONEYLOCUST	GLEDITSIA TRIACANTHOS INTERMIS 'SKYCOLE'	2,1/2" DIA.	B&B	FULL
HB	1	HACKBERRY	CELTIS OCCIDENTALIS	3,1/2" DIA.	B&B	FULL
HB	1	HACKBERRY	CELTIS OCCIDENTALIS	2,1/2" DIA.	B&B	FULL
NRO	1	NORTHERN RED OAK	QUERCUS RUBRA	2,1/2" DIA.	B&B	FULL
BHS	10	BLACK HILLS SPRUCE	PICEA GLAUCA DENSATA	6" HT.	B&B	FULL
AJ	4	ANDORRA JUNIPER	JUNIPERUS HORIZONTALIS 'COMPACTA'	18" SP.	#5 CONT.	FULL
AW	10	ANTHONY WATERER SPIREA	SPIREA x BUMALDA 'ANTHONY WATERER'	18" HT.	#3 CONT.	FULL
GFS	5	GOLDFLAME SPIREA	SPIREA x BUMALDA 'GOLDFLAME'	12" HT.	#3 CONT.	FULL

**REQUIRED TREES**

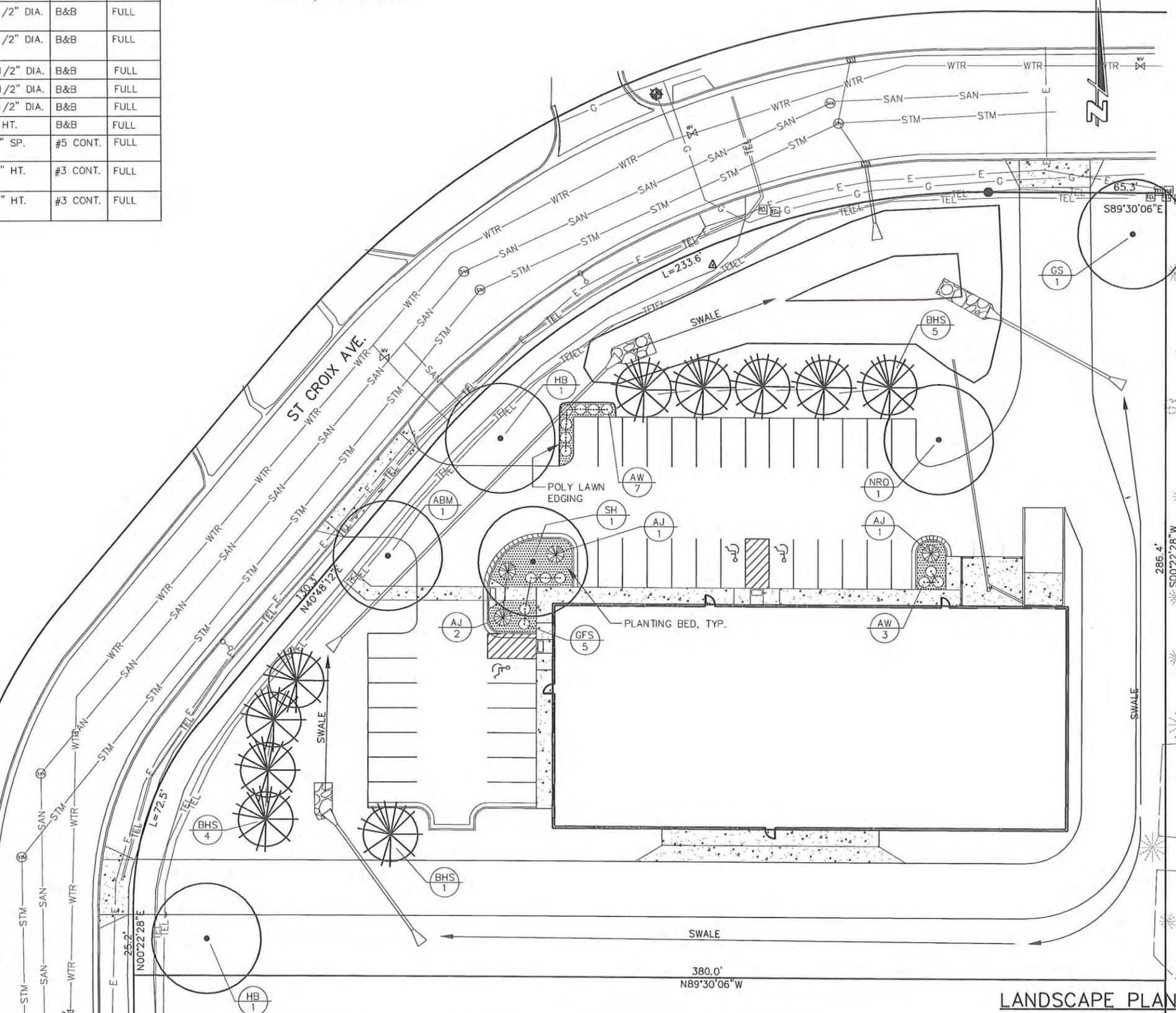
\* 1 TREE / 100 L.FT. OF LOT PERIMETER  
 - 1193.47 / 100 = 12 REQ'D.



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**NOTES:**

- \* THE CONTRACTOR SHALL VERIFY ALL EXIST. CONDITIONS.
- \* THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF EXIST. UTILITIES.
- \* USE GEOTEXTILE FABRIC WEED BARRIER UNDER ALL PLANTING BED MULCH UNLESS OTHERWISE NOTED. FABRIC WEED BARRIER SHALL CONFORM TO W DOT SSHSC SECT. 632.
- \* USE 1-1/2" WASHED AGGREGATE STONE MULCH IN PLANTING BEDS, 3" DEPTH. STONE MULCH SHALL BE CLEAN, & FREE FROM DELETERIOUS MATERIALS, STICKS, STONES, NOXIOUS WEEDS, SALT & FINE SILTS, CLAYS OR TOPSOIL.
- \* USE SHREDDED BARK MULCH AT ALL SINGULARLY PLANTED TREES, MIN. 3" DEPTH, 4' DIA.
- \* TOP OF MULCH IN PLANTING BEDS SHALL BE EVEN W/ TOP OF SURROUNDING SURFACES.
- \* IF DISCREPANCIES OCCUR, PLANT QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER PLANTING SCHEDULE.
- \* ALL PLANTS SHALL BE "SPECIMEN GRADE" AS PER AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
- \* ALL PLANT MATERIAL SHALL HAVE A ONE YEAR WARRANTY AGAINST DEATH & UNHEALTHY CONDITION, EXCEPT AS A RESULT OF NEGLIGENCE BY OWNER, DAMAGE BY OTHERS & UNUSUAL PHENOMENA BEYOND CONTRACTOR'S CONTROL. PLANT WARRANTY SHALL BEGIN ON THE DATE OF FINAL ACCEPTANCE OF THE PROJECT.
- \* ALL PLANTS SHALL CONFORM TO THE VARIETIES SPECIFIED IN THE PLANT LIST & SHALL BE TRUE TO BOTANICAL NAME AS IN HORTUS THIRDS.
- \* ALL PLANTS INCLUDING THEIR ROOTS SHALL BE FREE FROM DISEASE INSECTS & OTHER INJURIOUS QUALITIES & SHALL BE WELL FORMED, FULL, IN A HEALTHY VIGOROUS GROWING CONDITION, REAR OR AT SPECIMEN QUALITY.
- \* ANY ADDITIONAL TOPSOIL NEEDED FOR INSTALLING THE TREES & SHRUBS AS PER THE PLANTING DETAIL SHALL BE CONSIDERED INCIDENTAL TO THE PLANT MATERIAL PRICE.
- \* TOPSOIL SHALL CONSIST OF A HUMUS-BEARING LOAM ADAPTED TO SUSTAIN VIGOROUS GRASS GROWTH FREE FROM DELETERIOUS MATERIALS W/ A Ph RANGE OF 6.0 TO 7.0. TOPSOIL NOT MEETING THESE REQUIREMENTS SHALL BE AMENDED AT NO ADDITIONAL COST.
- \* SHREDDED BARK MULCH SHALL BE FRESHLY SHREDDED HARDWOOD BARK FREE FROM DELETERIOUS MATERIALS, STICKS, STONES, NOXIOUS WEEDS, SALT & OTHER MATERIALS HARMFUL TO PLANT GROWTH. SHREDDED BARK MULCH SHALL BE EITHER COMPOSTED OR TREATED WITH NITROGEN TO COMPENSATE FOR SUCH LOSS IN DECOMPOSITION.
- \* ANY PLANTS DELIVERED TO THE PROJECT SITE THAT ARE NOT INSTALLED THE SAME DAY SHALL BE "HEALED IN" W/ TOPSOIL, WOOD CHIPS, SHREDDED BARK, OR SAWDUST & ADEQUATELY WATERED UNTIL SUCH TIME THE PLANTS CAN BE INSTALLED.
- \* CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING ALL PLANT MATERIAL INCLUDING GRASS OR SOD FOR TWO WEEKS AFTER FINAL ACCEPTANCE OF PROJECT. WATER SHALL BE PROVIDED IN AN ADEQUATE AMOUNT TO SUSTAIN VIGOROUS PLANT GROWTH.



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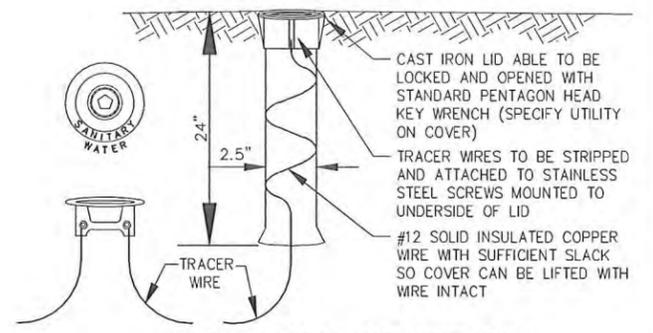
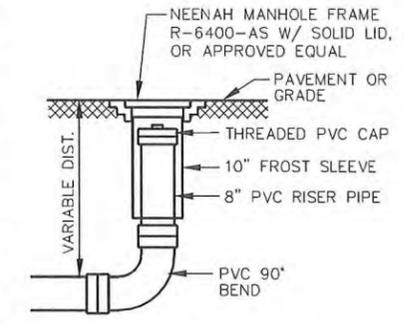
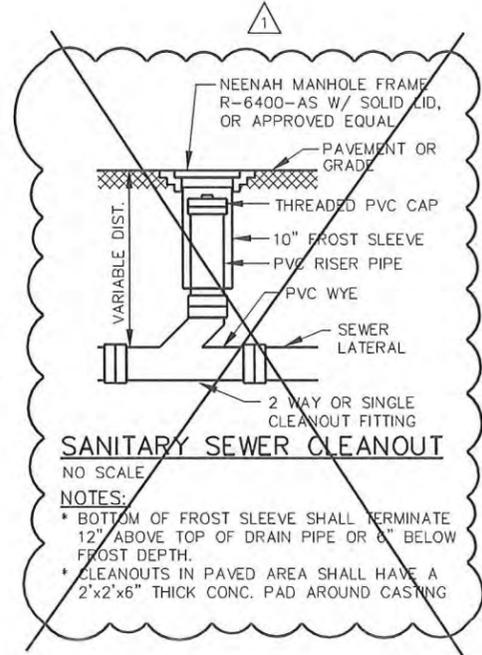
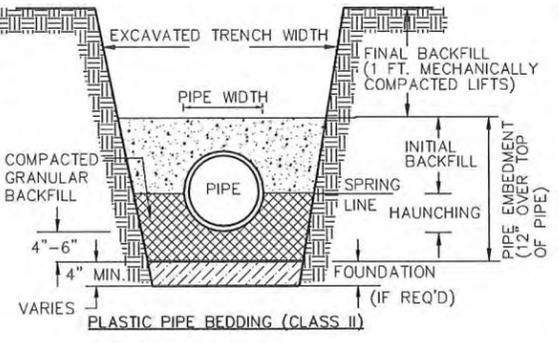
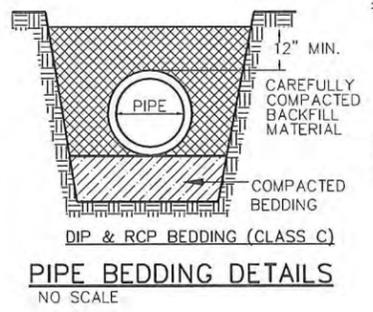
2820 Wilson Commons West  
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**NEW RICHMOND ESR BUILDING**  
 FOR: ROSS ASSOCIATES  
 ST. CROIX AVENUE  
 NEW RICHMOND, WISCONSIN

SHEET NO.  
**C1.6**

**LANDSCAPE PLAN**



**PIPE BEDDING DETAILS**  
NO SCALE

**SANITARY SEWER CLEANOUT**  
NO SCALE

**STORM SEWER CLEANOUT**  
NO SCALE

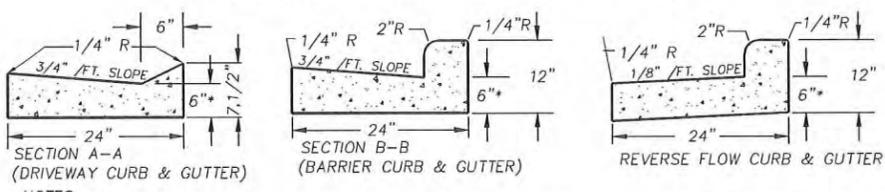
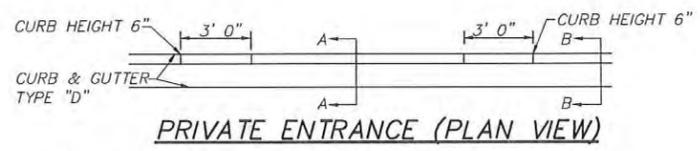
**TRACER WIRE ACCESS BOX**  
NO SCALE

**TRACER WIRE & ACCESS BOX NOTES**

- \* TRACER WIRE SHALL BE ATTACHED TO ALL PLASTIC PIPE EVERY 10 FT. & AT EVERY BEND.
- \* SPLICES IN TRACER WIRE SHALL BE MADE W/ SPLIT BOLT OR COMPRESSION-TYPE CONNECTORS. ALL SPLICES SHALL BE WATER PROOF.
- \* TRACER WIRE SHALL HAVE ACCESS POINTS TO GRADE AT A MIN. OF EVERY 300' W/ VAULTS, CLEANOUTS, MANHOLES, VALVE BOXES OR OTHER COVERED ACCESS.
- \* TRACER WIRE AND ACCESS BOX SHALL BE SUPPLIED AND INSTALLED AS PER WI COMM. 82.30(11)(h) LOCATING REQUIREMENTS.

- NOTES:**
- \* BOTTOM OF FROST SLEEVE SHALL TERMINATE 12" ABOVE TOP OF DRAIN PIPE OR 6" BELOW FROST DEPTH.
  - \* CLEANOUTS IN PAVED AREA SHALL HAVE A 2'x2'x6" THICK CONC. PAD AROUND CASTING

- NOTES:**
- \* BOTTOM OF FROST SLEEVE SHALL TERMINATE 12" ABOVE TOP OF DRAIN PIPE OR 6" BELOW FROST DEPTH.
  - \* CLEANOUTS IN PAVED AREA SHALL HAVE A 2'x2'x6" THICK CONC. PAD AROUND CASTING

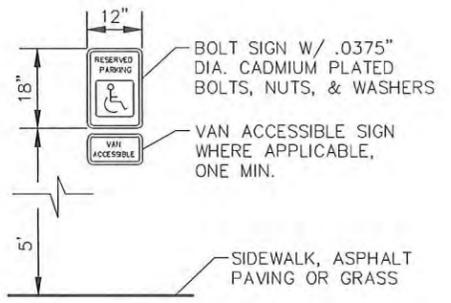


**SECTION B-B (BARRIER CURB & GUTTER)**

**REVERSE FLOW CURB & GUTTER**

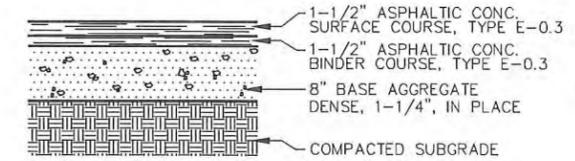
- NOTES:**
- \* THE BOTTOM OF THE CURB AND GUTTER MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE OR BASE COURSE, PROVIDING A 6" MIN. DEPTH GUTTER THICKNESS IS MAINTAINED.
  - \* INSTALL CURB & GUTTER ON 6" DEPTH OF COMPACTED AGGREGATE BASE.
  - \* THE NEW CURB & GUTTER @ THE EXISTING STREETS SHALL MEET & EQUAL EXISTING CURB & GUTTER.

**24" CURB & GUTTER** NO SCALE



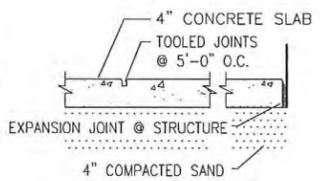
**ACCESSIBLE PARKING SIGN**  
NO SCALE

- NOTES:**
- \* SIGN SHALL COMPLY W/ CURRENT STATE & ADA GUIDELINES.
  - \* BOLT SIGN TO BUILDING.



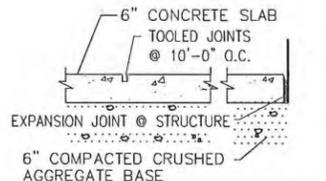
**ASPHALT TYPICAL SECTION**  
NO SCALE

- NOTE:** ASPHALT, BASE COURSE & COMPACTION SHALL BE SUPPLIED & INSTALLED AS PER WI DOT STANDARD SPEC. FOR HWY & STRUCTURE CONSTRUCTION, LATEST ED.



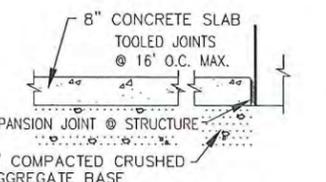
**4\"/>**

- NOTE:** USE 1/2" FELT JOINT WHERE CONC. MEETS BUILDING.



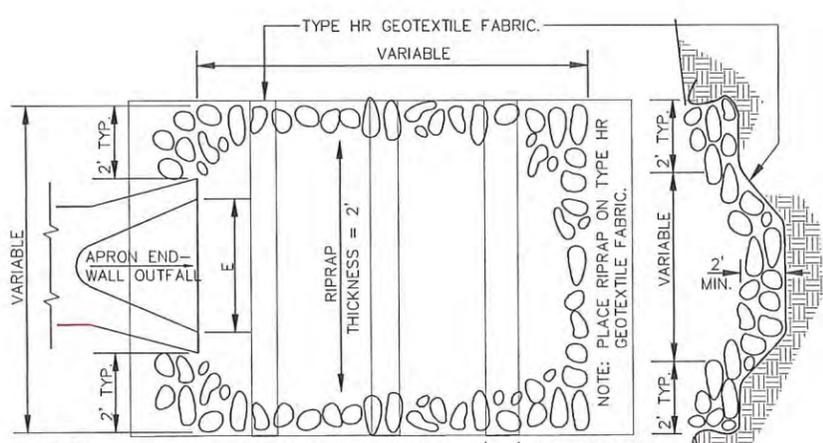
**6\"/>**

- NOTE:** NO SCALE  
\* 6" CONC. SHALL HAVE 10"x10"-W2.9x W2.9 OR 6"x6"-W2.9xW2.9 WIRE MESH MAINTAIN 3" COVER OVER MESH.



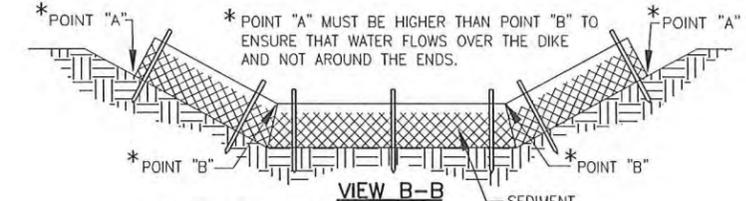
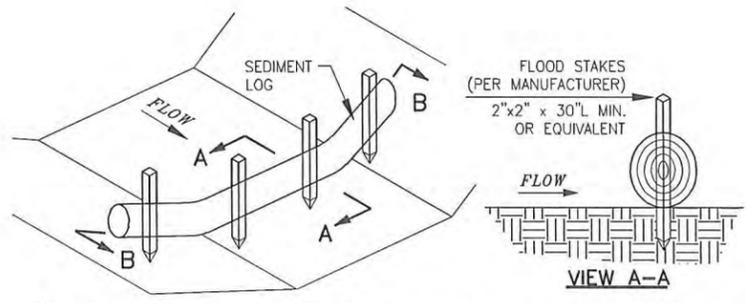
**8\"/>**

- NOTE:** \* 8" CONC. SHALL HAVE 10"x10"-W2.9x W2.9 OR 6"x6"-W2.9xW2.9 WIRE MESH MAINTAIN 3" COVER OVER MESH.  
\* USE 1/2" FELT JOINT WHERE CONC. MEETS BUILDING OR STRUCTURE.

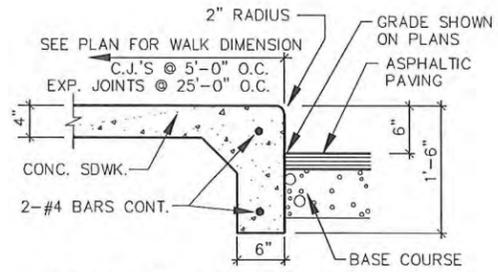


**TYPICAL PLACEMENT OF RIPRAP AT CULVERT DISCHARGE**  
NO SCALE

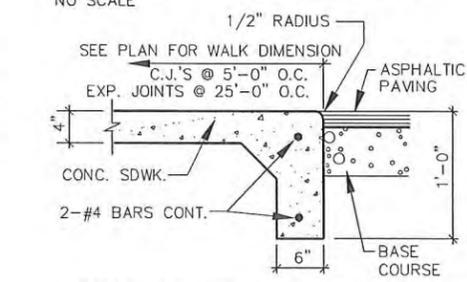
- NOTES:**
- \* RIPRAP & GEOTEXTILE FABRIC SHALL BE SUPPLIED & INSTALLED AS PER WI DOT STANDARD SPEC'S. FOR HIGHWAY & STRUCTURE CONSTRUCTION.
  - \* TIE APRON ENDWALL & LAST 2 PIPE SECTIONS TOGETHER, MIN. 2 TIES PER SECTION.
  - \* INSTALL APRON ENDWALLS AT ALL PIPE OUTFALLS.



**TEMPORARY DITCH CHECK**  
NO SCALE



**SIDEWALK CURB DETAIL**  
NO SCALE



**SIDEWALK EDGE DETAIL**  
NO SCALE

**SITE DETAILS**

JOB NO.	1051-53
BOOK NO.	N/A
DRAWN BY	D B
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DATE	JUNE 2016
REVISIONS	AUG. 9, 2016
REFERENCE FILE	
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FAX 920-351-5824

604 Wilson Ave. 54751  
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FAX 715-235-2727

**NEW RICHMOND ESR BUILDING**  
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ST. CROIX AVENUE  
NEW RICHMOND, WISCONSIN

SHEET NO.  
**C1.7**

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DATE	JUNE 2016
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REFERENCE FILE	
DRAWING FILE	00base_10510053.dwg

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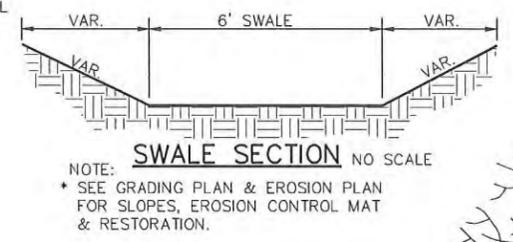
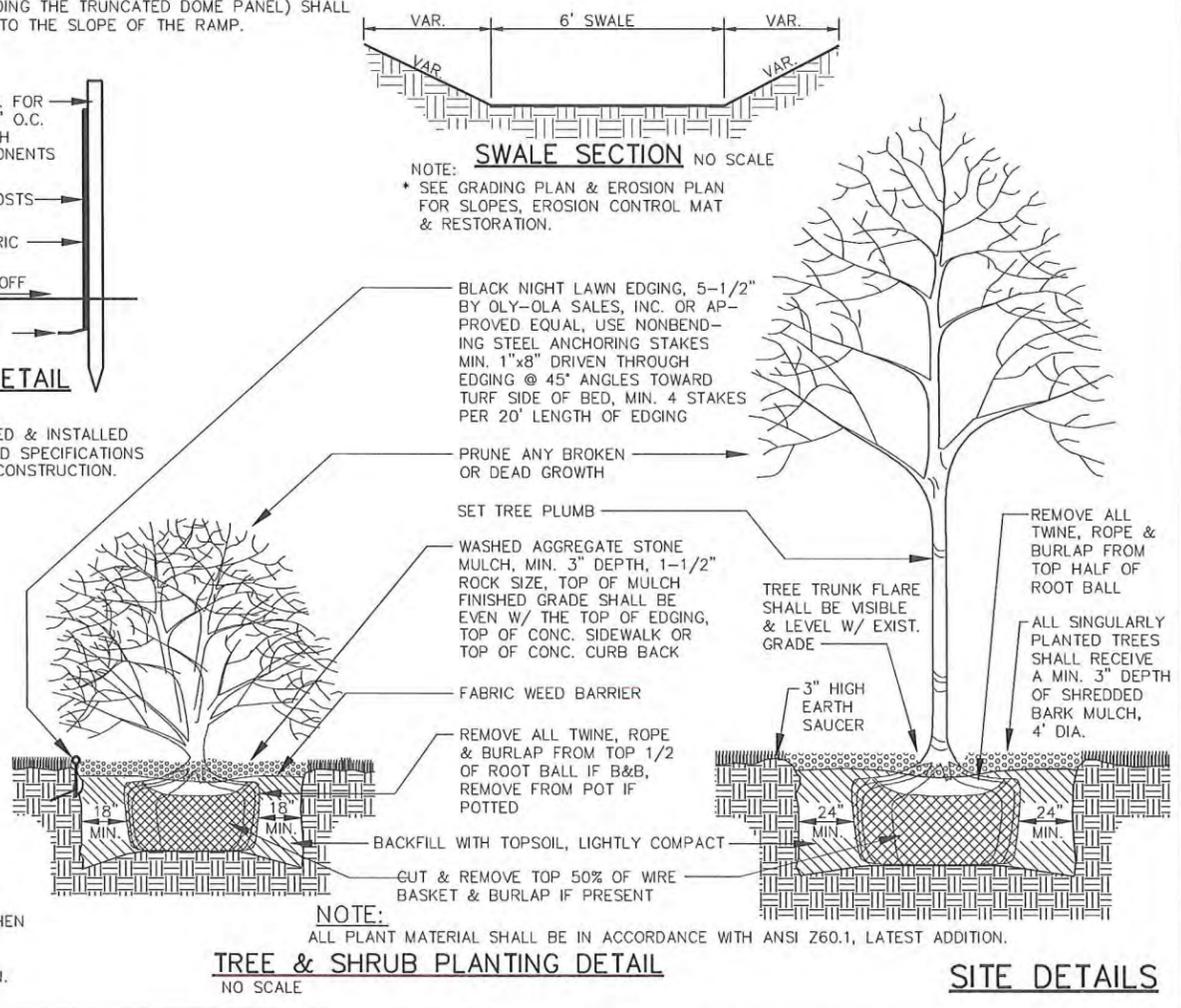
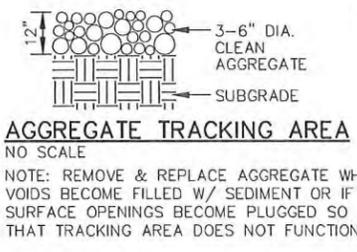
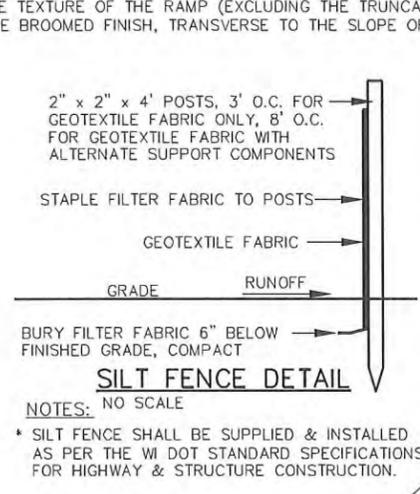
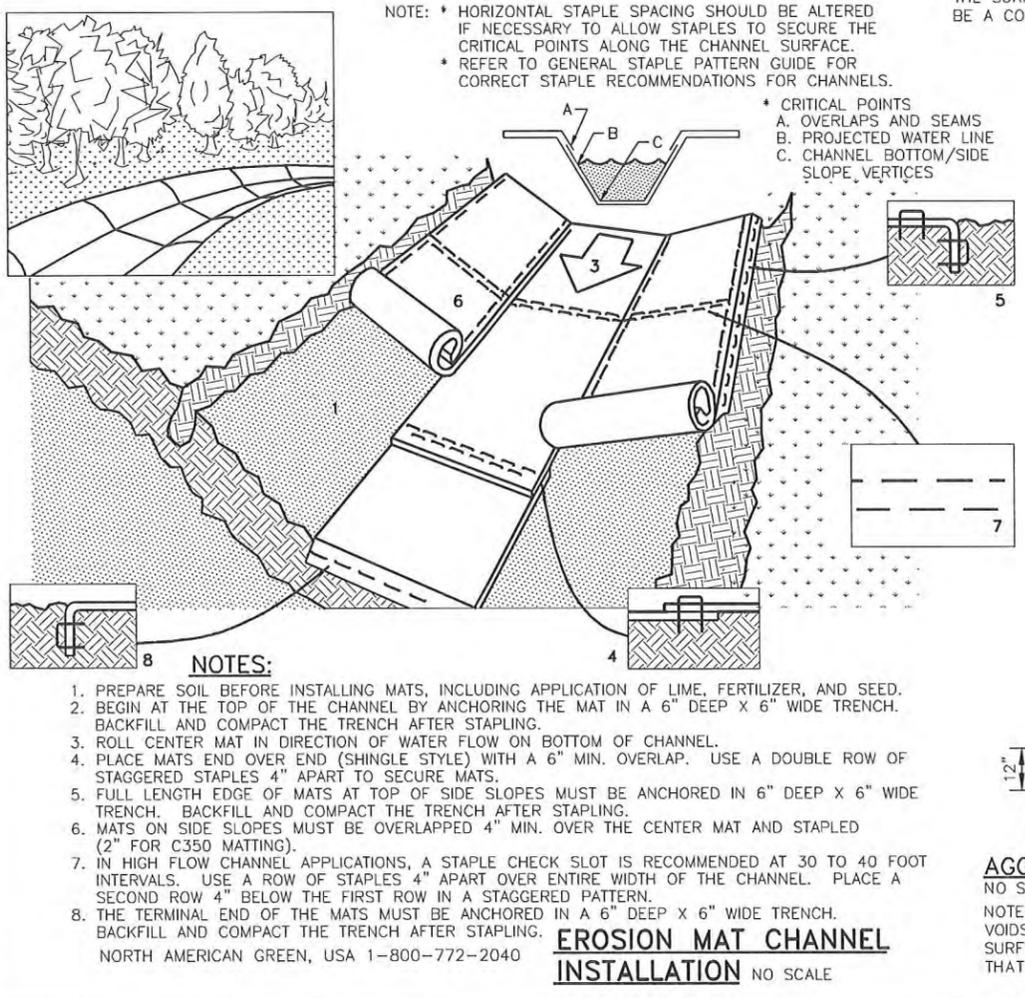
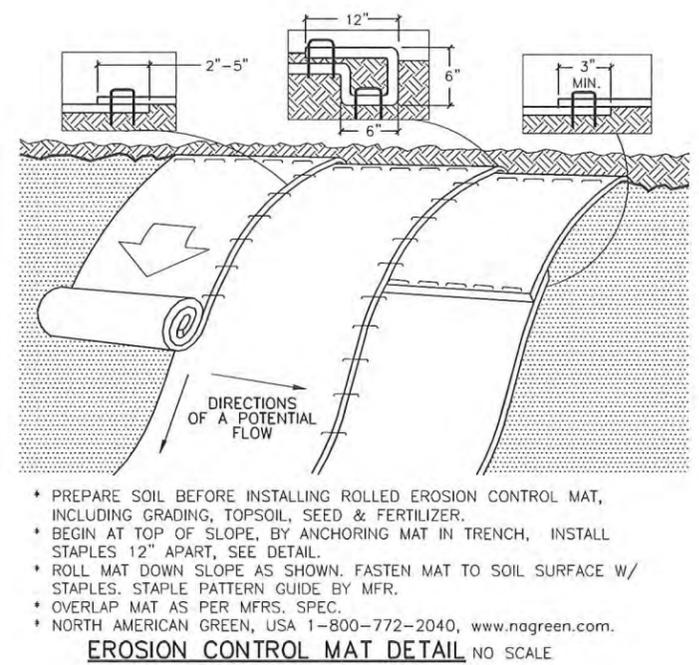
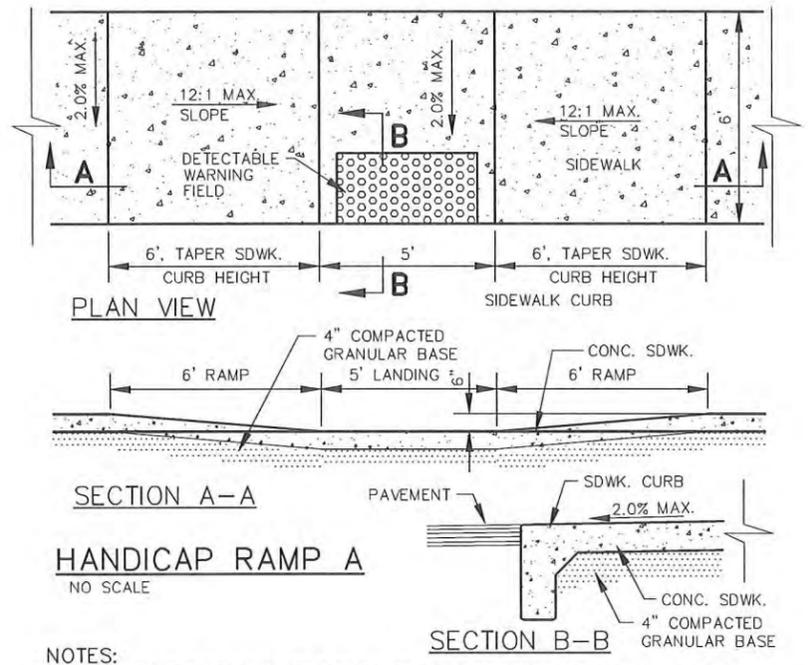
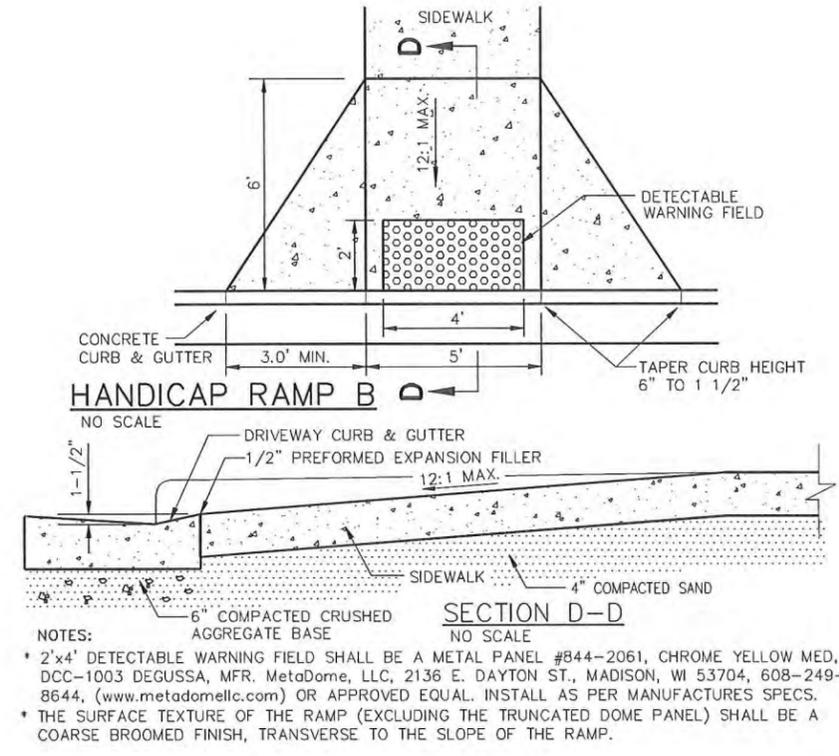
2820 Walter Commons West  
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 608-354-0037  
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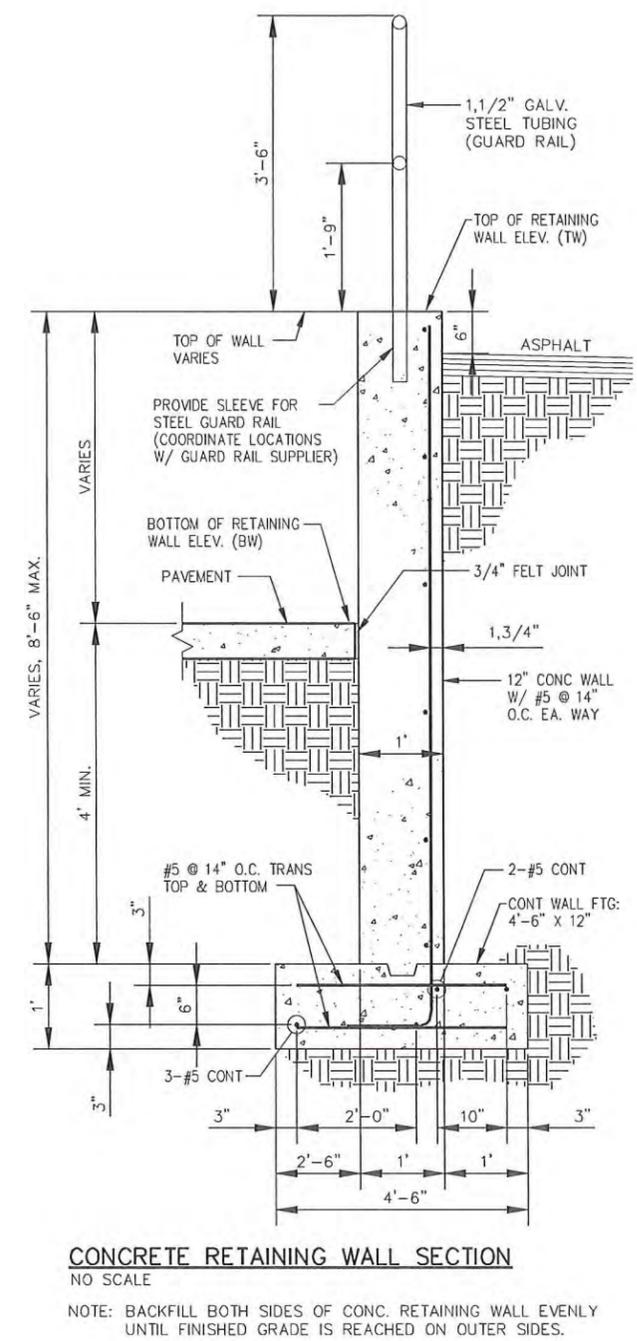
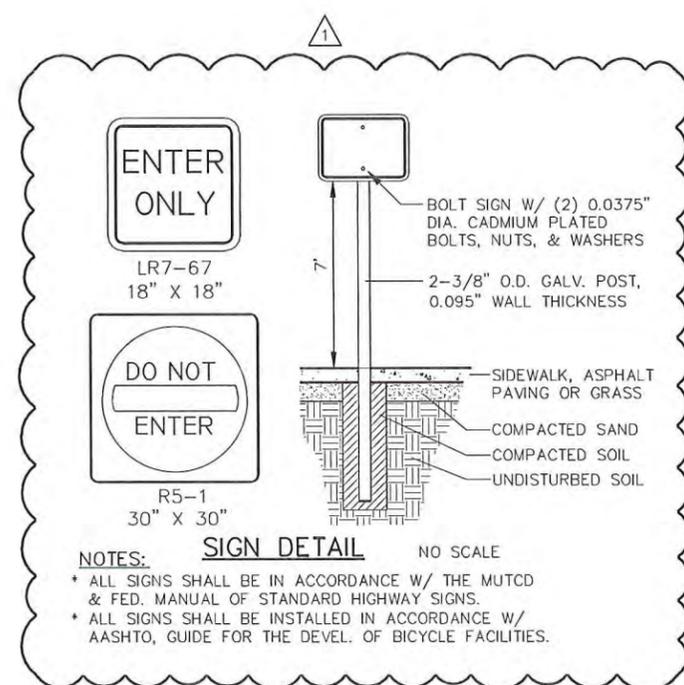
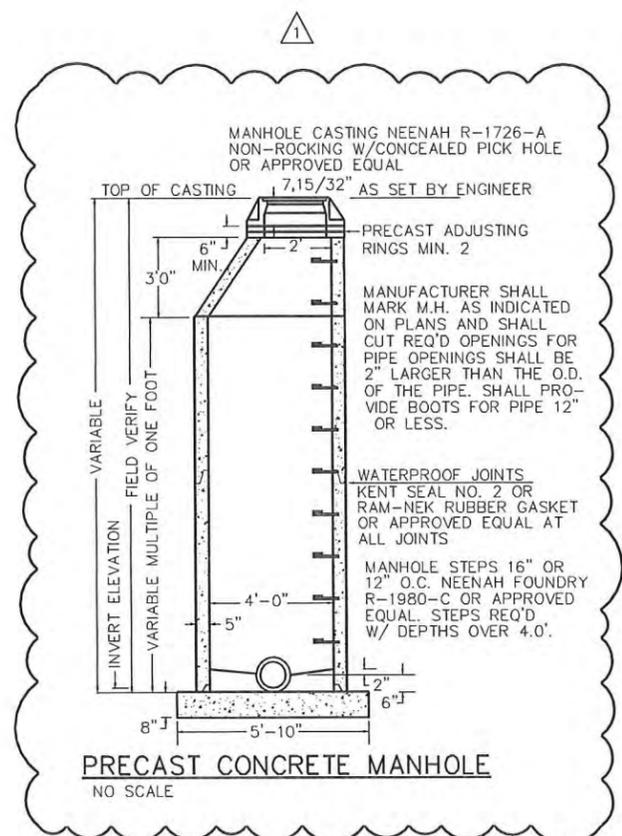
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SITE DETAILS

JOB NO.	1051-53
BOOK NO.	N/A
DRAWN BY	D B
CHECKED BY	KRO
DATE	JUNE 2016
REVISIONS	1 AUG. 9, 2016
REFERENCE FILE	
DRAWING FILE	00base_10510053.dwg

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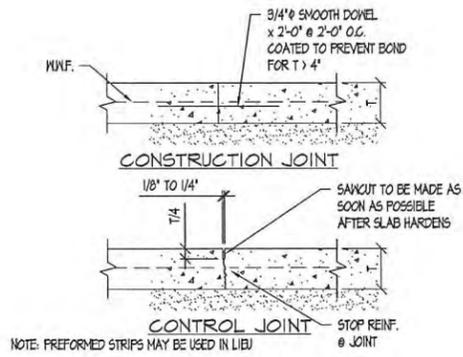




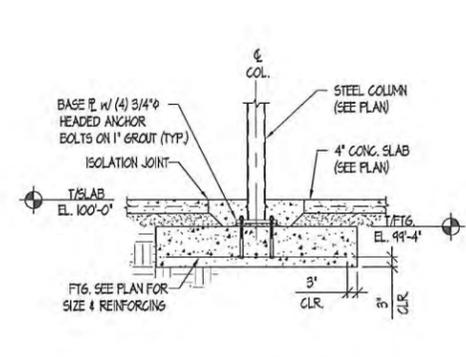




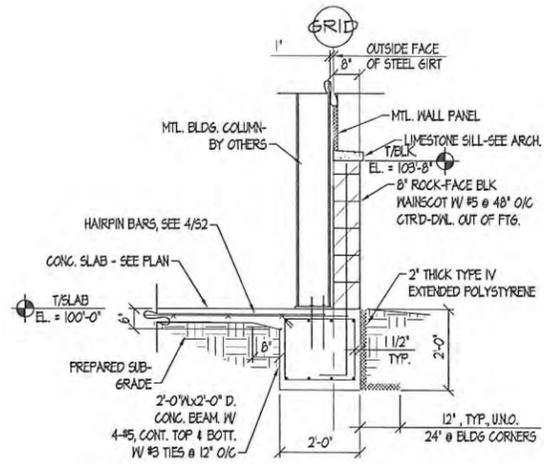




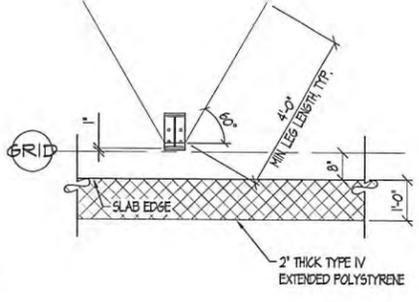
1 TYP. CONST./CONTR. JOINTS  
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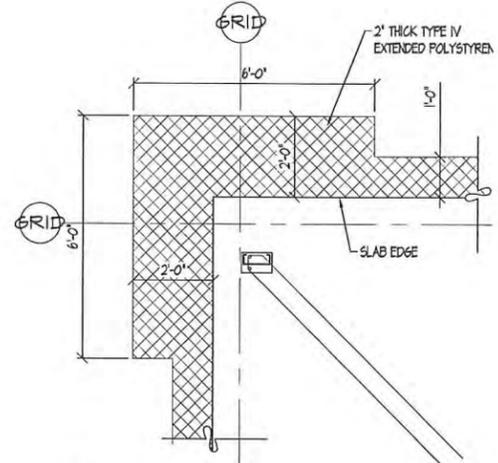
2 TYP. INT. COL. FTG.  
SCALE: 1/2" = 1'-0"



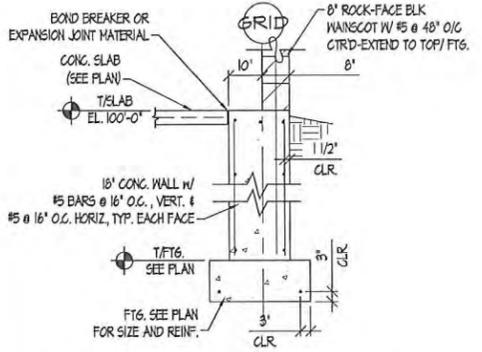
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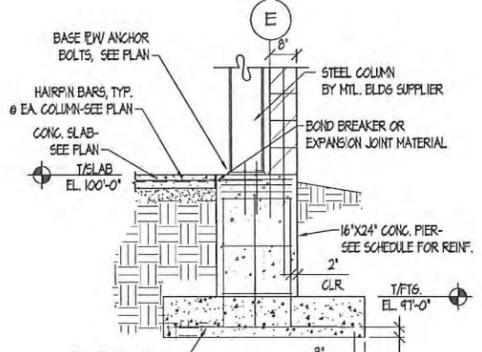
4 TYP. HAIRPIN DTL.  
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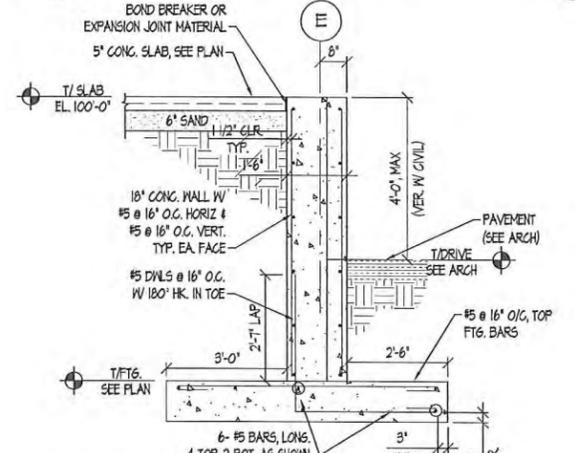
5 CORNER DETAIL  
SCALE: 1/2" = 1'-0"



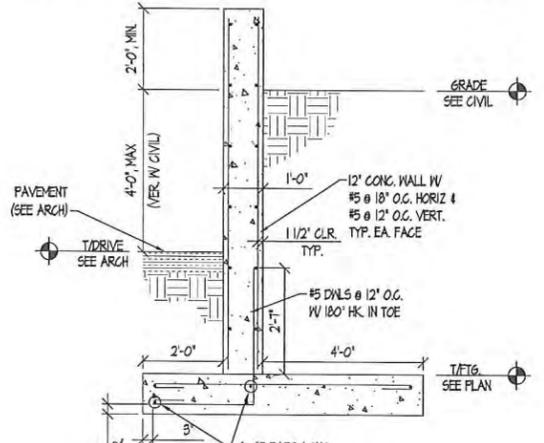
6 EXT. CONG. WALL FTG.  
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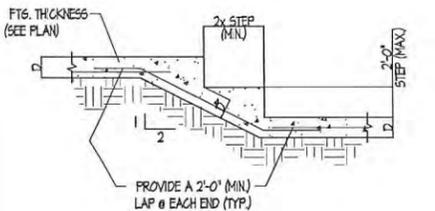
7 COL. ON CONG. PIER  
SCALE: 1/2" = 1'-0"



8 TYP. SECTION @ LOADING DOCK  
SCALE: 1/2" = 1'-0"



9 TYP. SECTION @ LOADING DOCK  
SCALE: 1/2" = 1'-0"



10 TYP. STEPPED FTG.  
SCALE: 1/2" = 1'-0"

REVISIONS & ISSUES

Engineer: SUR PAC  
Checked By: PAC  
Drawn By: PAC  
Date: 8-1-2016  
Printed:

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**ROSS & ASSOCIATES**  
248 SUMMIT  
RIVER FALLS, WI

METAL BLDG FOUNDATION  
ESR EMPLOYMENT  
NEW RICHMOND, WI

FOUNDATION  
PLAN &  
SECTIONS  
**S2**  
162-550.05



STRUCTURAL NOTES

1.0 DESIGN DATA

- A. Design Codes and Specifications
  - International Building Code 2012
  - American Concrete Institute (ACI) 318-14
  - American Institute of Steel Construction (AISC), 4th Ed.
- B. Design Unit Stresses
  - Steel plates  $F_y = 36,000$  psi (ASTM A36)
  - Anchor Bolts  $F_y = 36,000$  psi (ASTM A36)
  - 2. Cast-in-Place-Concrete
    - Footings  $f_c = 3,000$  psi at 28 days
    - Foundation Walls & other concrete  $f_c = 4,000$  psi at 28 days
  - 3. Reinforcing Steel  $F_y = 60,000$  psi (ASTM A615, Grade 60) - #4 & larger  
 $F_y = 40,000$  psi (ASTM A615, Grade 40) - #3 bars
- Welded Wire Fabric (WVF)  $F_y = 60,000$  psi minimum (ASTM A 185)
- 4. Concrete Block  $f_m = 1500$  psi
- C. Building Design Loads
  - 1. Superimposed Dead Loads:
    - a. Roof Collocated Load 5 PSF
  - 2. Live Load
    - b. Roof 20 PSF
  - 3. Wind Load 115 MPH Zone, Exposure C, I = 1.0

1.1 GENERAL NOTES

- A. Alternates
  - 1. Alternates to the structural system shown on these plans will be considered if complete design calculations and drawings are submitted with the certification of a Registered Professional Engineer. The calculations must prove the equivalency of the proposed alternate.
- B. Shop Drawings
  - 1. All shop drawings shall be prepared independently. The use of these structural drawings as shop drawings is prohibited.
  - 2. Shop drawings must bear a reviewed or approved stamp of the General Contractor or Construction Manager before being submitted to the Architect.
  - 3. Shop drawings signed by a Registered Engineer must bear the name and address of the firm employing that engineer.
  - 4. Shop drawing review by the Engineer will require a minimum of seven (7) working days.
- C. Contractor's Responsibilities
  - 1. The Contractor shall field verify all existing conditions and dimensions and report any discrepancies to the Architect and Engineer.
  - 2. The Contractor is responsible for locating all underground utilities. If these utilities are to remain in service, provide adequate protection. If incorrectly charted utilities are encountered during excavation, consult the Architect for direction.
  - 3. The Contractor shall review and coordinate these drawings with all other Contract Documents.
  - 4. When reference is made to publications, standards, etc., in these notes, the Contractor shall familiarize himself with the content of them.
  - 5. The structure has been designed without consideration of construction loads and/or conditions.
  - 6. The Engineer does not control the means and methods of construction.
  - 7. These drawings do not include the necessary components for construction safety. The Contractor is solely responsible for construction safety.
- D. Other Documents
  - 1. Use these notes with the project specifications. If discrepancies are noted, the most stringent interpretation applies.
- E. Use of Documents
  - 1. Use of these documents is prohibited for other projects, additions to or extensions of this Project or for completion of this Project by others except written authorization by the Engineer.
- F. Construction Staking
  - 1. All staking of the building footings shall be done by a Registered Land Surveyor.
- G. Special Inspections
  - 1. Provide inspections as required by IBC 1704 Special Inspections. (See Table at right)

2.0 FOUNDATION AND EARTHWORK

- A. Foundation Design
  - 1. No soil data has been made available during the design phase of this project. The Owner is responsible for verifying that the bearing capacity indicated below and the associated footing settlement will not be detrimental to the building.
  - 2. Spread footings are designed for an allowable bearing pressure of 2000 PSF.
- B. Excavation
  - 1. The Contractor is responsible for maintaining open cut slopes in compliance with applicable codes. Provide properly designed sheeting and shoring where necessary.
  - 2. Slopes adjacent to existing footings shall not exceed 2:1 (H:V).
  - 3. The bottom of the excavation(s) shall be observed and/or tested by a Geotechnical Firm before continuing with construction.
  - 4. Protect the bottom of all excavations from freezing.
  - 5. Denote the excavations, as necessary, for the placement of controlled fill or concrete.
- C. Backfill, Controlled Fill and Subgrade
  - 1. The gradation, placement, compaction and testing of controlled fill and/or backfill shall comply with the recommendations of the Geotechnical Firm retained by the Contractor.
  - 2. Replace over-excavated areas with controlled fill or lean concrete.
  - 3. Provide adequate bracing for all foundation walls before backfilling on one side.
  - 4. Backfill on both sides of the foundation shall be placed in layers, which do not damage or displace the foundation.
  - 5. Fill under slabs-on-grade shall be a minimum of 6" of granular material, (with less than 25% F40 and less than 5% F200, compacted to a minimum of 95% Standard Proctor Density, and placed to a tolerance of  $\pm 1/2"$ ).
- D. Reports
  - 1. The Geotechnical Firm shall submit a report to the Architect of all observations and tests conducted on this project.

3.0 FORMWORK

- A. Materials
  - 1. Concrete not exposed to view may be formed with wood, steel or fiberglass forms. Round column forms may be seamless fiber forms.
  - 2. Form coatings shall not impair the appearance or subsequent surface treatment of the concrete.
- B. Installation
  - 1. The Contractor is responsible for the design, construction and code compliance of all formwork.
  - 2. Formwork shall be set on an adequate foundation.
  - 3. Forms shall be capable of maintaining the tolerances of ACI 341.

C. Reshoring

- 1. Formwork shall not be removed until the concrete has attained at least 2/3 of the 28 day strength strength. Provide reshoring for the remaining of the curing period.

3.1 CONCRETE REINFORCEMENT - DEFORMED STEEL BARS AND WIRE WELDED MESH

- A. Materials
  - 1. Rust and mill scale on bars shall meet ASTM A615.
  - 2. Provide bar supports and spacers per CRSI Manual of Standard Practice.
- B. Shop Drawings
  - 1. Submit placing drawings to the Architect in accordance with the ACI Detailing Manual, SP-66.
  - 2. Provide bar splices and laps per ACI 318. Stagger laps in walls and slabs.
  - 3. Provide bent bars to match and lap with horizontal bars at corners and intersections.
- C. Fabrication
  - 1. Bends and bending procedure shall conform to CRSI Manual of Standard Practice.
  - 2. Welding to aid fabrication or installation is not permitted.
- D. Placement
  - 1. Place bars per CRSI Manual "Placing Reinforcing Bars" and within tolerances of ACI 111. Bar spacing and cover per ACI 318.
  - 2. Provide spacers and chairs, secure all bars, dowels and anchor bolts before placing concrete.
  - 3. Do not field bend bars partly embedded in concrete.
  - 4. Weld or mechanical splices are permitted only when indicated on drawings.
  - 5. Reinforcing steel shall be continuous through cold joints.
  - 6. Place welded wire fabric in the upper half of slab thickness with a minimum 1 inch concrete cover. Provide minimum of 6 inch laps.
- E. Concrete cover for reinforcement (unless detailed on plans)
  - 1. Footings 3"
  - 2. Foundation walls 2"
  - 3. Conc. piers 2"
  - 4. Slab on grade 2" top

3.2 CAST-IN-PLACE CONCRETE

- A. Mix Design
  - 1. Mix design(s) shall be prepared by an independent testing agency in accordance with ACI 211 and ACI 318.
  - 2. Concrete exposed to weather shall contain 5% to 7% entrained air.
  - 3. Maximum 3" slump for slab-on-grade concrete (4" +/- 1" with plasticizer) with a water/cement ratio no greater than 0.55.
  - 4. Submit mix designs to the Engineer prior to placing concrete.
- B. Material
  - 1. Portland cement shall conform to ASTM C150, Type I.
  - 2. High early strength cement shall conform to ASTM C150, Type III.
  - 3. Use only one brand of cement through out project.
  - 4. Regular weight aggregate shall conform to ASTM C33.
  - 5. Maximum aggregate sizes: 1-1/2" for footings, 3/4" for other concrete.
  - 6. Admixtures approved by the Architect shall meet the appropriate ASTM specifications.
- C. Coordination
  - 1. Contractor shall verify all openings, inserts, etc. noted on the drawings or required by other trades.
  - 2. Aluminum conduit or piping shall not be embedded in any concrete.
- D. Batching, Delivery and Handling
  - 1. Concrete, batching, delivery operations and procedures shall conform to National Ready Mixed Concrete Association, ASTM C-44 and ACI 304.
  - 2. Do not add water after batching.
  - 3. Concrete shall be placed within 90 minutes of batching.
- E. Placing and Finishing
  - 1. Place concrete according to ACI 304.
  - 2. Do not allow concrete to free fall more than four feet.
  - 3. Consolidate concrete with vibrators according to ACI 304.
  - 4. Do not place concrete on frozen soil or in forms containing ice or snow.
  - 5. Bond fresh concrete to hardened concrete by cleaning and wetting the existing concrete.
  - 6. Thoroughly water subgrade before placing concrete for slabs-on-grade.
  - 7. Screed, float and trowel finish all slabs-on-grade when concrete has set enough to avoid bringing water and fines to the surface. Interior slab shall be troweled to a smooth, dense finish. Exterior slabs shall receive a light broom finish.
  - 8. Concrete placement shall be one continuous operation between designated construction joints.
- F. Curing, Protecting and Sealing
  - 1. Refer to ACI 305 for hot weather concreting practice. Refer to ACI 306 for cold weather concreting practice.
  - 2. Slabs-on-grade shall be moist cured for a minimum of 7 days. Alternatively, curing compounds conforming to ASTM C309 may be substituted if applied per manufacturer's directions and in conformance with ACI 301.
  - 3. Curing shall be in accordance with ACI 301.
  - 4. Protect in place foundations and slabs-on-grade from frost.
  - 5. Slabs-on-grade shall receive a sealer as specified by the Architect.
  - 6. Do not load slabs-on-grade for a minimum of 21 days.
- G. Joints
  - 1. The Contractor shall submit a plan for construction joint locations per the following.
    - a. Maximum spacing for walls = 40 feet.
    - b. Maximum spacing for slabs-on-grade = 60 feet.
  - 2. Control joints in slabs-on-grade shall be spaced at a maximum of 3 times the slab thickness (in feet) or as indicated on the drawings. Sawed joints to 1/4 of the slab thickness shall be cut as soon as the work will not damage the concrete.
  - 3. Provide isolation joints around columns for slabs-on-grade.
- H. Other Requirements - slab-on-grade
  - 1. See Architect for additional requirements on surface flatness, surface finish, curing conditions, curing compounds, slab moisture content, vapor barriers, etc., for specified slab coating, treatments and flooring materials.
- I. Field Quality Control
  - 1. Prepare and cure standard test cylinders in accordance with ASTM C31 and C172.
  - 2. One set of three cylinders is required for each day's pour and also for more than 50 yards of placement in one day.
  - 3. Sampling, molding and testing of cylinders shall conform to ASTM C31 and C34.
- J. Repair
  - 1. All repair of defective areas shall conform to ACI 301, Section 5.3.7.

3.3 GROUT FOR BEARING SURFACES

- A. Use non-shrink, nonmetallic grout conforming to ASTM C-827.
- B. Grout shall take initial set in 60 min. without subsequent expansion and reach 1 day strength of 3000 PSI.

3.5 EPOXY BONDING AGENTS FOR CONCRETE

- A. Use epoxy based material with 100% solids epoxy resin.
- B. Materials shall have no shrinkage upon application, and must be resistant to water and appropriate for the size of cracks.
- C. Material shall be mixed and pressure injected per manufacturer's recommendations.

4.0 UNIT MASONRY

- A. Material
  - 1. All materials shall meet the following ASTM Specifications:
    - a. Portland Cement ASTM C-150
    - b. Masonry Cement ASTM C-41
    - c. Quiklime ASTM C-5
    - d. Hydrated Lime ASTM C-207
    - e. Aggregate for mortar ASTM C-144
    - f. Normal weight hollow load bearing units ASTM C-90, Grade N-1
    - g. Normal weight solid load bearing units ASTM C-145
    - h. Mortar ASTM C-270 & IBC Table 2103.7(1)
  - 2. Use 3000 psi concrete with a maximum aggregate size of 3/8" for all bond beams and core fill.
  - 3. Use truss type horizontal joint reinforcing made from 4 gauge galvanized wire.
- B. Units
  - 1. Do not use wet or frozen units or units with foreign material or defects.
  - 2. Provide all cap, solid, lintel and bond beam units necessary to complete the work.
  - 3. Solid units shall have full head and bed joints.
  - 4. Provide reports on compression tests of masonry units to Architect.
- C. Mortar & Mortar Joints
  - 1. Refer to IBC Section 2104 for mixing and retempering mortar.
  - 2. Premixed mortars may be used with the prior approval of the Architect.
  - 3. Do not use equipment which contains aluminum to convey or hold mortar.
  - 4. Mortars shall not contain admixtures.
  - 5. Mortar joints, exclusive of tooling shall equal the thickness of the face shell.
  - 6. Use Type S mortar for all walls.
- D. Reinforcing
  - 1. All reinforcing shall be free of rust.
  - 2. Vertical reinforcing bars shall be centered in the block cores, unless noted. Match footing dowels with vertical reinforcing.
  - 3. Maximum variation in placement of reinforcing bars is +/- 1/2".
  - 4. Lap reinforcing bars a minimum of 40 bar diameters, 42" at Safe Rm Walls.
  - 5. Maximum spacing of horizontal joint reinforcement shall be 16". Lap length shall be 3/4 of the wall thickness with a minimum of 6".
- E. Core Fill
  - 1. Use grouting criteria of ACI 531 to place core fill.
  - 2. Clean out cavities before adding core fill.
  - 3. The filling operation shall be continuous to completion.
- F. Execution
  - 1. Coordinate this work with all other trades.
  - 2. Refer to ACI 531 for hot and cold weather masonry practice.
  - 3. Maximum construction tolerances shall be 1/2" in 40 feet, vertical or horizontal.
  - 4. All bearing walls shall be laid in running bond unless otherwise noted.
  - 5. Do not load walls for a least 7 days or until mortar has cured.
  - 6. Provide temporary bracing for all unsupported walls.
  - 7. Do not attach non-bearing walls to the roof structure.
  - 8. Do not locate structural anchors in non-filled cells.
  - 9. Provide a minimum of 6" of bearing for all lintels.
  - 10. The Contractor is responsible for designing, providing, maintaining and for code compliance of all scaffolding.

REQUIRED SPECIAL STRUCTURAL INSPECTIONS

IN ADDITION TO THE REGULAR INSPECTIONS, THE FOLLOWING STRUCTURAL ITEMS REQUIRE SPECIAL INSPECTION IN ACCORDANCE WITH SECTION 1704 OF THE INTERNATIONAL BUILDING CODE. CONSTRUCTION NOT ASSOCIATED WITH THE STRUCTURAL SYSTEM MAY REQUIRE SPECIAL INSPECTION BUT IS NOT LISTED HERE.

ITEM	REQUIRED?	REMARKS
1. Soils compliance prior to foundation construction	YES	Reference IBC 1704.7
2. Column footings	N/A	Building is less than 3 stories
3. Wall footing	NO	Footing and pier concrete designed for $f_c$ 2500 psi. Building is less than 3 stories high.
4. Structural concrete	N/A	Reference IBC table 1704.4 and MESC 1305.1704
5. Reinforcing steel	YES	Reference IBC table 1704.4
6. Bolts installed in concrete	YES	Reference IBC table 1704.4
7. Expansion/adhesive anchors	N/A	
8. Structural steel fabrication	N/A	May be omitted if fabricator is AISC certified. Reference IBC table 1704.3
9. Structural welding	N/A	Reference IBC table 1704.3
10. High strength bolting	YES	Reference IBC table 1704.3
11. Structural masonry	N/A	Reference IBC table 1704.5 and MESC 1305.1704
12. Sprayed fire-resistant materials	N/A	Reference IBC table 1704.11 and Architectural drawings

I hereby certify that this plan, specification and detail were prepared by me or under the direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Wisconsin. My Print Name: William A. Cella Signature: William A. Cella Date: 11-13-2016 License No: 20722

REVISION 4 ISSUES

Engineer: SUR, PAC  
Checked By: PAC  
Drawn By: PAC  
Papan: 6-1-2016  
Printed:

**WENZEL ENGINEERING INC.**  
10100 Mangum Ave. South - Bloomington, MN 55431  
TELEPHONE 952-888-6516 - FAX 952-888-2587

**ROSS & ASSOCIATES**  
246 SUMMIT  
RIVER FALLS, WI

**METAL BLDG FOUNDATION ESR EMPLOYMENT**  
NEW RICHMOND, WI

**STRUCTURAL NOTES & DETAILS**  
**S3**  
162-550.05





3601 Thurston Avenue N, Suite 100  
Anoka, MN 55303  
Phone: 763.231.5840  
Facsimile: 763.427.0520  
TPC@PlanningCo.com

## MEMORANDUM

TO: Beth Thompson

FROM: D. Daniel Licht, AICP

DATE: 17 August 2016

RE: New Richmond – Bakken Young Funeral Home

TPC FILE: 164.02

## BACKGROUND

Bakken Young is proposing to acquire a 3.23 acre parcel located at 644 S. Knowles Avenue for development of a funeral home. The subject site is currently developed with a single family dwelling that is to remain and continue as a residential use. Development of the proposed funeral home and development of a second principal use on the subject site are allowed subject to approval of a conditional use permit. A public hearing to consider the application has been noticed for a special Plan Commission meeting on 23 August 2016 at 5:00pm.

### Exhibits:

- A. Site location map
- B. Development plans dated 08/17/16

## ANALYSIS

**Comprehensive Plan.** The Comprehensive Plan guides parcels adjacent to Knowles Avenue to develop with commercial uses to take advantage of the access and visibility to local and regional traffic using the roadway corridor. The proposed development of a funeral home upon the subject site is consistent with the land use policies of the Comprehensive Plan.

**Zoning.** The subject site is zoned Z4 District. Funeral homes are allowed within the Z4 District with approval of a conditional use permit. Applications for conditional use permits are subject

to review by the Development Review Committee and approval of the Plan Commission in accordance with Section 121-32 of the Zoning Ordinance.

**Existing Single Family Dwelling.** There is an existing single family dwelling located on the subject site at the north portion of the property. With development of the funeral home, the existing single family dwelling is proposed to remain with the current occupants continuing their tenure under a life-estate agreement with the developer. Continuation of the residential use of the existing single family dwelling with development of the commercial funeral home is defined as two principal uses of one property. Section 121-49.C allows for multiple principal uses (and buildings) on one lot subject to approval of a conditional use permit. The existing single family dwelling complies with all applicable setback requirements of the Z4 District. Access to the single family dwelling would be shared with the funeral home off of the north driveway to Knowles Avenue. Allowing continued residential use of the single family dwelling as a second principal use upon the property is acceptable in this situation.

**Surrounding Uses.** The subject site is surrounded by the existing and planned land uses shown in the table below. The subject site is separated from adjacent properties to the north and east by topography and vegetation creating a natural buffer between uses. The school property immediately to the south of the subject site is developed as a ballfield with active use. The proposed funeral home will be compatible with existing and planned land uses in the area.

Direction	Land Use Plan	Zoning Map	Existing Use
North	Commercial	Z4 District	Commercial Single family
East	Institutional	Z5 District	Cemetery
South	Institutional	Z4 District	School/park
West	Commercial	Z4 District	Commercial Single family Undeveloped

**Building Design.** The submitted plans include building elevations and a floor plan for the proposed funeral home. The proposed building is a single story structure with a pitched roof. Exterior materials include a stone veneer used prominently at the building entrance, as well as the south and west elevations visible from public streets and adjacent properties. The stone veneer is also included on the north and east elevations at the base of the building. The other materials used for the exterior include engineered wood lap siding and stucco trim with asphalt shingles on the roof. The proposed exterior materials and building architecture complies with Section 121-49.G.2 of the Zoning Ordinance.

**Landscape Plan.** A landscape plan prepared by a Landscape Architect has been provided and is subject to the requirements of Section 121-55 of the Zoning Ordinance, including Table 15. The landscape plan is well designed and coordinated overall, with a nice variety of species, colors and textures. The landscape plan must be revised to provide one deciduous shade tree per every 40 linear feet along Knowles Avenue. Section 121-55.I.2 of the Zoning Ordinance requires

the developer to provide a financial guarantee equal to 125 percent of the cost for materials and labor for proposed landscape plan. The security is to be held by the City until it is verified that all plantings have survived through two winter seasons between October 31 and April 30.

**Lot Requirements.** The table below outlines lot requirements of the Z4 District applicable to the subject site. The proposed site plan complies with all of the lot requirements of the Z4 District.

	Min. Lot Width	Max. Lot Coverage	Setbacks					
			West	North	East	South	Parking	
							Knowles	Interior
Required	80ft.	40.0%	25ft.	5ft.	20ft.	5ft.	45ft.	5ft.
Proposed	430ft.	38.4%	104ft.	85ft.	143ft.	145ft.	45ft.	10ft.

**Access.** The subject site has one existing access to Knowles Avenue. This access will be reconstructed as a commercial driveway measuring 26 feet wide to provide access to both the funeral home and existing single family dwelling. A second 26 foot wide driveway accessing Knowles Avenue is shown at the south property line to be constructed on property owned by the Cemetery Association (City), which also provides access to an off-street parking area for the ballfield on the school property. The improvement of this driveway allowing shared access to the subject site and school property is appropriate to minimize the number of driveways onto Knowles Avenue. The south driveway will also allow for disbursement of traffic from the funeral home entering Knowles Avenue and for stacking processions when they occur to enter Knowles at a greater distance from the signalized intersection at 6<sup>th</sup> Street. The cost of the driveway improvements on the Cemetery Association (City) property will be paid entirely by the developer. An ingress/egress easement allowing access to the subject site (as well as the school property) over the Cemetery Association (City property) must be drafted by the developer and recorded with each of the involved properties.

**Off-Street Parking.** Table 14 of the Zoning Ordinance requires one off-street parking stall for each five seats within main assembly area for funeral homes, which is defined by the Zoning Ordinance as a civil support use. The main assembly room has capacity for 250 seats, making the number of required stalls 50 based on ITE recommendations. The site plan provides 71 off-street parking stalls, including three disability stalls in accordance with ADA standards. There is also a three stall attached garage on the north side of the principal building for storage of company vehicles. The number of off-street parking stalls exceeds the requirements of the Zoning Ordinance. The parking stalls are shown to have minimum dimensions of 10 feet by 18 feet accessed by 26 foot wide drive aisles, which complies with Table 13 of the Zoning Ordinance. The parking area is shown to be surfaced with asphalt or concrete and surrounded by perimeter curb in accordance with Section 121-52.A.5 of the Zoning Ordinance.

**Sidewalks.** There is an existing sidewalk within the public right-of-way along the east side of Knowles Avenue. The site plan provides for a sidewalk connection between Knowles Avenue and the proposed building along the south side of the north driveway.

**Exterior Lighting.** The developer has submitted a photometric lighting plan illustrating the location and intensity of proposed exterior lighting fixtures on the subject site. The proposed lighting plan complies with Section 121-51.A.1 of the Zoning Ordinance for light intensity at the property lines. The 20 foot height of the poles is within the 35 feet allowed by Section 121-51.A.2 of the Zoning Ordinance.

**Signs.** The submitted plans detail a proposed monument sign. The sign structure is 43 square feet in area and is 5.5 feet in height. The area and height of the proposed sign complies with both the current and draft sign regulations. The location of the sign is not identified on the site plan. The proposed sign will be subject to the requirements of Section 121-44 in effect at the time a permit is issued.

**Trash Enclosure.** The site plan includes a trash storage area for two trash dumpsters at the northeast corner of the proposed principal building. The trash enclosure is to be constructed of CMW with stone facing matching the principal building with solid metal gates and will be six feet in height. The proposed enclosure complies with the requirements of Section 121-48.C of the Zoning Ordinance.

**Grading Plan.** The developer has submitted plans for grading, drainage, and erosion control within the subject site, including a storm water management report. All grading, drainage, and erosion control issues are subject to review and approval of the Public Works Director.

**Utility Plan.** Sanitary sewer and water utilities are available at the subject site and the developer has submitted a utility plan for connection to these utilities. There is an existing watermain that bisects the property through the proposed building pad. The utility plan will add a hydrant at the extent of the existing main to be used from the south (south of the building and north of the handicapped parking area) to serve the proposed building and abandon the remaining watermain to the north. Abandonment of the watermain will include excavating and capping the existing watermain at the south end of Arch Avenue. All utility issues are subject to review and approval of the Public Works Director.

## **RECOMMENDATION**

The DRC reviewed the submitted plans at their meeting on 19 July 2016. DRC recommends approval of a conditional use permit allowing development of a funeral home and multiple principal buildings on one lot. This recommendation is subject to the following conditions outlined below.

## POSSIBLE ACTIONS

- A. Motion to **approve** a conditional use permit allowing a funeral home for Bakken-Young subject to the following conditions:
1. The submitted landscape plan shall be revised to include one delicious shade tree spaced every 40 feet on center adjacent to Knowles Avenue.
  2. The developer shall provide a financial guarantee equal to 125 percent of the cost for materials and labor for proposed landscape plan to be held by the City until it is verified that all plantings have survived through two winter seasons between October 31 and April 30.
  3. An ingress/egress easement allowing access to the subject site (as well as the school property) over the Cemetery Association (City property) shall be drafted and recorded with each of the involved properties, subject to review and approval of City staff.
  4. All signs shall be subject to the requirements of Section 121-44 in effect at the time a permit is issued.
  5. All grading, drainage, and erosion control issues are subject to review and approval of the Public Works Director.
  6. All utility issues are subject to review and approval of the Public Works Director
- B. Motion to **deny** the application based on a finding that the request is inconsistent with the policies of the Comprehensive Plan and requirements of the Zoning Ordinance.
- C. Motion to **table**.
- c. Mike Darrow, City Administrator  
Sarah Skinner, Building Inspector  
Jeremiah Wendt, Public Works Director  
Tanya Reigel, City Clerk





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Design[ed] to be more

July 14, 2016

Beth Thompson  
Community Development Director  
City of New Richmond  
156 East First Street  
New Richmond, Wisconsin 54017

RE: Bakken & Young Funeral Home Narrative

Dear Beth Thompson:

The following is a narrative requested by the City of New Richmond describing the operations plan and architectural concept plan for the Bakken & Young Funeral Home to be located in the City of New Richmond on South Knowles Ave.

1. The proposed use is not in conflict with the Comprehensive Plan.
2. The proposed use is not in conflict with any Regulating Maps or other adopted plans. Civil and Architectural plans have been executed by licensed professionals using sound professional practice standards.
3. The proposed use is not in conflict with any City Ordinance requirements. The project has meets all zoning ordinances including lot coverage, principle height, principle building setbacks, off street parking, and signage.

The building site presented a number of challenges including set-backs, topography, drainage, access and use. The set-backs required by the city of New Richmond encourages a building placed close to South Knowles Avenue with parking behind the building. When analyzing the site we recognized the site was in the flood fringe zone and as such located the building to the north end of the site to minimize infill required to elevate the building. The site slopes from high above at the adjacent cemetery to the east and slopes down towards South Knowles Avenue and then south along the street. This makes locating the water infiltration and retention areas along Knowles, a natural fit for the existing topography.

Functionally the building utilizes a processional front formal entry, a welcoming gathering area, and a large chapel space that opens to a quiet patio facing the hill side. It is important to the users of the building that they are provided with a quiet and private outdoor space to step out for some fresh air. Placing the building on the street with parking behind would have eliminated this private garden space that is so important to the users of the building.

4. The proposed use will not create an excessive burden on parks, streets and other public facilities. The new facility is replacing an existing facility in New Richmond and does not create an excessive burden. Access to the site utilizes two existing curb cuts on South Knowles Avenue. The north curb cut is the entrance to the existing residential property and would be widened and

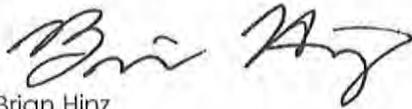
improved. The south curb cut is the entrance to the ball fields and would be improved with curb and paving. As a result no additional or new access points are created with this project.

5. The proposed use will not be injurious to the surrounding neighborhood, will not negatively impact traffic or property values, and will not otherwise harm the public health, safety, and general welfare.

The business is a 24/7 on call business. Most client traffic is between 7AM and 9PM, staff may come and go between 9PM and 7AM depending on need with approximately 60 funerals per year from this location. Bakken & Young anticipating hosting approximately 25 visitations or wakes per year which typically are between 4PM and 8PM and average 150 guest coming and going during that time period. They host approximately 12 daytime funerals or memorial services averaging 100 guests. Of these 12 services approximately 6 will have a funeral procession to a local cemetery. They always contact New Richmond police department for assistance with funeral processions regardless of location. Processions are typically 10-15 cars flagging each care in the procession and requiring headlights and flashers.

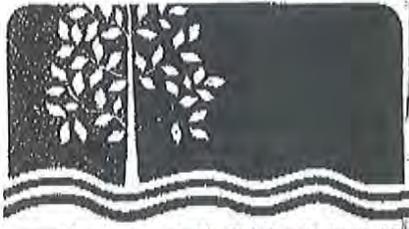
The architectural concept for the building is a comfortable residential feel with professional commercial building material. Extensive glass is used on all elevations to brighten the interior by day and illuminate the building at night. Various architectural details such as window bays, gables with changes in height and a strong front porch break the roof line and add scale and architectural interest to the building. Materials on the building include architectural shingles, LP Smart Board siding and trim, and manufactured stone.

Sincerely,



Brian Hinz  
Partner

Enclosure



CITY OF NEW RICHMOND  
THE CITY BEAUTIFUL



# CONDITIONAL USE APPLICATION

City of New Richmond

156 East First Street ♦ New Richmond, WI 54017

Phone: (715) 246-4268 ♦ Fax: (715) 246-7129

CITY ORDINANCE SECTION 121-32

www.newrichmondwi.gov

**APPLICATION FEE: \$250      ESCROW \$500**

*Application fee should be made payable to City of New Richmond upon submittal of completed application. Escrow funds will be drawn to cover project-related costs. Additional funds may be required; surplus funds will be returned.*

Please complete the application by typing or printing in ink. Use additional paper if necessary.

**1. Property Owner Information:**

Company name: Bakken-Young Properties

Last name: Young First name: Brian

Address: 502 3rd Street City/State/Zip: Hudson, WI 54016

Phone number: 715-386-2402 Email address: info@bakken-young.com

**2. Applicant Information: (if different from above)**

Company name: Bakken-Young Inc. DBA Bakken-Young Funeral & Cremation Services

Last name: Young First name: Brian

Address: 502 3rd Street City/State/Zip: Hudson, WI 54016

Phone number: 715-386-2402 Email address: info@bakken-young.com

**3. Address(es) of Property Involved: (if different from above)**

\_\_\_\_\_

**4. Zoning Designation:** \_\_\_\_\_

**5. Comprehensive Plan Designation:** \_\_\_\_\_

**6. Statement of Intent:** Briefly describe what will be done on or with the property requiring the conditional use approval.

Operation of a funeral home/cremation services

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**7. Additional Required Information:**

- a. **Legal Description and PIN:** Provide the Parcel Identification Number(s) and the complete legal description(s) of the property involved.
- b. **Consultant Fees:** Whenever third party consultants are utilized in the preparation of application materials (e.g., a traffic study) or the City's review of an application (e.g. traffic study analysis), the applicant shall be responsible for paying the entirety of those costs.
- c. **Proposed Plans:** In addition to a scaled site plan, the following documentation may be requested: a landscape plan, grading and drainage plan, photometric plan, traffic study, and exterior building elevation drawings showing building materials may also be required if deemed necessary by City Staff. Plans for residential applications may be on 8½"x 11" or 11"x 17" paper; full size plans and digital copies must be submitted for commercial applications.
- d. **Written Narrative:** The written narrative should thoroughly address the following general items in addition to any specific requirements pertaining to the proposed use, which Section 121-259 (Conditional Uses) of the City Code directs the City Council to evaluate during consideration of conditional use applications:
  - 1) The proposed use is not in conflict with the Comprehensive Plan;
  - 2) The proposed use is not in conflict with any Regulating Maps or other adopted plans;
  - 3) The proposed use is not in conflict with any City Ordinance requirements;
  - 4) The proposed use will not create an excessive burden on parks, streets and other public facilities; and
  - 5) The proposed use will not be injurious to the surrounding neighborhood, will not negatively impact traffic or property values, and will not otherwise harm the public health, safety, and general welfare.

**8. Signature(s):** By signing below, you attest that the information above and attached is true and correct to the best of your knowledge.

Property Owner: Brian L. Young

Date: 7/15/16

Applicant: Brian L. Young

Date: 7/15/16

Fee Paid: \$250      Date: 7/18/16      Receipt # 63211

Escrow Paid: \$500      Date: 7/18/16      Receipt # 63211

**Applications for conditional use approval must be received by the first Thursday of each month; applications received after this date cannot be heard at the Planning Commission meeting the following month.**

# BAKKEN YOUNG FUNERAL HOME

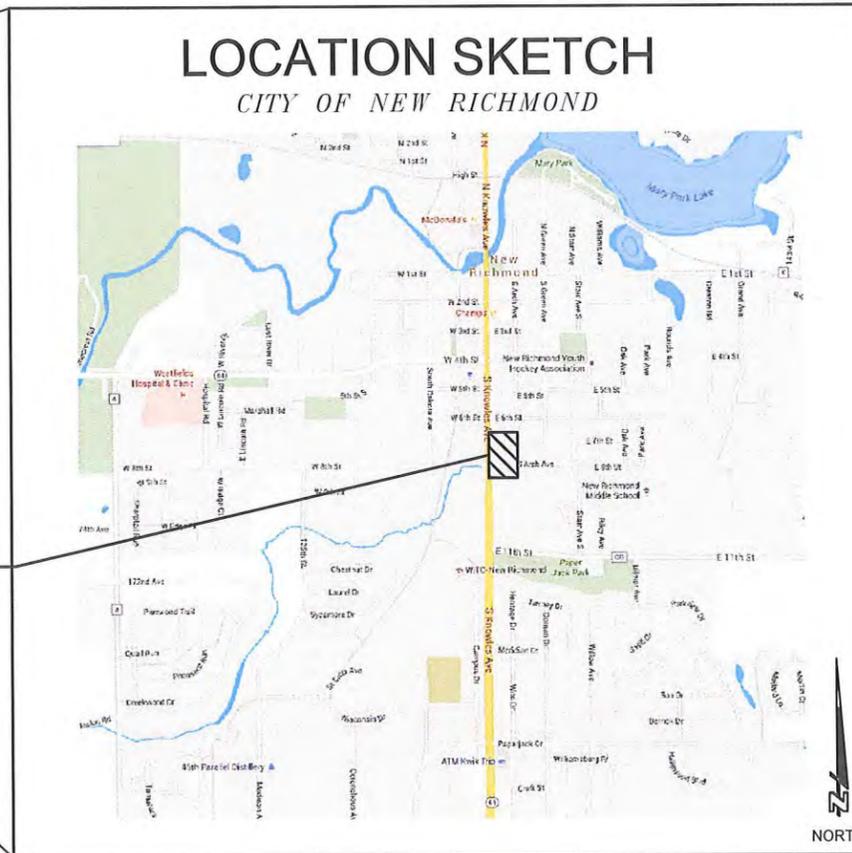
## CITY OF NEW RICHMOND

### ST. CROIX COUNTY, WISCONSIN



#### CONSTRUCTION NOTES

1. CONTRACTOR SHALL NOTIFY UTILITIES AND HAVE ALL UTILITIES LOCATED PRIOR TO ANY EXCAVATION.
2. CONTRACTOR SHALL SALVAGE AND REPLACE TOPSOIL IN ALL DISTURBED AREAS.
3. NO TREES OR SHRUBS TO BE REMOVED WITHOUT THE PRIOR APPROVAL OF THE OWNER, UNLESS SHOWN ON PLANS.
4. CONTRACTOR SHALL MAINTAIN TRAFFIC ACCESSIBILITY ALONG PROJECT.
5. SALVAGED MATERIALS TO BECOME PROPERTY OF THE OWNER.
6. CONTRACTOR SHALL MECHANICALLY COMPACT ALL TRENCHES UNDER ALL PAVED, CONCRETE, GRAVEL AND BUILDING PAD AREAS.
7. ALL TOPSOIL, ORGANIC AND UNSUITABLE MATERIAL TO BE REMOVED BEFORE FILL MATERIAL IS PLACED. NO ORGANIC, UNSUITABLE OR FROZEN MATERIAL TO BE PLACED IN FILL AREAS. ALL FILL MATERIAL AND ENGINEERED FILL TO BE MECHANICALLY COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
8. APRON ENDWALLS REQUIRED ON ALL ENDS OF STORM SEWER. PIPE LENGTHS INCLUDE APRON ENDWALLS.



LOCATION SKETCH  
CITY OF NEW RICHMOND

#### LOCATION MAP

N.T.S.

#### CONVENTIONAL SYMBOLS

	BOUNDARY PROPERTY LINE
	PROPOSED R.O.W.
	PROPOSED LOT LINES
	PROPOSED BIT
	PROPOSED GRAVEL
	PROPOSED CULVERT/PIPE
	DRAINAGE EASEMENT
	EXISTING TREELINE
	EXISTING FENCE
	OR  SILT FENCE
	EROSION CONTROL MAT

#### CONTACTS

DIGGERS HOTLINE 1-800-242-8511	OWNER
PROJECT ENGINEER/SURVEYOR AUTH CONSULTING & ASSOCIATES 715-381-5277	BAKKEN YOUNG
PROJECT ARCHITECT ELLIOT ARCHITECTS 715-386-8303	

#### SHEET INDEX

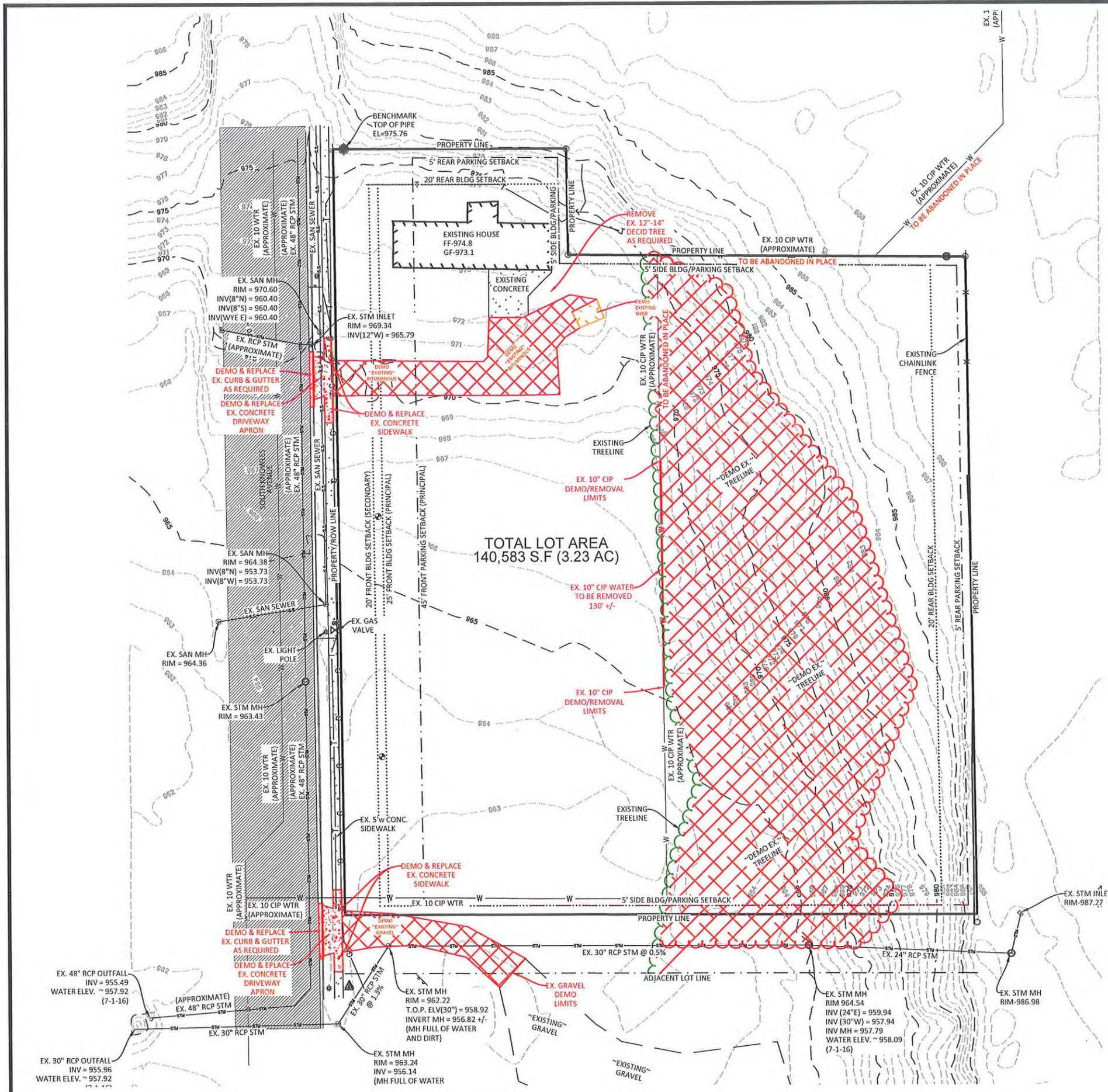
SHEET	SHEET DESCRIPTION
C1.0	TITLE SHEET
C2.0	EXISTING SITE AND DEMO PLAN
C3.0	SITE PLAN
C4.0	GRADING PLAN
C5.0	EROSION CONTROL PLAN
C6.0	UTILITY PLAN
C7.0-C7.5	DETAILS



PROJECT:	BAKKEN YOUNG FUNERAL HOME
SHEET NO.:	C1.0
CITY:	CITY OF NEW RICHMOND, ST. CROIX COUNTY, WI
TITLE:	TITLE SHEET
DRAWING PHASE:	OWNER REVIEW AGENCY REVIEW BID DOCUMENT FOR CONSTRUCTION AS-BUILT DOCUMENT
DRAWN BY:	DCK
CHECKED BY:	KLJ
DATE:	06/24/16
DWG FILE:	5287-00-C1.0100
REF FILE:	5287-001
JOB NUMBER:	5287-001
REVISED PER CITY COMMENTS:	MDH 08/17/16
RELEASED FOR REVIEW:	MDH 07/14/16
RELEASED FOR REVIEW:	MDH 07/07/16
REVISION DESCRIPTION:	NAME: DATE:

**Auth-Consulting/associates**  
 2800 Main Street  
 Suite 101  
 Hudson, WI 54016  
 Tel 715-381-5277  
 authconsulting.com

**WISCONSIN PROFESSIONAL ENGINEER**  
 MATTHEW D. HIEB  
 E-30152  
 HUDSON, WISCONSIN  
 08/17/16



LEGEND	
	EXISTING 5FT CONTOURS
	EXISTING 1FT CONTOURS
	PROPERTY BOUNDARY LINE
	EXISTING CURB
	BUILDING SETBACK
	PARKING SETBACK
	EXISTING UNDERGROUND TELEPHONE
	EXISTING GAS LINE
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATERMAIN (APPROXIMATE)
	EXISTING CHAINLINK FENCE
	EXISTING TREE LINE
	DEMO WATERMAIN
	BENCHMARK
	EXISTING SIGN
	EXISTING LIGHT POLE
	EXISTING GAS VALVE
	EXISTING PROPERTY IRONS
	EXISTING TELEPHONE PEDESTAL
	EXISTING STORM INLET
	EXISTING SANITARY SEWER MANHOLE
	EXISTING SANITARY STORM MANHOLE
	DEMO EXISTING BITUMINOUS
	DEMO EXISTING CONCRETE
	DEMO EXISTING TREELINE
	DEMO EXISTING BUILDING

**EXISTING SITE CONDITION NOTE**

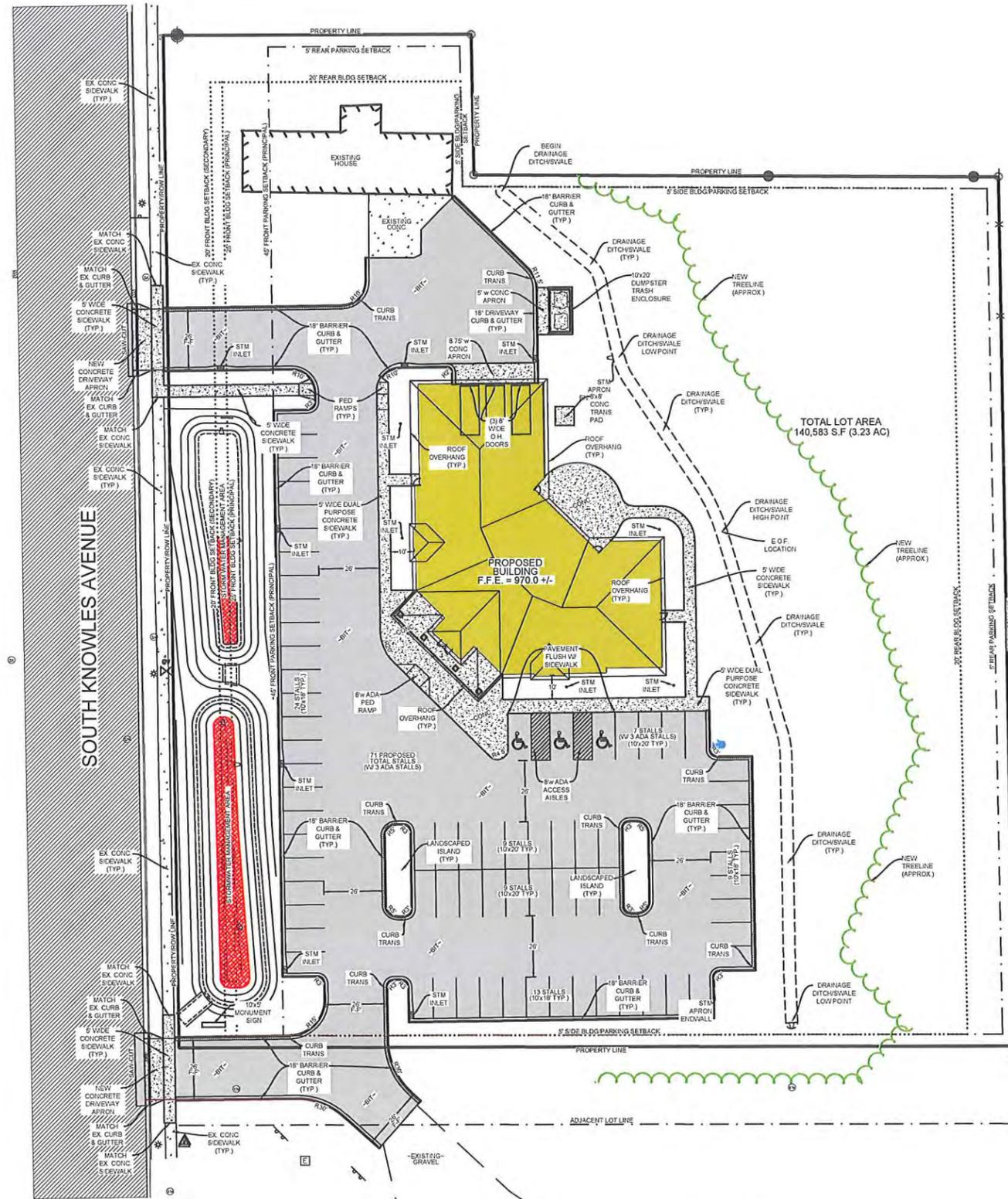
EXISTING CONDITIONS SHOWN ARE BASED ON TOPOGRAPHY INFORMATION PROVIDED BY AUTH CONSULTING & ASSOCIATES IN MAY 2016. SUPPLEMENTAL INFORMATION PROVIDED BY ST. CROIX COUNTY LIDAR DATA. CONTRACTOR TO FIELD VERIFY ALL EXISTING SITE CONDITIONS FOR ACCURACY PRIOR TO ANY DEMOLITION, EXCAVATION, OR CONSTRUCTION ACTIVITIES COMMENCING.

PROJECT:	BAKKEN YOUNG FUNERAL HOME		
CITY:	CITY OF NEW RICHMOND, ST. CROIX COUNTY, WI		
PROJECT:	EXISTING SITE AND DEMOLITION PLAN		
SHEET NO.:	C2.0		
DRAWING PHASE:	OWNER REVIEW	AGENCY REVIEW	BID DOCUMENT
DRAWN BY:	KLJ	CHECKED BY:	MDH
DATE:	06/24/16	DATE:	06/24/16
DWG FILE:	5287-001-C2.0-P.3.dwg	REVISED PER CITY COMMENTS:	MDH 08/17/16
REF FILE:	5287-001	RELEASED FOR REVIEW:	MDH 7/14/16
JOB NUMBER:	5287-001	RELEASED FOR REVIEW:	MDH 07/07/16
AS-BUILT DOCUMENT:		REVISION DESCRIPTION:	
REVISION:		NAME:	
DATE:		DATE:	

AUTH CONSULTING & ASSOCIATES  
 408 Technology Drive East  
 Suite A  
 Menomonee, WI 54751  
 Tel 715-282-4400  
 authconsulting.com

AUTH CONSULTING & ASSOCIATES  
 2820 Polaris Street  
 Suite 101  
 Hudson, WI 54016  
 Tel 715-381-5277  
 authconsulting.com

AUTH CONSULTING & ASSOCIATES  
 581 Land Surveying a division of A.C.A.



### LEGEND

PROPERTY LINE	PROPOSED BUILDING
BUILDING SETBACK	PROPOSED CONCRETE SURFACE
PARKING SETBACK	PROPOSED BITUMINOUS
PROPOSED DRAINAGE DITCH	PROPOSED BITUMINOUS TRAIL
PROPOSED 18" BARRIER CONCRETE CURB & GUTTER	PROPOSED STORM WATER BIO-FILTRATION AREA
PROPOSED TREELINE	PROPOSED STORM WATER MANAGEMENT AREA

- ### GENERAL SITE NOTES
- CONTRACTOR TO OBTAIN PERMISSION/PERMIT FROM THE CITY TO WORK IN RIGHT-OF-WAY PRIOR TO ANY WORK BEING PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY. ANY REQUIRED LANE CLOSURES OR TRAFFIC CONTROL SIGNAGE/DETOUR PLANS IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE COORDINATED WITH CITY STAFF, AS REQUIRED.
  - CONTRACTOR TO FIELD VERIFY AND LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
  - CONTRACTOR TO COORDINATE RELOCATION OF ANY SMALL UTILITIES, AS NECESSARY.
  - CONTRACTOR SHALL MAINTAIN TRAFFIC ACCESSIBILITY ALONG THE PROJECT.
  - NO TREES OR SHRUBS ARE TO BE REMOVED WITHOUT THE PRIOR APPROVAL OF THE OWNER.

- ### ADA ACCESSIBILITY NOTES
- ACCESSIBLE ROUTE NOT TO EXCEED 1:20 (5%) SLOPE, WITH 1:48 MAX. CROSS SLOPE.
  - HANDICAP PARKING SPACES & ACCESS AISLES SHALL NOT EXCEED 1:48 MAX. SLOPE IN ANY DIRECTION.
  - ADA PARKING SPACES SHALL BE A MIN. OF 96" AND ACCESS AISLES A MIN. OF 60". TWO ADJACENT PARKING SPACES MAY SHARE A COMMON ACCESS AISLE. VAN ACCESS AISLES SHALL BE A MIN. OF 96".
  - EACH HANDICAP PARKING SPACE SHALL BE PROVIDED WITH A HANDICAP PARKING SIGN.

### SITE DATA

<b>LOT AREA</b> 3.23 ACRES (140,583 S.F.)	<b>IMPERVIOUS LOT COVERAGE</b> 1.24 ACRES (53,919 S.F.) 38.4% - 40.0% MAX. ALLOWED
<b>CURRENT ZONING</b> Z4 - GENERAL URBAN DISTRICT	
<b>BUILDING SETBACK REQUIREMENTS</b> PRINCIPAL FRONT = 25' MINIMUM SECONDARY FRONT = 20' MINIMUM SIDE = 5' MINIMUM REAR = 20' MINIMUM	
<b>OFF STREET PARKING SETBACK REQUIREMENTS</b> PRINCIPAL FRONT = 45' MINIMUM SECONDARY FRONT = 20' MINIMUM SIDE = 5' MINIMUM REAR = 5' MINIMUM	
<b>OFF STREET PARKING PROVIDED</b> 71 PROPOSED STALLS - INCLUDING 3 ADA STALLS 18x10' STALLS (MINIMUM) 20x10' STALLS (WHERE SHOWN)  26' WIDE DRIVE AISLES 26' WIDE DRIVEWAY ENTRANCES	

DATE:	06/24/16
NAME:	KLJ
REVISION DESCRIPTION:	
DATE:	08/17/16
NAME:	MDH
REVISION DESCRIPTION:	
DATE:	07/14/16
NAME:	MDH
REVISION DESCRIPTION:	
DATE:	07/07/16
NAME:	MDH
REVISION DESCRIPTION:	

DRAWING PHASE:	DRAWN BY: KLJ
OWNER REVIEW:	CHECKED BY: MDH
AGENCY REVIEW:	DATE: 06/24/16
BID DOCUMENT:	DWG FILE: 5287-001-C3.0-316
FOR CONSTRUCTION:	REF FILE: 5287-001
AS-BUILT DOCUMENT:	JOB NUMBER: 5287-001

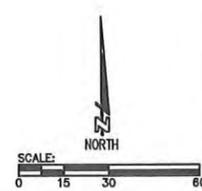
**PROJECT OFFICE**  
2920 Main Street  
Suite 101  
Madison, WI 53705  
Tel 715-981-5277

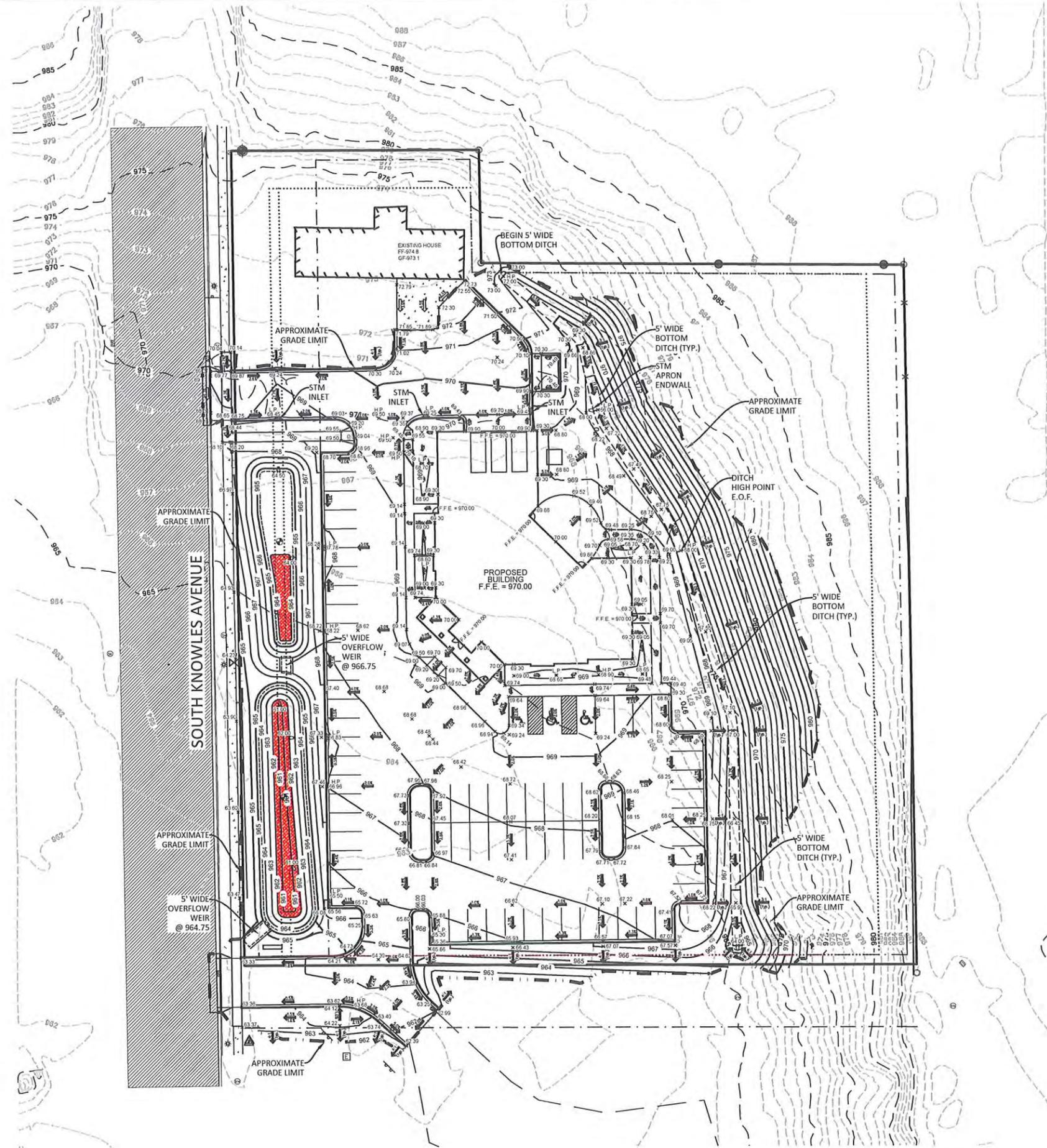
**COMPANY OFFICE**  
408 Technology Drive East  
Suite A  
Menomonee Falls, WI 54751  
Tel 715-282-8400

**authconsulting.com**  
**Auth-Consulting/associates**  
S&B Land Surveying a division of A/Ca

PROJECT: **BAKKEN YOUNG FUNERAL HOME**  
CITY OF NEW RICHMOND, ST. CROIX COUNTY, WI  
SHEET NO. **C3.0**

SITE PLAN



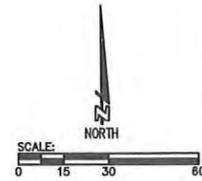


### GRADING NOTES

- CONTRACTOR SHALL NOTIFY UTILITIES AND HAVE ALL UTILITIES LOCATED PRIOR TO ANY CONSTRUCTION, EXCAVATION OR DEMOLITION ACTIVITIES COMMENCING.
- CONTRACTOR TO COORDINATE WITH SMALL UTILITIES ALL REQUIRED UTILITY RELOCATION TO AVOID CONFLICTS WITH PROPOSED GRADING.
- CONTRACTOR SHALL MECHANICALLY COMPACT ALL TRENCHES UNDER ALL PAVED, CONCRETE, GRAVEL, AND BUILDING PAD AREAS.
- ALL TOPSOIL, ORGANIC, & UNSUITABLE MATERIAL TO BE REMOVED BEFORE FILL MATERIAL IS PLACED. NO ORGANIC, UNSUITABLE, OR FROZEN MATERIALS TO BE PLACED IN FILL AREAS. ALL FILL MATERIAL & ENGINEERED FILL TO BE MECHANICALLY COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
- ALL GRADES AND ELEVATIONS SHOWN ARE TO FINISHED GRADES, UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL SALVAGE AND REPLACE TOPSOIL IN ALL DISTURBED AREAS.
- 1.0% (MIN.) SLOPE REQUIRED ON ALL CONSTRUCTED DITCH BOTTOMS, UNLESS NOTED OTHERWISE.
- ALL EXCESS & UNSUITABLE MATERIALS TO BE REMOVED FROM THE SITE BY SITE CONTRACTOR AS REQUIRED.
- NO TOPSOIL OR WASTE MATERIALS TO BE PLACED BENEATH PROPOSED INFILTRATION BASIN OR DITCH BOTTOMS. ALL EXISTING SOILS INFILTRATION CHARACTERISTICS SHALL BE MAINTAINED TO THE MAXIMUM EXTENT PRACTICABLE.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING ALL EARTHWORK QUANTITIES BASED ON THE EXISTING AND PROPOSED ELEVATIONS PROVIDED ON THE PLANS. ANY GEOTECHNICAL INVESTIGATIONS PROVIDED BY THE OWNER APPLY ONLY TO THOSE LOCATIONS THAT DATA WAS COLLECTED, AND MAY NOT BE INDICATIVE OF CONDITIONS ELSEWHERE ON THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR COLLECTING ANY ADDITIONAL GEOTECHNICAL OR SURVEY DATA HE DEEMS NECESSARY TO COMPLETE AN ACCURATE ESTIMATE OF EARTHWORK QUANTITIES.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR BALANCING SITE MATERIALS. IF ONSITE EXCAVATION AND BORROW OPERATIONS DO NOT PROVIDE ENOUGH SUITABLE MATERIAL FOR FILL AREAS, THE CONTRACTOR SHALL COORDINATE AND PAY FOR EXCAVATION, TRANSPORT AND PLACEMENT OF IMPORTED MATERIAL MEETING THE SPECIFICATIONS OF THE CONTRACT DOCUMENTS. IF EXCAVATION RESULTS IN EXCESS MATERIALS, THE CONTRACTOR SHALL PROVIDE AND PAY FOR LOADING, TRANSPORT AND OFF-SITE DISPOSAL OF EXCESS MATERIALS.
- PROPOSED INFILTRATION BASIN AREAS SHALL BE PROTECTED FROM VEHICULAR TRAFFIC AND HEAVY EQUIPMENT. ALL EXISTING SOILS INFILTRATION CHARACTERISTICS SHALL BE MAINTAINED TO THE MAXIMUM EXTENT PRACTICABLE. INFILTRATION BASIN SHALL BE CLEANED OUT AND BROUGHT BACK TO ORIGINAL CONDITION IF ANY DISTURBANCE TAKES PLACE OR ANY SEDIMENT IS DEPOSITED WITHIN THE INFILTRATION BASIN. IN ADDITION, COMPACTION MITIGATION TECHNIQUES SHALL BE PERFORMED ON CONSTRUCTED INFILTRATION BASIN BOTTOM AFTER BASIN IS GRADED TO FINISHED GRADE. INFILTRATION BASIN BOTTOM SHALL BE DEEP TILLED 3 FT DEEP AT 5 FT SPACING, FOLLOWED BY CHISEL PLOWING 12 INCHES DEEP. THIS WILL BE DEPENDENT ON SOIL TYPE AND DEGREE OF COMPACTION.

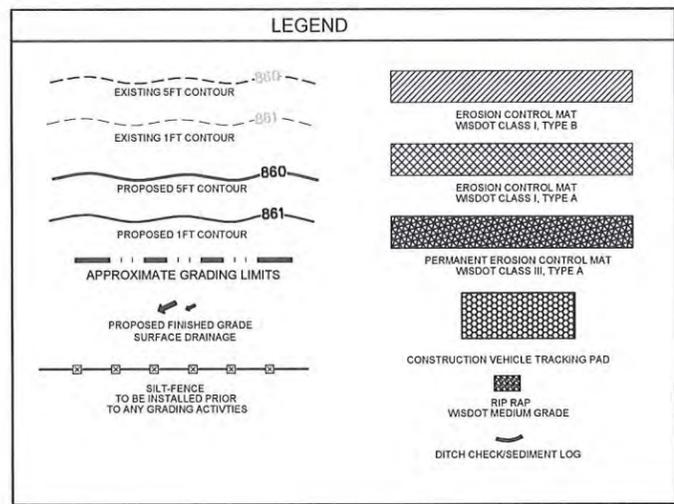
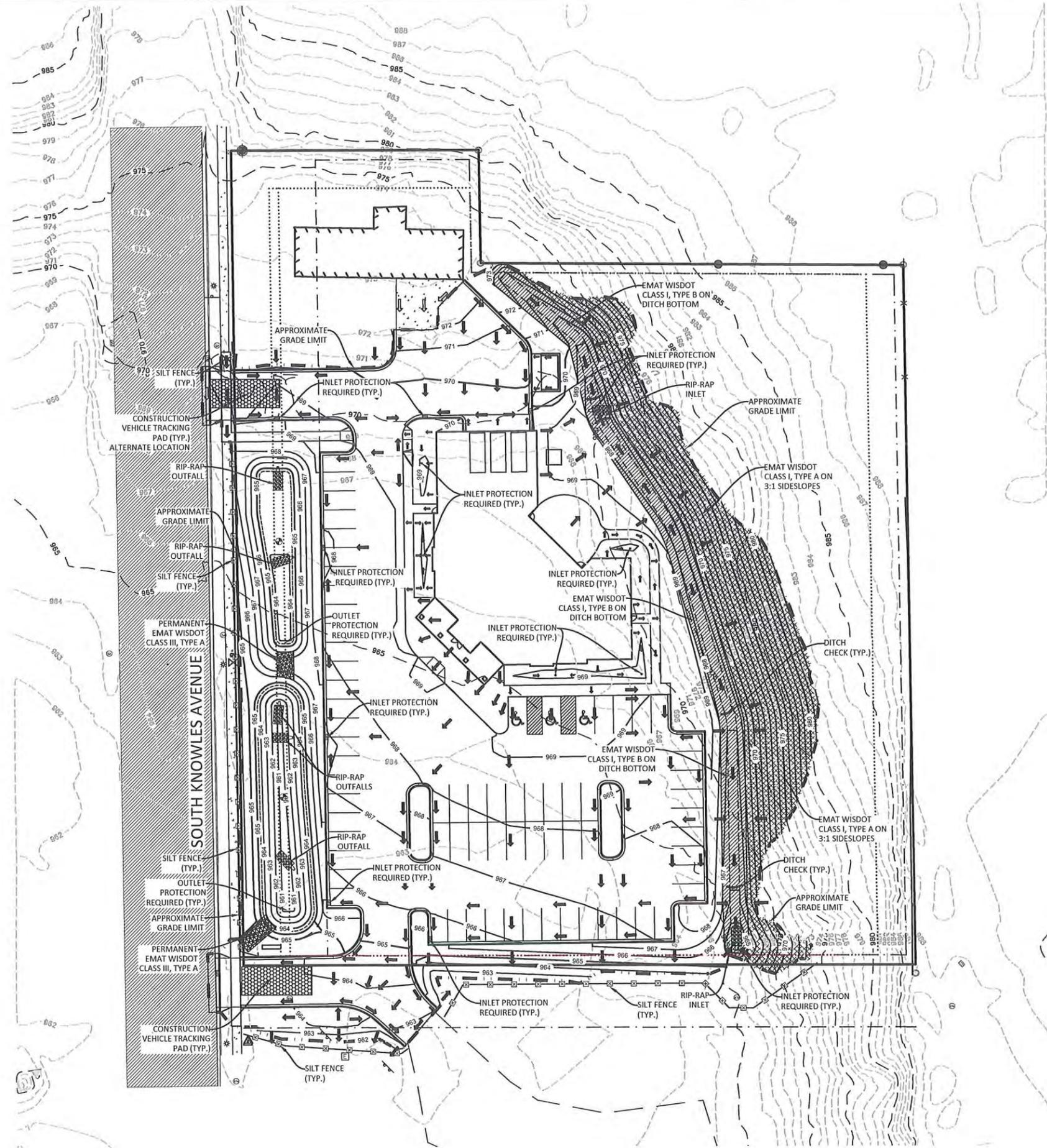
### LEGEND

- EXISTING 5FT CONTOURS
- EXISTING 1FT CONTOURS
- EXISTING 5FT CONTOURS
- EXISTING 1FT CONTOURS
- PROPERTY LINE
- APPROXIMATE GRADING LIMITS
- PROPOSED BUILDINGS
- PROPOSED FINISHED GRADE SPOT ELEVATIONS (ALL CURB SPOT ELEVATION SHOWN ARE AT CURB FLOWLINE UNLESS OTHERWISE NOTED)
- PROPOSED FINISHED GRADE SURFACE DRAINAGE
- H.P. = HIGH POINT GRADE ELEVATION
- L.P. = LOW POINT GRADE ELEVATION
- F.F.E. = FINISHED FLOOR ELEVATION



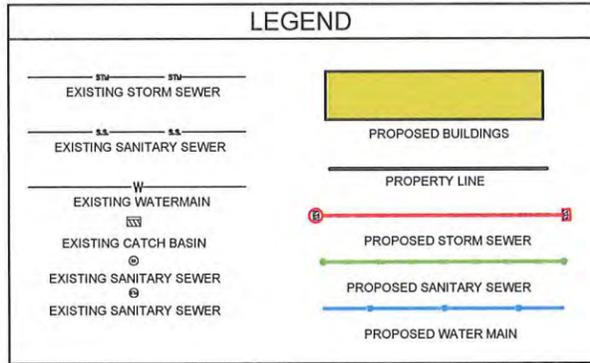
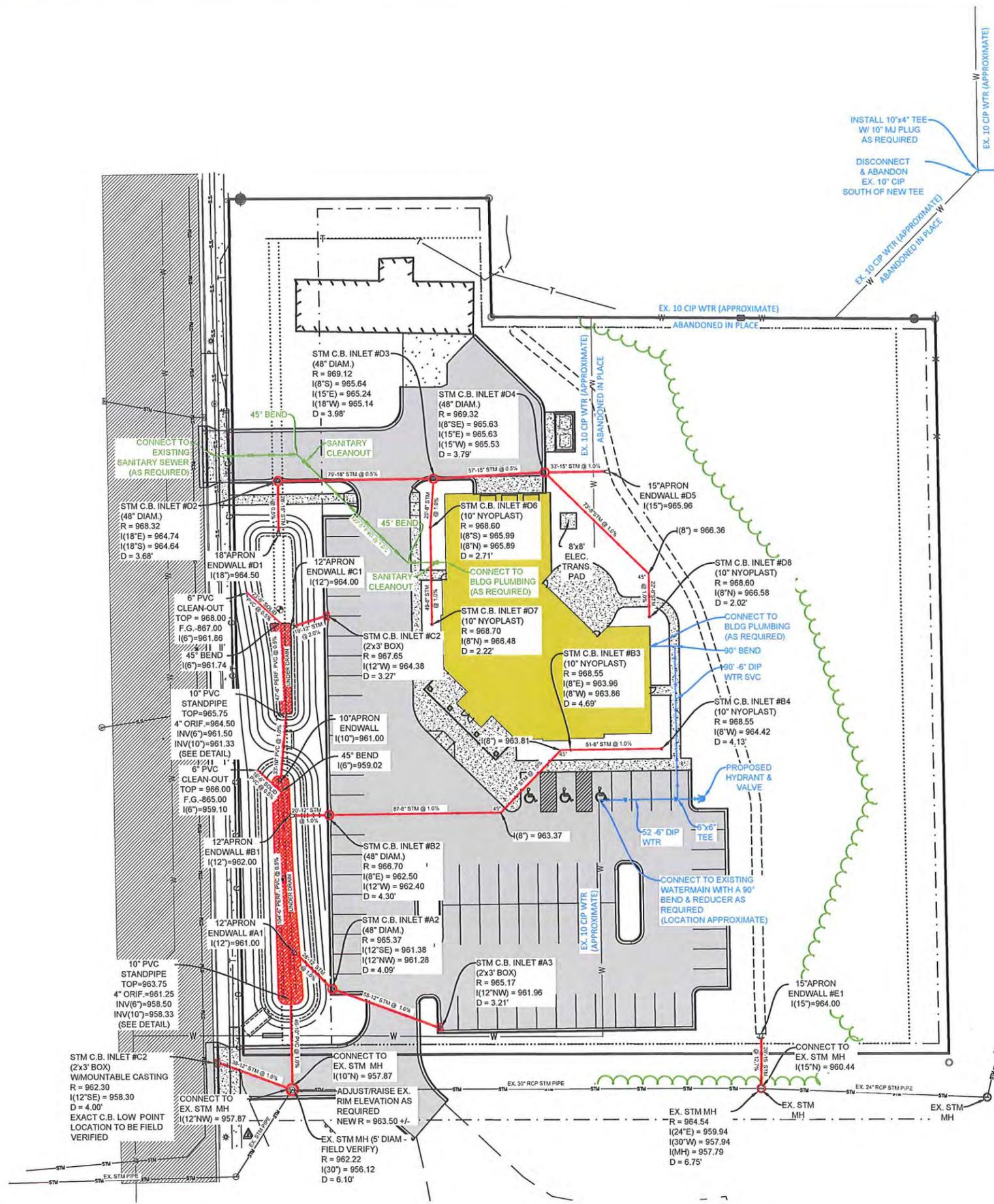
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CITY:	CITY OF NEW RICHMOND, ST. CROIX COUNTY, WI
SHEET NO.:	C4.0
DATE:	06/24/16
REVISION:	
REVISED PER CITY COMMENTS:	MDH 08/17/16
RELEASED FOR REVIEW:	MDH 07/14/16
RELEASED FOR REVIEW:	MDH 07/07/16
NAME:	
REVISION DESCRIPTION:	
DRAWN BY:	DCK
CHECKED BY:	KLJ
DATE:	06/24/16
DWG FILE:	3287-001-C40-000.dwg
REF FILE:	5287-001
JOB NUMBER:	5287-001

**ACa**  
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 408 Technology Drive East  
 Suite A  
 Menomonie, WI 54751  
 Tel 715-232-8400  
 Fax 715-381-5277  
 authconsulting.com



- ### EROSION CONTROL NOTES
1. EROSION CONTROL DEVICES SHALL BE IN PLACE BEFORE BEGINNING ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ACTIVITIES AND CONTINUOUSLY MAINTAINED.
  2. INSTALL CONSTRUCTION VEHICULAR TRACKING PAD AT ENTRANCE/EXIT OF PROJECT SITE. SEE DETAIL SHEETS FOR INSTALLATION REQUIREMENTS.
  3. INSTALL SILT FENCE AS SHOWN ON PLAN OR AS DIRECTED BY THE ENGINEER. SEE DETAIL SHEETS FOR SILT FENCE INSTALLATION. SILT FENCE SHALL BE MAINTAINED IN ACCORDANCE WITH SECTION 628 EROSION CONTROL OF THE WISCONSIN DOT STANDARD SPECIFICATIONS
  4. INSTALL SEDIMENT LOGS AT ALL DITCH INLETS AND ANY OTHER LOCATIONS SHOWN ON PLAN OR AS DIRECTED BY THE ENGINEER. SEE DETAIL SHEETS FOR SEDIMENT LOG INSTALLATION.
  5. ALL DITCH CHECKS ARE TO BE SEDIMENT LOGS. SEE DETAIL SHEETS FOR SEDIMENT LOG INSTALLATION.
  6. ALL DISTURBED AREAS SHALL BE SEEDDED AND MULCHED IMMEDIATELY AFTER FINAL GRADE IS ESTABLISHED IN ANY PARTICULAR AREA.
  7. RIP-RAP TO BE WISDOT MEDIUM GRADE, OR APPROVED EQUAL, 24"(MIN.) DEPTH WITH GEOTEXTILE FABRIC AT 90° TO DIRECTION OF FLOW.
  8. PERMANENT EROSION MAT SHALL BE WISCONSIN DOT CLASS III, TYPE A. SEE DETAIL SHEETS FOR INSTALLATION.
  9. ALL DISTURBED SLOPES IN EXCESS OF 4:1 SHALL BE SEEDDED AND PROTECTED WITH EROSION MAT(WISDOT CLASS I TYPE A) OR SHALL BE SODDED AND STAKED OR HYDROSEEDDED AS AN ALTERNATIVE.
  10. SEED MIXTURE FOR CONSTRUCTED BIO-FILTRATION BASINS SHALL BE We&DO SEED MIX #80, UNLESS OTHERWISE NOTED ON LANDSCAPE PLAN. SEE DETAIL SHEETS FOR SEED MIXTURE.
  11. TEMPORARY SEED SHOULD BE APPLIED, IF CONSTRUCTION EXTENDS PAST SEPTEMBER 1ST, OF ANNUAL RYEGRASS AND OATS AT THE RATE OF 5 POUNDS PER 1000 S.F. OF AREA AND LEFT OVER WINTER. PERMANENT SEEDING SHALL BE COMPLETED THE FOLLOWING SPRING. IF TEMPORARY SEEDING CANNOT BE COMPLETED BEFORE WINTER FREEZE UP THEN ALL DISTURBED AREAS SHALL BE MULCHED AT A RATE OF 3 TONS PER ACRE AND ANCHORED ACCORDING TO THE WDNR TECHNICAL STANDARD-(1058) 'MULCHING FOR CONSTRUCTION SITES.' PERMANENT SEEDING SHALL BE COMPLETED THE FOLLOWING SPRING.
  12. ALL EROSION CONTROL MEASURES SHALL BE LEFT IN PLACE AND MAINTAINED UNTIL RESTORATION ON SITE HAS BEEN ESTABLISHED (A MINIMUM OF 70% VEGETATION TYP.).
  13. ANY SOIL STOCKPILES WHICH ARE LEFT MORE THAN 7 DAYS MUST BE PROTECTED BY SEEDING AND MULCHING, EROSION MAT, SILT FENCING, COVERING OR OTHER APPROVED METHODS. THIS DOES NOT INCLUDE FILL OR TOPSOIL PILES THAT ARE IN ACTIVE USE.
  14. SITE WATERING SHALL TAKE PLACE AS CONSTRUCTION AND WEATHER CONDITIONS WARRANT TO MINIMIZE DUST POLLUTION FROM LEAVING THE SITE.
  15. SITE MONITORING OF EROSION AND SEDIMENT CONTROL PRACTICES FOR MAINTENANCE NEEDS SHALL BE COMPLETED AT THE INTERVALS SPECIFIED UNTIL THE SITE IS STABILIZED. SITE MONITORING SHALL OCCUR AT LEAST WEEKLY OR WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. A RAINFALL EVENT SHALL BE CONSIDERED TO BE THE TOTAL AMOUNT OF RAINFALL RECORDED IN ANY CONTINUOUS 24 HOUR PERIOD. MONITORING RECORDS SHALL BE KEPT AND CONTAIN, AT A MINIMUM, THE CONDITION OF THE EROSION AND SEDIMENT CONTROL PRACTICES AT THE INTERVALS SPECIFIED AND A DESCRIPTION OF THE MAINTENANCE CONDUCTED TO REPAIR OR REPLACE EROSION AND SEDIMENT CONTROL PRACTICES.
  16. OFF-SITE SEDIMENT DEPOSITION RESULTING FROM THE FAILURE OF AN EROSION OR SEDIMENT CONTROL PRACTICE SHALL BE CLEANED UP WITHIN 24 HOURS. OFF-SITE SEDIMENT DEPOSITION RESULTING FROM CONSTRUCTION ACTIVITY THAT CREATES A NUISANCE, SHALL BE CLEANED UP BY THE END OF THE WORK DAY. IF THE FAILURE OF EROSION OR SEDIMENT CONTROL PRACTICES RESULT IN AN IMMEDIATE THREAT OF SEDIMENT ENTERING PUBLIC SEWERS OR THE WATERS OF THE STATE, PROCEDURES SHALL BE IMPLEMENTED IMMEDIATELY TO REPAIR OR REPLACE THE PRACTICES. SCRAPING OF THE STREET SHALL BE COMPLETED WITHIN 4 HOURS AND STREET SWEEPING WITHIN 24 HOURS.
  17. THE ENGINEERED SOILS AND UNDERDRAINS IN THE BIOFILTRATION AREAS MUST BE PROTECTED FROM SEDIMENT AT ALL TIMES THROUGHOUT CONSTRUCTION. IT IS RECOMMENDED THAT THE INSTALLATION OF ALL ENGINEERED SOILS AND UNDERDRAINS ARE INSTALLED/CONSTRUCTED AFTER ALL UPSTREAM CONTRIBUTING DRAINAGE AREAS ARE PAVED AND FULLY RESTORED.

DRAWN BY: DCK	CHECKED BY: KLJ	DATE: 06/24/16	DWG FILE: 5287-001-CS-0-000	REVISED PER CITY COMMENTS: MDH 08/17/16	RELEASED FOR REVIEW: MDH 07/14/16	RELEASED FOR REVIEW: MDH 07/07/16	NAME: DATE:
DRAWING PHASE: OWNER REVIEW	AGENCY REVIEW	BID DOCUMENT	FOR CONSTRUCTION	AS-BUILT DOCUMENT	JOB NUMBER: 5287-001	JOB NUMBER: 5287-001	JOB NUMBER: 5287-001
<small>PROJECT OFFICE</small> 2820 Baber Street Suite 101 Indiana, WI 54016 Tel 715-381-3277		<small>COMPANY OFFICE</small> 408 Technology Drive East Suite A Menomonee, WI 54751 Tel 715-282-8480		<small>authconsulting.com</small> 			
<b>Auth-Consulting/associates</b> <small>Soil Remediation &amp; Investigation of E.C.A.</small>							
PROJECT: <b>BAKKEN YOUNG FUNERAL HOME</b> CITY OF NEW RICHMOND, ST. CROIX COUNTY, WI SHEET NO. <b>C5.0</b>							
<b>EROSION CONTROL PLAN</b>							



- ### GENERAL UTILITY NOTES
1. CONTRACTOR TO FIELD VERIFY AND LOCATE ALL EXISTING UTILITIES PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION.
  2. CONTRACTOR TO COORDINATE RELOCATION OF ANY SMALL UTILITIES, IF NECESSARY.
  3. CONTRACTOR TO OBTAIN PERMISSION/PERMIT FROM THE CITY TO WORK IN RIGHT-OF-WAY PRIOR TO ANY WORK BEING PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY. ANY REQUIRED LANE CLOSURES OR TRAFFIC CONTROL SIGNAGE IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE COORDINATED WITH CITY STAFF, AS REQUIRED.
  4. VERIFY SANITARY SERVICE AND WATER SERVICE CONNECTION POINTS AND SIZES WITH STATE APPROVED BUILDING PLUMBING PLANS, PRIOR TO ANY INSTALLATIONS.

- ### SANITARY SEWER NOTES
1. 8" SANITARY SEWER LATERAL TO BE INSTALLED AT A MIN OF 0.5%.
  2. SANITARY SEWER LATERAL PIPE TO BE PVC SCHEDULE 40 PIPING.
  3. VERIFY SANITARY SERVICE BUILDING CONNECTION LOCATION AND SIZE WITH STATE APPROVED BUILDING PLUMBING PLANS, PRIOR TO INSTALLING ANY SANITARY SERVICE.
  4. SANITARY SEWER LATERAL SHALL BE INSTALLED WITH A GREEN 18 GAGE TRACER WIRE, PER SPS 382 REQUIREMENTS.
  5. CONTRACTOR TO FIELD VERIFY/LOCATE AND UTILIZE THE EXISTING SANITARY SERVICE STUB FOR THE PROPOSED SANITARY SERVICE CONNECTION. CONTRACTOR TO FIELD VERIFY EXISTING SANITARY SEWER INVERT ELEVATION.

- ### WATER SERVICE NOTES
1. MAINTAIN 8.0' MINIMUM COVER OVER WATER SERVICE LATERAL.
  2. VERIFY WATER SERVICE BUILDING CONNECTION LOCATION AND SIZE WITH STATE APPROVED BUILDING PLUMBING PLANS, PRIOR TO INSTALLING ANY WATER SERVICE.
  3. CONTRACTOR TO FIELD VERIFY/LOCATE AND UTILIZE THE EXISTING WATER SERVICE STUB FOR THE PROPOSED WATERMAIN SERVICE CONNECTION.
  4. ALL JOINTS IN WATER LATERAL SHALL BE RESTRAINED. ALL BENDS IN THE WATER LATERAL SHALL BE BUTTRESSED.

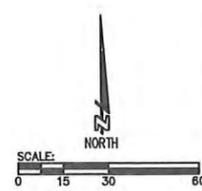
- ### STORM SEWER NOTES
1. ALL EXTERIOR STORM SEWER PIPING SHALL BE HDPE DUAL WALL SMOOTH INTERIOR WITH WATERTIGHT JOINTS OR APPROVED EQUIVALENT, UNLESS NOTED OTHERWISE.
  2. IF RCP STORM SEWER IS USED IN PLACE OF HDPE, ALL "RCP" STORM SEWER PIPING SHALL BE CLASS 3 RCP PIPING OR APPROVED EQUIVALENT.
  3. ALL PIPE LENGTHS INCLUDE APRON ENDWALLS.
  4. ALL EXTERIOR STORM SEWER PIPE SHALL BE INSTALLED WITH A BROWN 18 GAGE TRACER WIRE, WHEN APPLICABLE PER SPS 382 REQUIREMENTS.

PROJECT:	BAKKEN YOUNG FUNERAL HOME
CITY:	CITY OF NEW RICHMOND, ST. CROIX COUNTY, WI
DATE:	08/17/16
REVISION:	MDH 07/14/16
REVISION:	MDH 07/14/16
REVISION:	MDH 07/07/16

DRAWN BY:	DKC
CHECKED BY:	KLJ
DATE:	06/24/16
DWG FILE:	5287-001-05.0-00
FOR CONSTRUCTION:	5287-001
AS-BUILT DOCUMENT:	5287-001

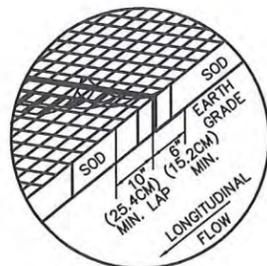
**AC/a**  
 AUTH CONSULTING / ASSOCIATES  
 2800 Police Street  
 Suite 101  
 Madison, WI 53718  
 Tel: 715-282-8400  
 Fax: 715-281-5277  
 www.authconsulting.com

PROJECT: **BAKKEN YOUNG FUNERAL HOME**  
 CITY OF NEW RICHMOND, ST. CROIX COUNTY, WI  
 SHEET NO. **C6.0**  
 UTILITY PLAN

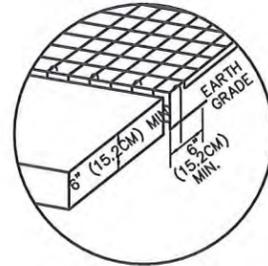




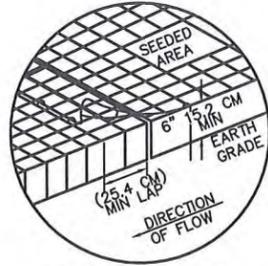




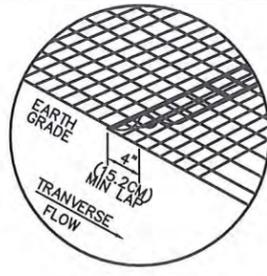
JUNCTION SLOT  
SOD ONLY  
DETAIL A  
N.T.S.



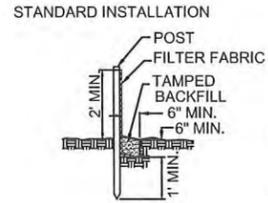
ANCHOR SLOT  
AT BEGINNING AND END OF EROSION MAT  
DETAIL B  
N.T.S.



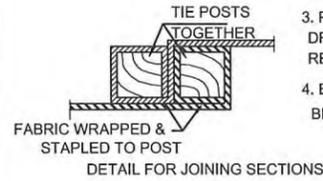
JUNCTION SLOT  
SEED ONLY  
DETAIL C  
N.T.S.



LAP JOINT  
SEED AND SOD  
DETAIL D  
N.T.S.



- NOTES:
1. MIN. 2"x2" POST TO BE SPACED AT A MAX. OF 5'.
  2. FILTER FABRIC TO BE MIRAFI 100 OR EQUAL.
  3. POSTS DAMAGED ON DRIVING SHALL BE REPLACED.
  4. EROSION CONTROL SHALL BE MAINTAINED DAILY.



DETAIL FOR INSTALLATION  
OF EROSION FENCE  
N.T.S.

**GENERAL NOTES EROSION MAT**

DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.

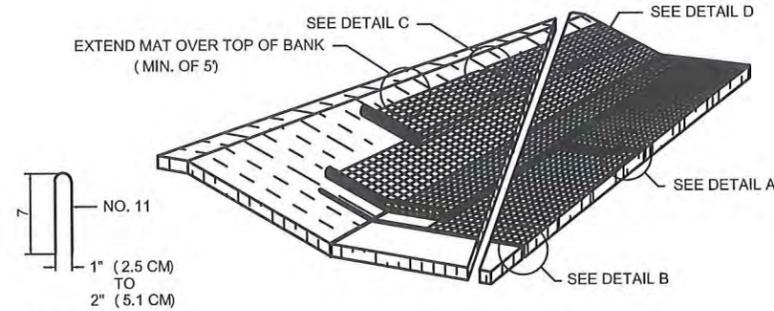
LAP JOINTS SHALL NOT BE PLACED IN THE BOTTOM OF V-SHAPED DITCHES.

JUNCTION SLOTS ON ADJACENT STRIPS OF MATTING SHALL BE STAGGERED A MINIMUM OF 4 FEET (1.219 m) APART.

EDGES OF THE EROSION MAT SHALL BE IMPRESSED IN THE SOIL.

EROSION MAT OVER SEEDING AT JUNCTION OR ANCHOR SLOTS SHALL BE AT MINIMUM INTERVALS OF 50 FEET.

STAPLE INSTALLATION AND PATTERNS SHALL COMPLY WITH EROSION MAT MANUFACTURER'S SPECIFICATIONS.



DETAIL OF  
TYPICAL STAPLE

- \* 6" (15.2 CM MIN. FOR LOOSE SOILS)
- 12" (30.5 CM MIN FOR LOOSE SOILS)
- 8" (20.3 CM MIN WHERE BOTH SOD AND MATS ARE BEING USED)

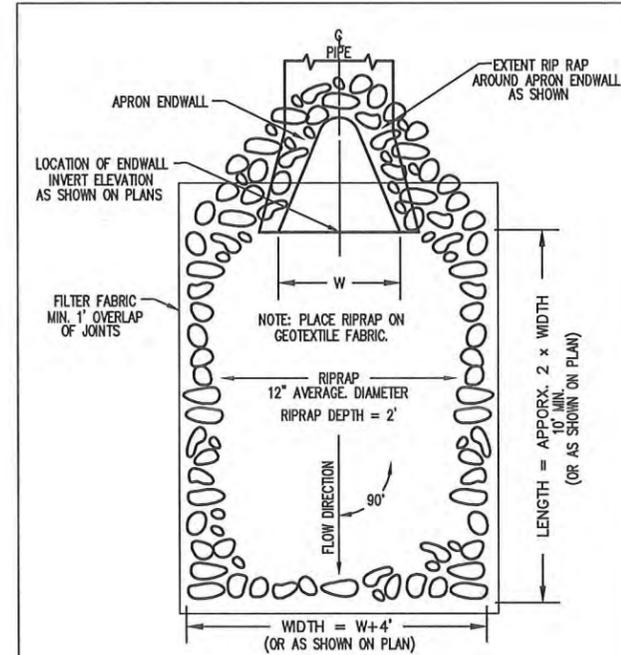
EROSION CONTROL MAT  
N.T.S.

Seed Mix Number	Areas of Use	Species	Mixture Proportions %	Seeding Rate
80	Inslopes where salt tolerant seed mix containing native grass is desired	Sideoats Grama Canada Wildrye Slender Wheatgrass Annual Ryegrass Switchgrass Salt Grass Little Bluestem	25 23 20 10 10 2 10	0.8 lbs/ 1000 sq.ft OR 35 lbs/acre

Seed Mix Number	Areas of Use	Species	Mixture Proportions %	Seeding Rate
20	Light, dry, well-drained, sandy, or gravelly soils and high cut & fill slopes	Kentucky Bluegrass Hard Fescue Tall Fescue Perennial Ryegrass	6 24 40 30	3 lbs/ 1000 sq.ft OR 130 lbs/acre

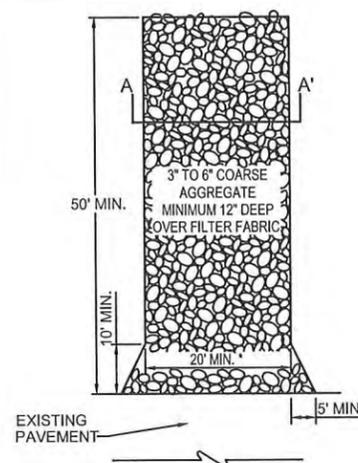
Note: See Wisconsin Department of Transportation standard specification section 630-seeding for additional information.

SEED MIXTURES

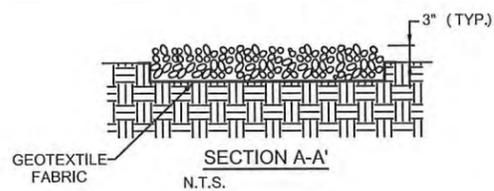


RIPRAP @ ENDWALL  
N.T.S.

LAY GEOTEXTILE FABRIC AT 90° TO FLOW. START FABRIC AT LOW END OF AREA AND OVERLAP SECTIONS AS WORK PROCEEDS UPHILL.



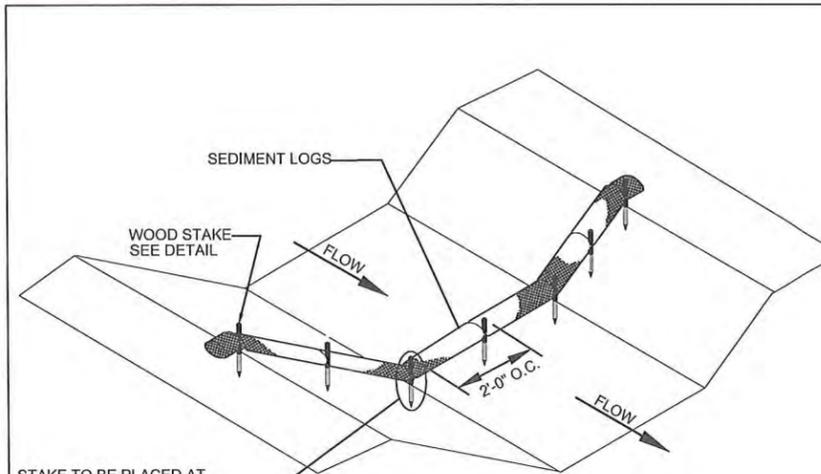
VEHICULAR TRACKING ENTRANCE  
N.T.S.



\* MUST EXTEND FULL WIDTH OF INGRESS AND EGRESS OPENING.

**NOTES:**

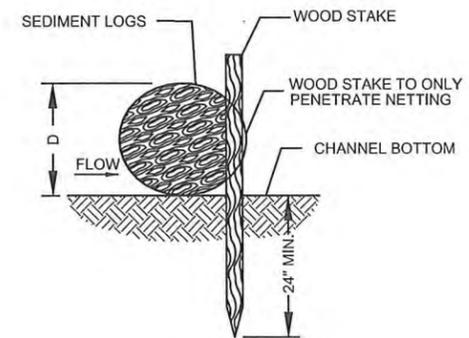
1. TRACKING ENTRANCE SHALL BE INSPECTED DAILY. DEFICIENT AREAS SHALL BE REPAIRED OR REPLACED IMMEDIATELY. THIS WORK SHALL BE INCIDENTAL TO THE CONTRACT.
2. STONE SHALL BE REMOVED AND REPLACED WHEN SOIL FILLS OPENINGS AND/OR DIRECTED BY THE ENGINEER. THIS WORK SHALL BE INCIDENTAL TO THE CONTRACT.
3. EXISTING PAVEMENT SHALL BE INSPECTED AND CLEANED AT LEAST DAILY. THIS WORK SHALL BE INCIDENTAL TO THE CONTRACT.



STAKE TO BE PLACED AT TOE OF SLOPE, BOTH SIDES

SEDIMENT LOGS  
N.T.S.

$$\left[ \frac{\text{DISTANCE BETWEEN CHANNEL BOTTOM AND TOP OF INSTALLED SEDIMENT LOGS (D) (FT)}}{\text{CHANNEL GRADIENT (\%)}} \right] \times 100 = \text{SEDIMENT LOGS SPACING (FT)}$$



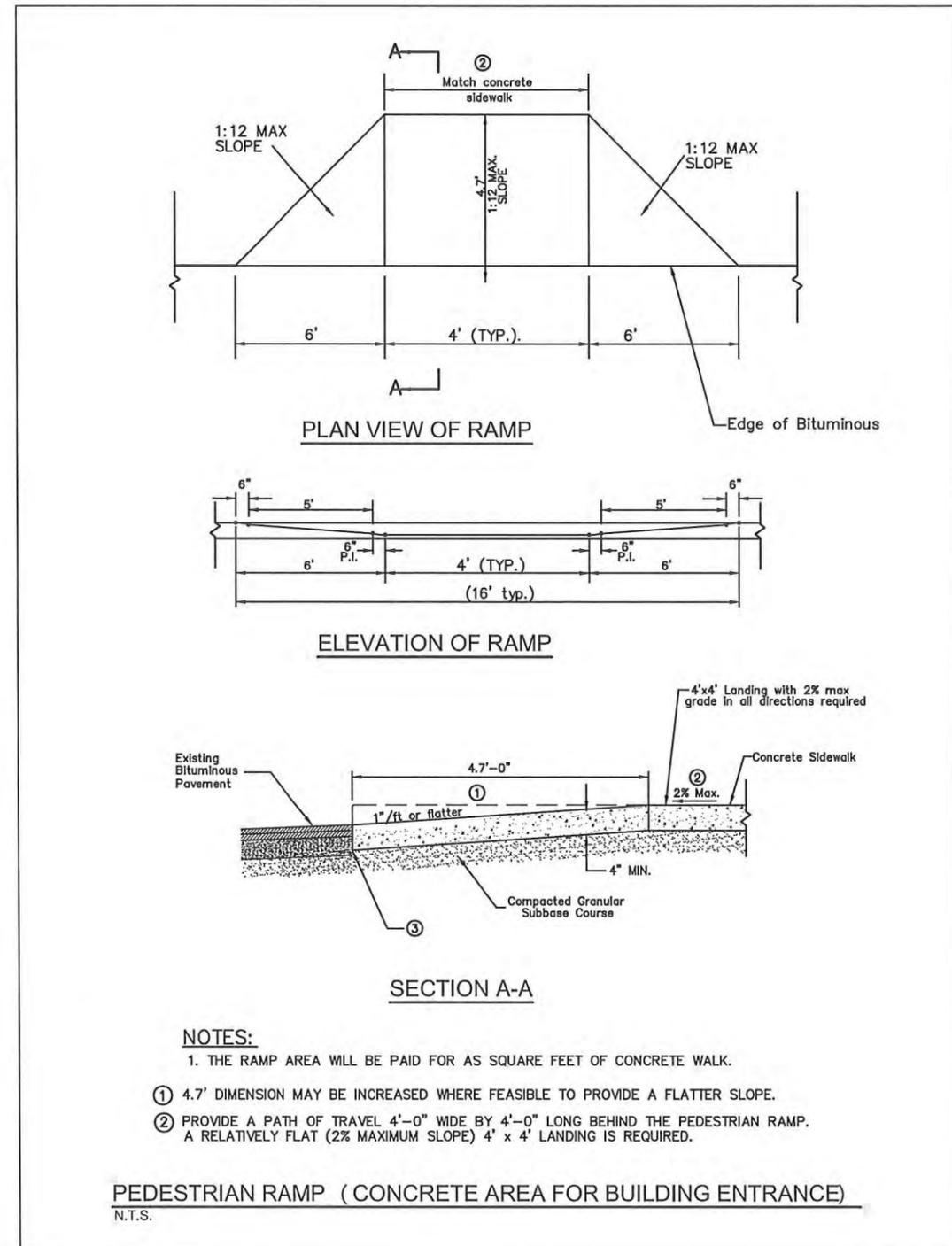
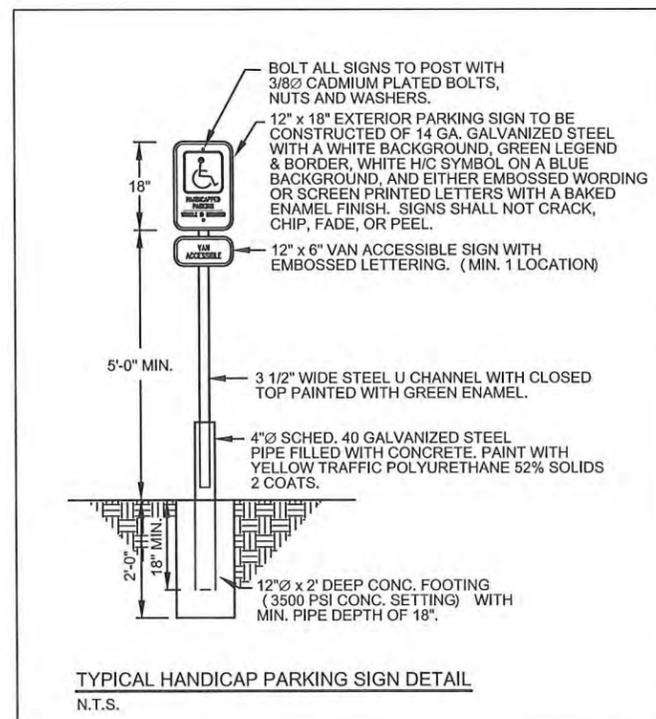
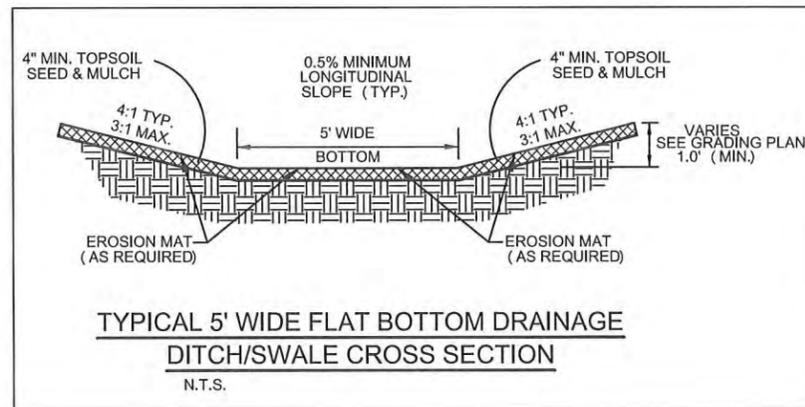
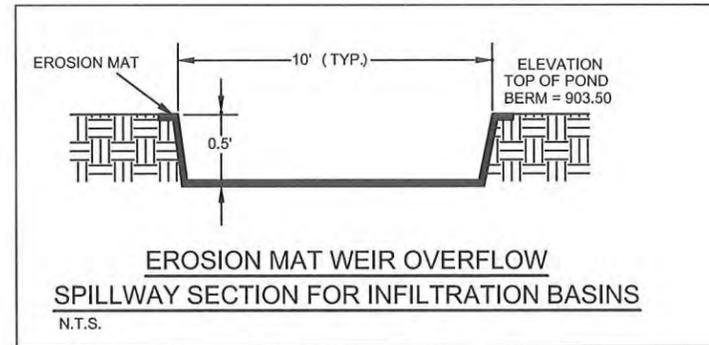
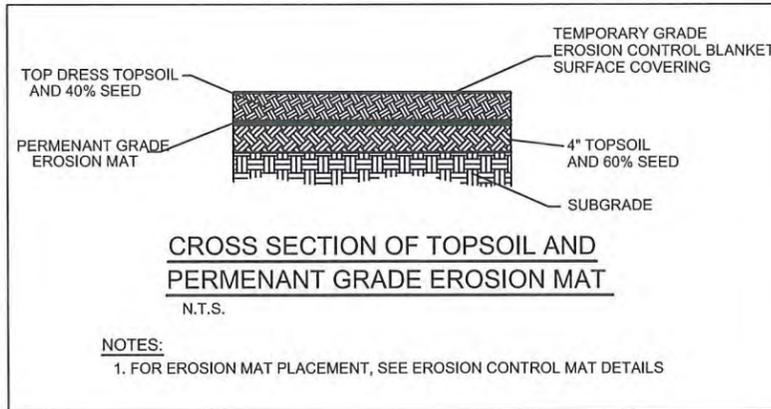
STAKE DETAILS  
N.T.S.

PROJECT:	DATE:	06/17/16
DRAWN BY: DCK	CHECKED BY: KLJ	07/14/16
OWNER REVIEW	AGENCY REVIEW	
BID DOCUMENT	FOR CONSTRUCTION	
AS-BUILT DOCUMENT	JOB NUMBER: 5287-001	
REVISED PER CITY COMMENTS	MDH	06/17/16
RELEASED FOR REVIEW	MDH	07/14/16
REVISION DESCRIPTION:	NAME:	

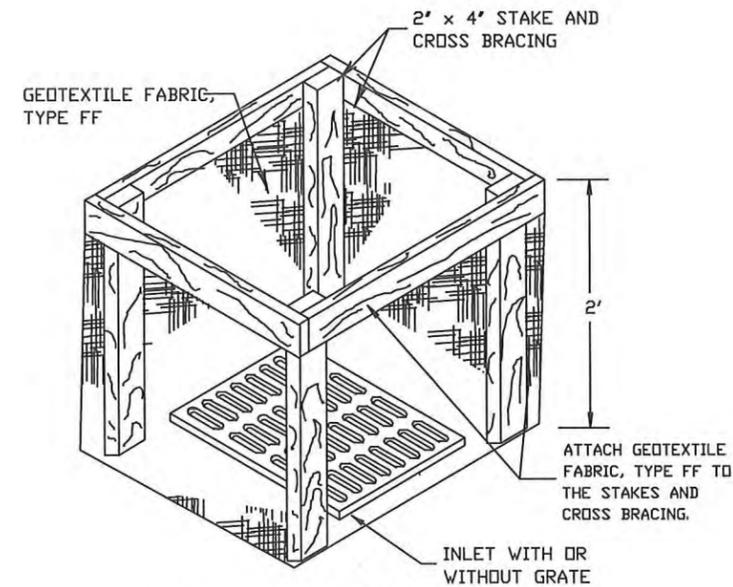
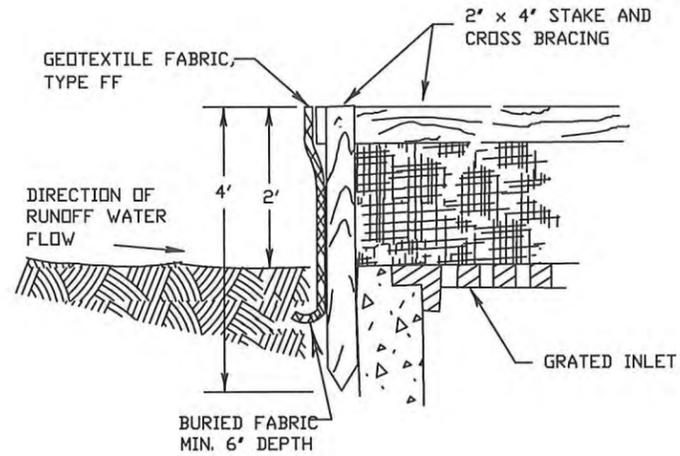
PROJECT OFFICE  
 2800 Tube Street  
 Suite 101  
 Hudson, WI 54016  
 Tel 715-881-8277  
 authconsulting.com

CORPORATE OFFICE  
 408 Technology Drive East  
 Suite A  
 Menomonee, WI 54751  
 Tel 715-282-8900  
 authconsulting.com

**Auth-Consulting/associates**  
 Soil Erosion Surveying a division of A-Ca



PROJECT:	BAKKEN YOUNG FUNERAL HOME	DATE:	06/17/16
SHEET NO.:	C7.3	NAME:	MDH 07/14/16
DRAWING PHASE:	DRAWN BY: DCK CHECKED BY: KLJ DATE: 06/24/16 DWS FILE: 5287-01-C7.3-Details	REVISION DESCRIPTION:	MDH 07/14/16
OWNER REVIEW:	AGENCY REVIEW:	FOR CONSTRUCTION:	AS-BUILT DOCUMENT:
2820 Fisher Street Suite 101 Madison, WI 53705 Tel 715-981-5277 autobconsulting.com	605 Technology Drive East Suite A Menomonie, WI 54751 Tel 715-232-6400 autobconsulting.com	Auth-Consulting/associates Soil Land Surveying a division of A-C/A	JOB NUMBER: 5287-001



INLET PROTECTION, TYPE A

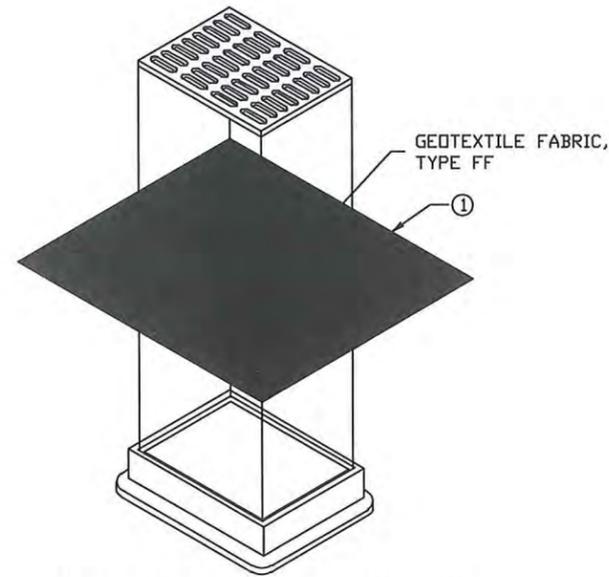
**GENERAL NOTES**

INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.

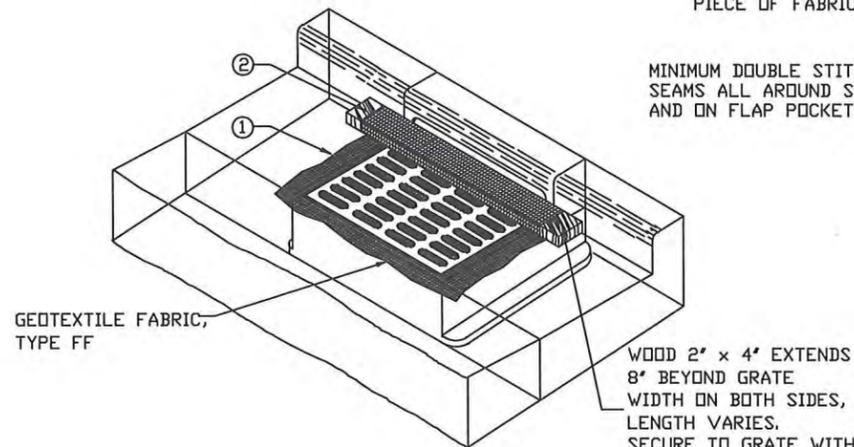
MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

- ① FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10' AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- ② FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
- ③ FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.



INLET PROTECTION, TYPE B  
(WITHOUT CURB BOX)  
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)



INLET PROTECTION, TYPE C (WITH CURB BOX)

**INSTALLATION NOTES**

**TYPE B & C**

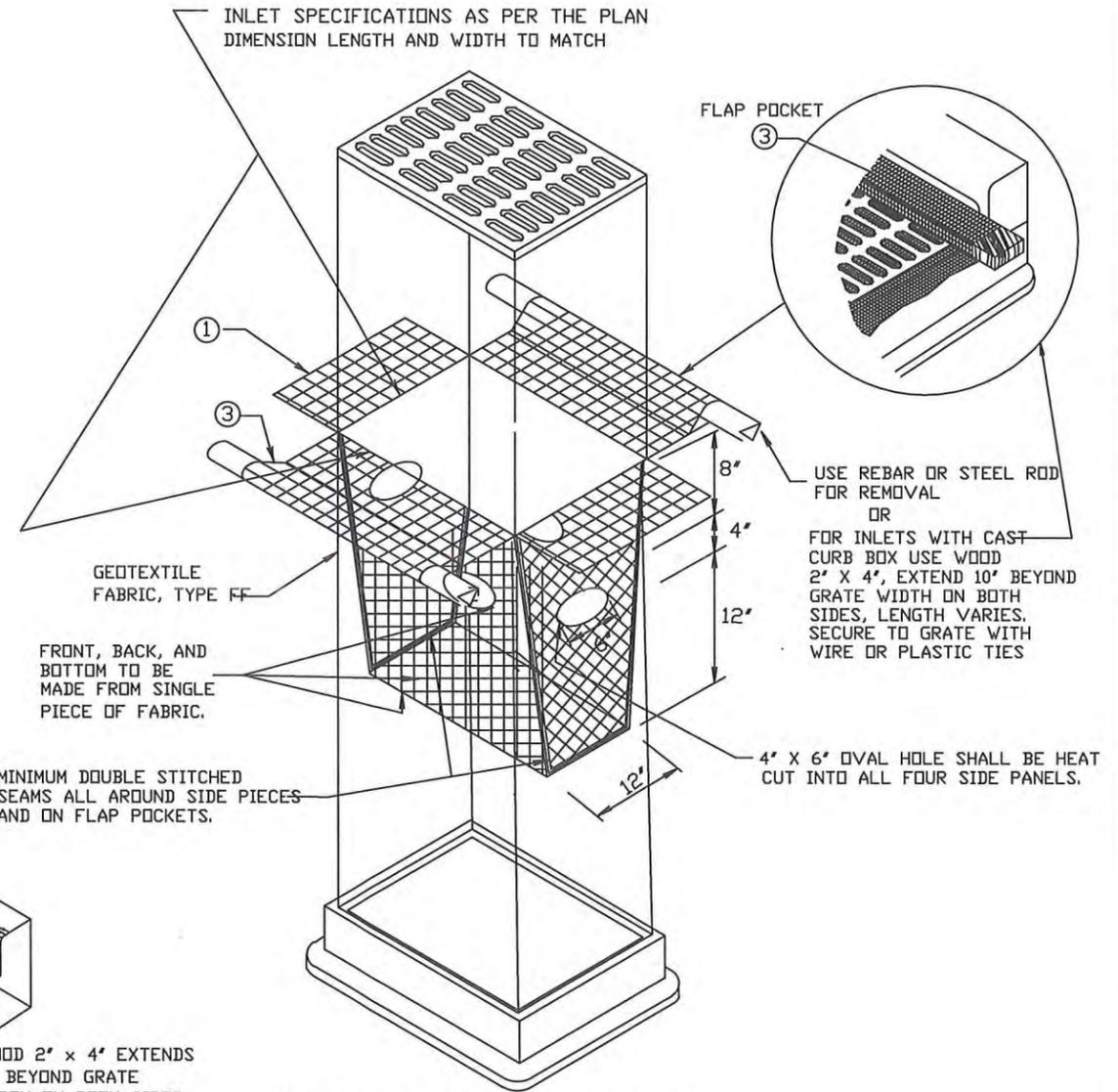
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3' OF THE GRATE.  
THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

**TYPE D**

DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3' OF THE GRATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4' FROM THE BOTTOM OF THE BAG.



INLET PROTECTION, TYPE D  
(CAN BE INSTALLED IN ANY INLET TYPE WITH OR WITHOUT A CURB BOX AS PER NOTE ②)

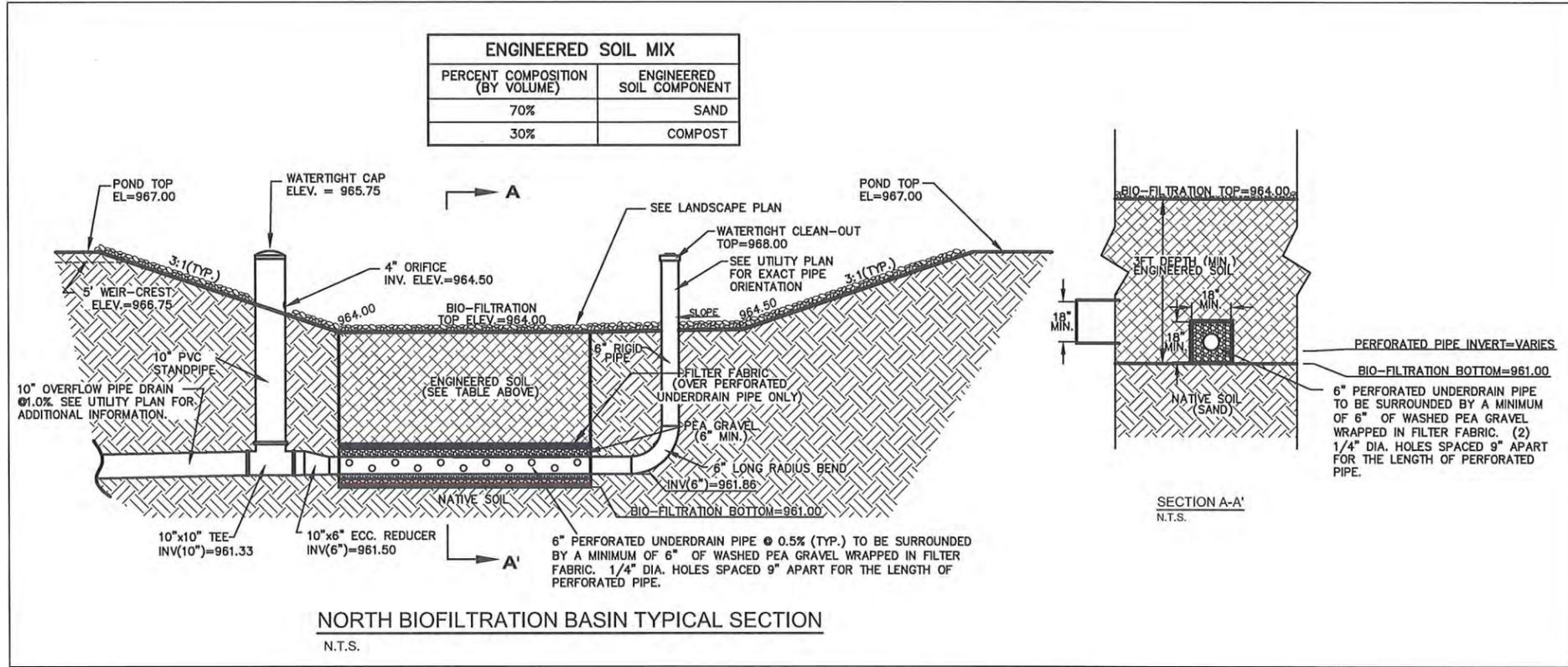
PROJECT:	BAKKEN YOUNG FUNERAL HOME	DATE:	06/17/16
CITY:	CITY OF NEW RICHMOND, ST. CROIX COUNTY, WI	REVISION:	07/14/16
SHEET NO.:	C7.4	NAME:	MDH
		DESCRIPTION:	MDH
		REVISION:	5287-001
		JOB NUMBER:	5287-001
		AS-BUILT DOCUMENT:	AS-BUILT DOCUMENT
		FOR CONSTRUCTION:	FOR CONSTRUCTION
		BID DOCUMENT:	BID DOCUMENT
		AGENCY REVIEW:	AGENCY REVIEW
		OWNER REVIEW:	OWNER REVIEW
		DRAWN BY:	DCK
		CHECKED BY:	KLJ
		DATE:	06/24/16
		DWG FILE:	5287-001-C7.4-Details
		REVISED PER CITY COMMENTS:	MDH
		RELEASED FOR REVIEW:	MDH
		REVISION DESCRIPTION:	NAME
		DATE:	DATE

**PROJECT OFFICE**  
2024 Fisher Street  
Suite 100  
Madison, WI 53706  
Tel: 715-881-5277

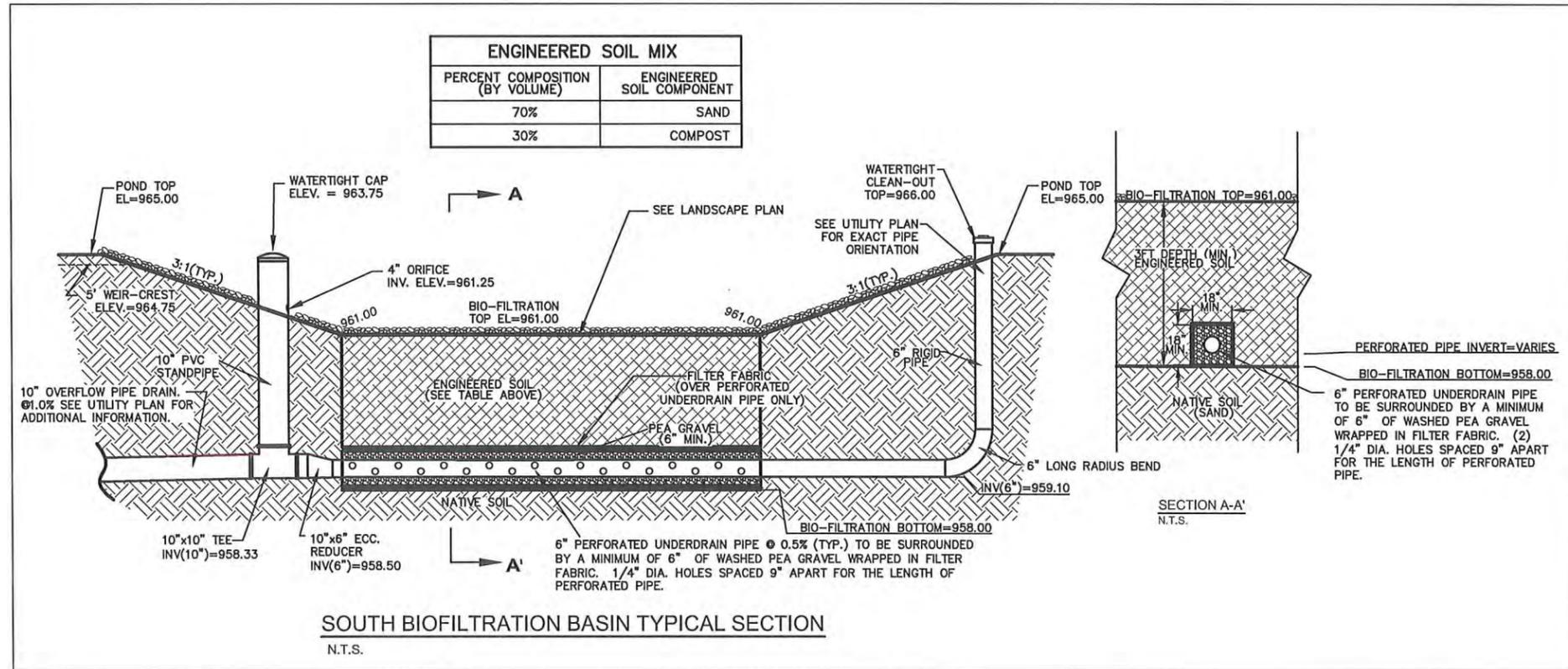
**CORPORATE OFFICE**  
405 Technology Drive East  
Suite 100  
Menomonee Falls, WI 54951  
Tel: 715-532-9400

**authconsulting.com**

**A.C.A.**  
Auth-Consulting/associates  
Soil Land Surveying a division of A-C/A



**NORTH BIOFILTRATION BASIN TYPICAL SECTION**  
N.T.S.



**SOUTH BIOFILTRATION BASIN TYPICAL SECTION**  
N.T.S.

PROJECT: <b>BAKKEN YOUNG FUNERAL HOME</b> CITY OF NEW RICHMOND, ST. CROIX COUNTY, WI	SHEET NO. <b>C7.5</b>	DETAILS	DRAWING PHASE: DCK OWNER REVIEW AGENCY REVIEW BID DOCUMENT FOR CONSTRUCTION AS-BUILT DOCUMENT	DRAWN BY: DCK CHECKED BY: KJLJ DATE: 06/24/16 DWS FILE: 5287-001-C7.5-Initial REF FILE: 5287-001 JOB NUMBER: 5287-001	REVISIONS: NO.   DATE   DESCRIPTION 01   08/17/16   MDH 02   07/14/16   MDH 03
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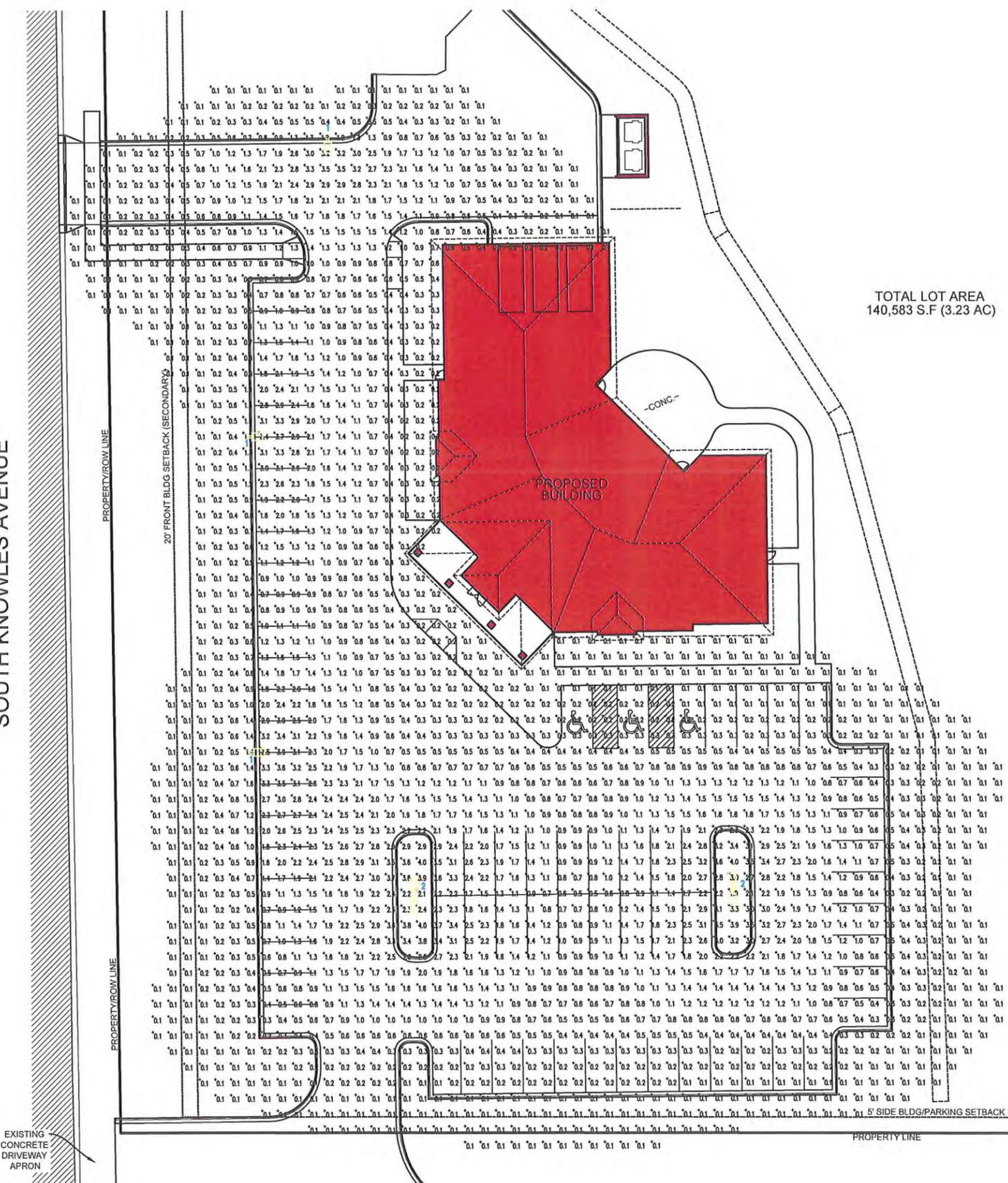
**ACCA**  
Auth-Consulting/associates  
Soil Land Surveying a division of A-C/A

**COOPERATIVE OFFICES:**  
 408 Technology Drive East  
 Suite 100  
 Menomonee, WI 54751  
 Tel: 715-232-9490

**REGIONAL OFFICES:**  
 2820 Taylor Street  
 Suite 101  
 Hudson, WI 54016  
 Tel: 715-881-8277

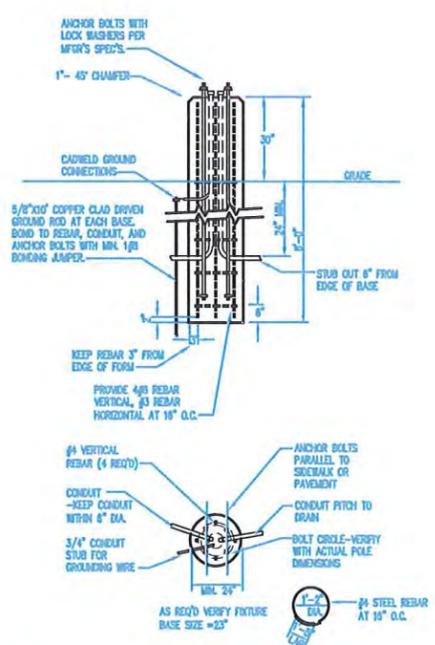
authconsulting.com

SOUTH KNOWLES AVENUE



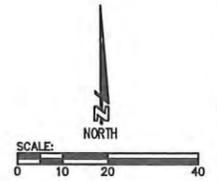
LIGHTING FIXTURE SCHEDULE						
TYPE	MANUFACTURER	MODEL #	LAMPS	WATTAGE	DESCRIPTION	NOTES
1	RAB	ALED378N	LED	78	LED POLE FIXTURE, 78W, TYPE III OPTICS, 20' POLE	-
2	RAB	ALED378N	LED	78	DUAL HEAD LED POLE FIXTURE, 78W, TYPE III OPTICS, 20' POLE	-

NOTES:



NOTE:  
 1.) USE MFG'S DIMENSIONS FOR EXACT ANCHOR BOLT AND COVER PLACEMENT.  
 2.) INSTALL IN-LINE FUSES IN EACH UNGROUNDED CONDUCTOR WITHIN POLE BASE HAND HOLE.  
 3.) TRIM/FINISH EXPOSED PORTION OF BASE TO REMOVE/COVER FORM MARKS.

**POLE BASE DETAIL**  
 NOT TO SCALE



PROJECT: **BAKKEN YOUNG FUNERAL HOME**  
 CITY OF NEW RICHMOND, ST. CROIX COUNTY, WI

SHEET NO. **L1.0**

DRAWING PHASE: DRAWN BY: ZPF  
 CHECKED BY: MDH  
 DATE: 07/14/16  
 DWS FILE: 5287-01-L10-Lighting  
 REF FILE: 5287-01  
 JOB NUMBER: 5287-001

REVISIONS:  
 NO. DATE BY DESCRIPTION  
 1 08/17/16 MDH REVISED PER CITY COMMENTS  
 2 07/14/16 KLU RELEASED FOR REVIEW  
 3 NAME: DATE:

COMPLIANCE OFFICE: 408 Technology Drive West, Suite A, Menomonee, WI 54951, Tel 715-282-8400  
 PROJECT OFFICE: 2820 Kabele Street, Suite 101, Hudson, WI 54015, Tel 715-381-5277  
 authconsulting.com

**A.C.A.**  
 Auth. Consulting/associates  
 SEI Lic. Surveying a division of A/C/A





elliot architect  
 86 coulee road, suite 200  
 hudson, wi 54016  
 715.386.8303  
 Design[ed] to be m

PRELIMINARY NOT FOR  
 CONSTRUCTION

PROJECT NO.

**BAKKEN YOUNG  
 FUNERAL HOME**

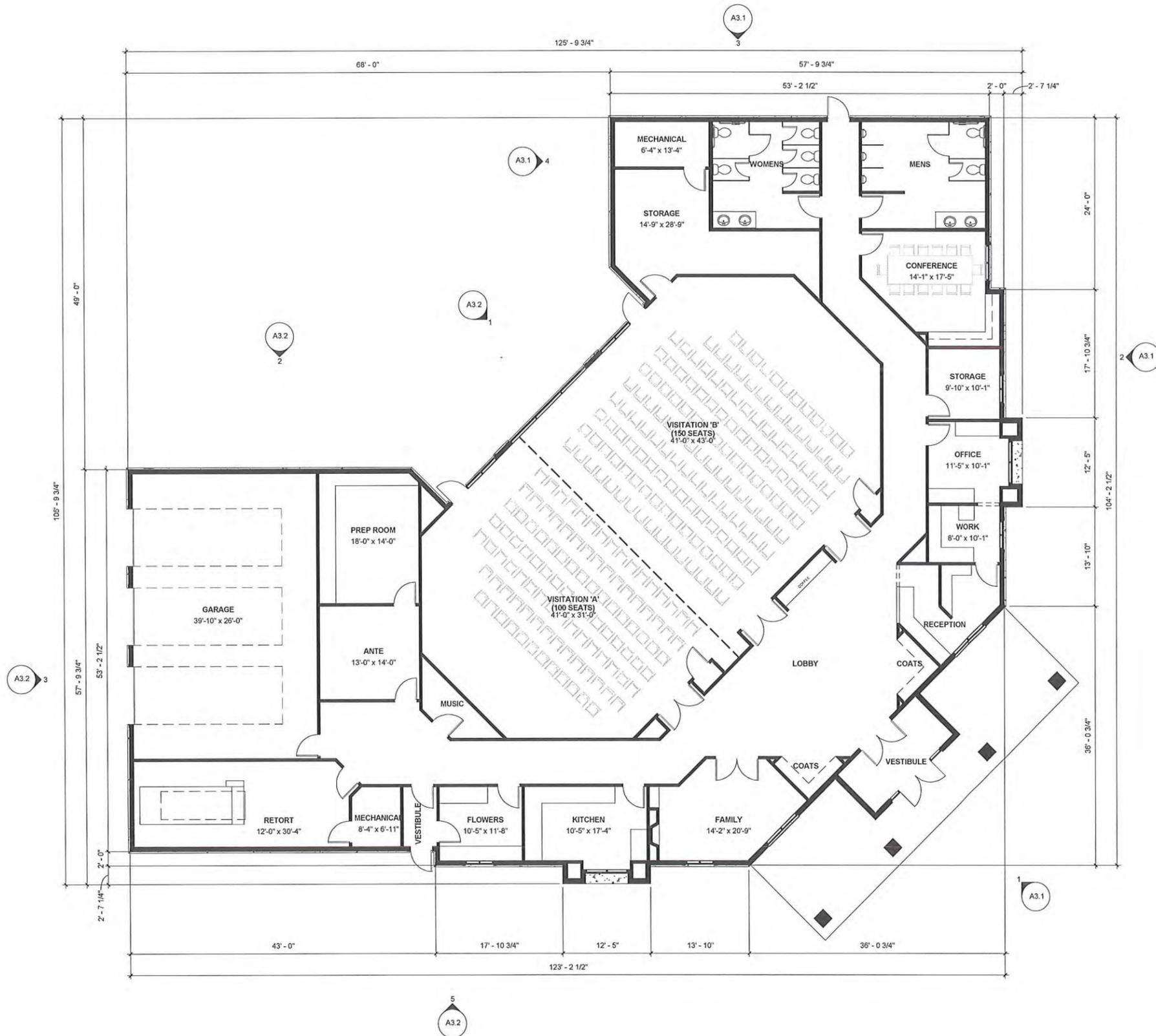
SOUTH KNOWLES AVENUE

CITY  
 SUBMITTAL

RELEASE DATE  
 CITY SUBMITTAL 7-14

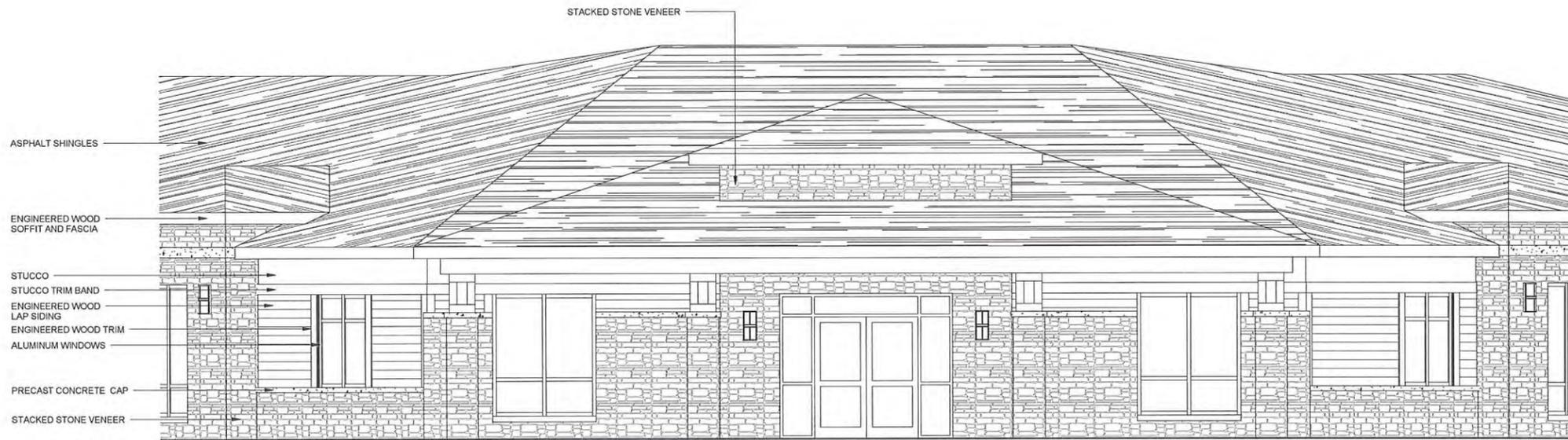
FLOOR PLAN

**A2 1**

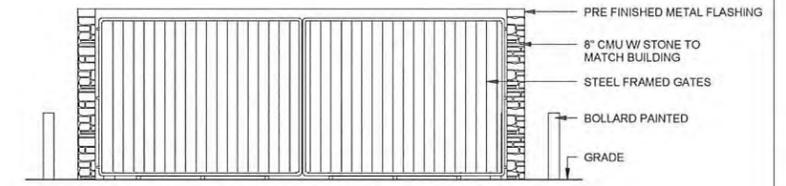


**1 FLOOR PLAN**  
 1/8" = 1'-0"



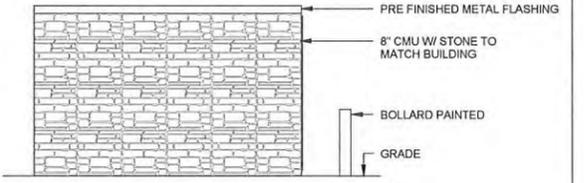


1 **SOUTHWEST**  
1/4" = 1'-0"



5 **TRASH ENCLOSURE ELEVATION**  
1/4" = 1'-0"

TRUSS BRG.  
111'-0"



6 **TRASH ENCLOSURE ELEVATION**  
1/4" = 1'-0"

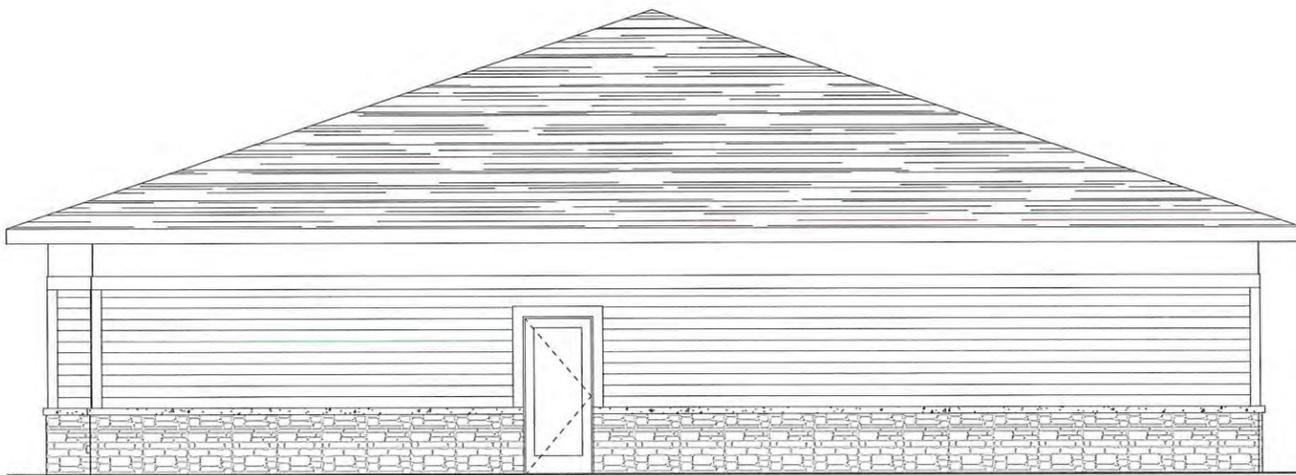
MAIN LEVEL  
100'-0"



2 **SOUTH**  
1/4" = 1'-0"

TRUSS BRG.  
111'-0"

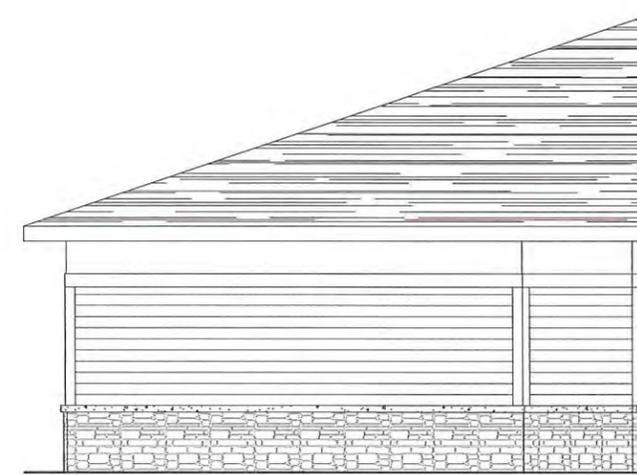
MAIN LEVEL  
100'-0"



3 **EAST**  
1/4" = 1'-0"

TRUSS BRG.  
111'-0"

MAIN LEVEL  
100'-0"



4 **NORTH @ WING**  
1/4" = 1'-0"

TRUSS BRG.  
111'-0"

MAIN LEVEL  
100'-0"



**elliott architect**  
86 coulee road, suite 200  
hudson, wi 54016  
715.386.8303  
Design[ed] to be m

PRELIMINARY NOT FOR  
CONSTRUCTION

PROJECT NO.

**BAKKEN YOUNG  
FUNERAL HOME**

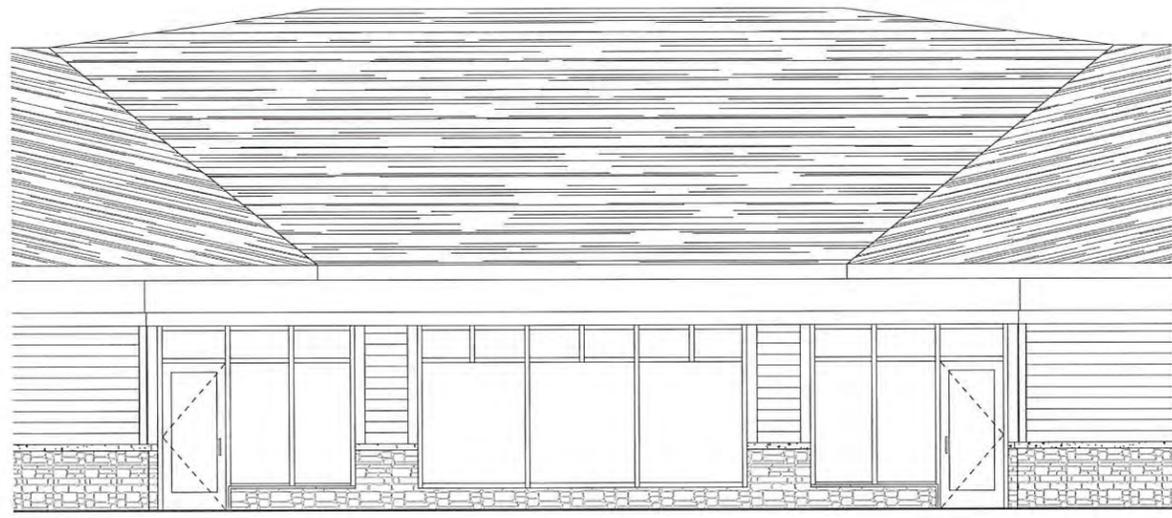
SOUTH KNOWLES AVENUE

CITY  
SUBMITTAL

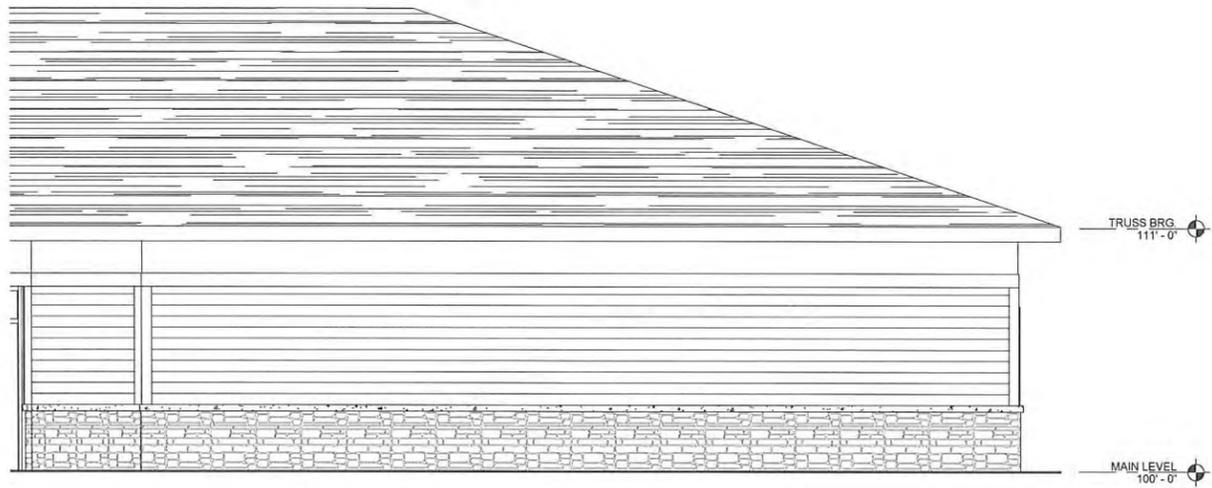
RELEASE DATE  
CITY SUBMITTAL 7-14

ELEVATIONS

**A3 1**



1 NORTHEAST  
1/4" = 1'-0"



2 EAST @ WING  
1/4" = 1'-0"



3 NORTH  
1/4" = 1'-0"



4 SIGN ELEVATION  
1/2" = 1'-0"



5 WEST  
1/4" = 1'-0"



elliott architect  
86 coulee road, suite 200  
hudson, wi 54016  
715.386.8303  
Design[ed] to be m

PRELIMINARY NOT FOR  
CONSTRUCTION

PROJECT NO.

BAKKEN YOUNG  
FUNERAL HOME  
SOUTH KNOWLES AVENUE.

CITY  
SUBMITTAL

RELEASE DATE  
CITY SUBMITTAL 7-14

ELEVATIONS

A3



# BAKKEN YOUNG FUNERAL HOME

7.14.2016

RENDERING



3601 Thurston Avenue N, Suite 100  
Anoka, MN 55303  
Phone: 763.231.5840  
Facsimile: 763.427.0520  
TPC@PlanningCo.com

## MEMORANDUM

TO: Beth Thompson

FROM: D. Daniel Licht, AICP

DATE: 16 August 2016

RE: New Richmond – Zoning Ordinance; Sign Regulation Update

TPC FILE: 164.01

## BACKGROUND

The City of New Richmond adopted comprehensive updates to the Zoning Ordinance and Subdivision Ordinance effective 1 January 2015. The update of the Zoning Ordinance did not include revision of Section 121-44 regulating signs. Update of the sign related provisions of the Zoning Ordinance was intended to be a separate effort to focus on the issues specific to such regulations and the interests of the various stakeholders. The City is initiating the update of the sign regulations to provide for a comprehensive revision to:

- Draft ordinances that are “content neutral” to avoid First Amendment conflict issues whereby the definition, basis and application of the regulations is dependent upon the content of the sign.
- Establish appropriate physical regulations for signs as to allowed area, number, height, setback and other construction elements for each of respective Zoning Districts. This step will include consideration of the sign allowances for the New Richmond Business and Technical Park as set forth by the development covenants to ensure consistency.
- Provide for administration of the sign regulations by identifying signs allowed without a permit, signs that require administrative approval, prohibited signs and any circumstances whereby Development Review Committee or Plan Commission review should be required.

- Address if electronic signs are to be allowed; if electronic signs are allowed, establish provision as to how such signs are regulated by use, zoning District, operational requirements/limits, and administration.

The Plan Commission discussed the issues outlined above and reviewed draft regulations amending the sign regulations at meetings on 3 May 2016, 7 June 2016, and 7 July 2016. Direction was provided regarding policy issues and proposed performance standards based on community input and recommendations from City staff. City staff, including the City Attorney, have completed the revisions to the draft regulations as directed by the City Council. A public hearing to consider amendment of the Zoning Ordinance has been noticed for the Plan Commission meeting on 23 August 2016.

## EXHIBITS

- Summary of Community Meetings
- Draft Sign Ordinance
- Zoning Map

## ANALYSIS

**Electronic Signs.** There was general support at the community meetings for continued allowance of electronic signs. The proposed Sign Ordinance update addresses electronic signs as follows:

- Operation of an electronic sign would be regulated as a business license under the City Code related to The operation of an electronic sign would require issuance of a one-time license by the City to ensure compliance with the operational standards and to provide an enforcement mechanism if the standards are not followed in operating the sign. The licensing and operational provisions are established separate from the Zoning Ordinance in Section 46, Article VIII of the City Code.
- The signs are limited to electronic changeable copy (text) and electronic graphic display signs (images and text). No video or motion is allowed to be displayed on the electronic sign.
- Sign would be allowed a minimum of 10 second rate of change of the electronic copy or display. The display may not include any animation and the transition from one display to another must be instantaneous.
- The electronic sign is limited to 32 square feet or 20 percent of the total allowed sign area within the various zoning districts and must be located in a yard abutting a non-residential street and setback a minimum of 50 feet from any residentially zoned property.

- Electronic signs would be permitted when located adjacent to an arterial, collector or local commercial/industrial street and a conditional use for other streets within the various zoning districts to ensure compatibility with surrounding properties.
- The licensing provisions require an ability to immediately freeze the display in the event of malfunction or if ordered by the City due to non-compliance with the established operational standards.

**Findings.** Due to the legal scrutiny involved in regulating signs to ensure protection of First Amendment rights, the revised sign regulations include statements of findings, purposes and intent of the City in adopting these ordinances. The main purpose of these statements is to identify the City is not regulating speech but rather the time, place and physical characteristics of signs. There are instances allowed under law and past Court decisions where the content of a sign is subject to regulation and include off-premises signs, commercial versus non-commercial speech, and dynamic display. There are also provisions included within the draft regulations stating that any non-commercial speech may be substituted on a sign at any time without regulation and that there is no City regulation of non-commercial speech during election periods as defined by State Statute.

**Definitions.** The draft ordinance removes definitions that require the sign content to be read to determine the type of sign based on a content neutral basis of regulation. Definitions are proposed to be added or revised to identify various types of sign construction regulated by the proposed sign ordinance.

**General Standards.** The general performance standards outline requirements applicable to all signs in all zoning districts. This includes definitions for the calculation for area and height, a minimum 10 foot setback from any property line (except for pylon signs with minimum clearance of 14 feet), limitations on brightness for illuminated signs, and reference to the Uniform Sign Code regarding construction.

**Signs by Districts.** Table 11 of the Zoning Ordinance outlines specific allowances for wall signs and freestanding signs by Zoning District and by use. The area and height limits for the respective zoning districts are carried over from the existing Zoning Ordinance for consistency so as not to create non-conforming conditions.

- For single family, two family and townhouse uses, signs are limited to signs allowed by the Zoning Ordinance without a permit, as well as a six square foot sign for allowed home occupations.
- Wall signs for multiple family, commercial, industrial and institutional uses would be allowed to be 15 percent of the wall area on which the sign is mounted with a maximum size specified for any single sign. There is no requirement that wall signs be mounted on elevations facing a public street or no limitation on the number of wall signs up to

the 15 percent of the wall area to allow each location to determine the most effective means of locating wall signage.

- Free standing signs are limited to one sign per property with area and height limits specific to each zoning district. Within the Z6 District, which is established for the central business district area along Knowles Avenue, freestanding signs would be limited to monument type construction. Under the special sign provisions, there is allowance for a second freestanding sign for those commercial and industrial properties having frontage to a collector or arterial street but access is off of a side or rear street. The secondary sign allows for improved business identification and patron wayfinding.

**Special Signs.** Special signs are those allowed in addition to the wall and freestanding signs allowed by zoning district are outlined to address what would have previously been called out as exceptions based on type of sign. Under content neutral regulations, these special signs are identified based on the time/place characteristics for which they are allowed.

- Changeable copy signs are allowed for all uses limited to 32 square feet or 20 percent of the allowed sign area (whichever is greater). The changeable copy may be in the form of a dynamic display subject to approval of a license as outlined above.
- Allowance is made for gas stations to display an additional 24 square feet of sign area intended to accommodate the display of current fuel prices, which may either be within the freestanding sign or mounted on the canopy.
- Multiple occupancy buildings where each tenant has an exterior entrance are required to provide a sign plan for the site. Individual wall signs for each tenant are allowed to be mounted on the exterior wall of their suite. One freestanding sign is allowed per property to be shared by the individual tenants.
- Allowance is made for commercial uses to display projecting signs that extend away from the wall on which they are mounted. Typical of a central business district environment, these signs would be allowed to extend over the sidewalk and public right-of-way within the Z3, Z6, and Z7 Districts subject to minimum clearance standards.
- Sandwich board signs are also common in downtown areas or pedestrian oriented commercial areas. The draft sign regulations would allow sandwich board signs in the Z3, Z6 and Z7 Districts subject to size and location standards. No permit is required for a sandwich board sign.
- Subdivision identification signs are outlined to allow for both permanent area signs as well as signs used to identify a subdivision during development (including signs for model homes).

- Provision is made for display of temporary signs (including portable signs) outside of new subdivisions for up to sixty days for single occupancy properties and 120 days for properties having two or more occupants.

**Permit.** Construction of a sign upon a property will require a permit issued by the Zoning Administrator. No sign permit is required to change the display of a sign that does not affect the structure. City staff has provided a survey of sign permit fees from surrounding communities as part of the final draft ordinance for consideration with a recommendation for updating the City fee schedule. The intent of the fee is only to recover any costs incurred by the City in review of the permit application and inspection of the sign.

**Signs Not Requiring Permit.** The draft ordinance makes provision for display of certain signs not requiring a permit. These include address signs, signs allowed by State Statute during campaign periods, and official signs placed by the City, St. Croix County, or WI/DoT. There is also provision for a 16 square foot sign to be displayed on any residential property for the purpose of allowing free speech.

**Prohibited Signs.** The draft ordinance includes a listing of signs prohibited to be displayed within the City including private signs resembling official signs; balloon signs; signs that may be distracting by flashing, rotating, shimmering, or swinging; signs mounted on the roof of a building, off-premises signs; signs in the public right-of-way not authorized by the City, St. Croix County, or WI/DoT; signs mounted on vehicles on permanent display or affixed to natural features; and obscene content.

**Non-Conforming Signs.** Non-conforming signs would be handled under the general provisions of the Zoning Ordinance and allowed to continue in the same manner as they were approved by not allowed to be enlarged or moved.

## **RECOMMENDATION**

Our office, the City Attorney, and City staff recommend approval of an Ordinance amendment providing for a comprehensive revision of sign regulations as presented.

## **POSSIBLE ACTIONS**

- A. Motion to **recommend City Council approval** of an ordinance amending the City Code and Zoning Ordinance regulating signs in the form presented.
- B. Motion to **table**.

- c. Mike Darrow, City Administrator  
Nick Vivian, City Attorney  
Noah Wiedenfield, Management Analyst  
Sarah Skinner, Building Inspector  
Tanya Reigel, City Clerk

ORDINANCE #\_\_

THE COMMON COUNCIL OF THE CITY OF NEW RICHMOND DOES ORDAIN AS FOLLOWS:

**Section 1.** Chapter 46 of the City Code (Licenses, Permits and Miscellaneous Business Regulations) is hereby amended to add the following provisions:

**ARTICLE VIII - DYNAMIC DISPLAY SIGNS**

**Sec. 170-1: -Purpose.**

- (a) The City has established the fundamental basis for the regulation of signs generally in Section 121-44 of the City Code.
- (b) The City finds that dynamic display signs are highly visible from long distances and at very wide viewing angles both day and night and are designed to attract the attention of persons in their vicinity and hold it for extended periods of time and that if the operation of such signs is not regulated, there is potential for significant harm to public health, safety and welfare.
- (c) It is not the purpose or intent of this Article to regulate the message displayed on any dynamic sign but to:
  - (1) Allow for operation of dynamic signs in compliance with the standards set forth in this Article to lessen the impact of such signs on the environment and the public health, safety and welfare.
  - (2) Provide for the administration and enforcement of provisions regulating the operation of dynamic display signs as set forth in this Chapter.

**Sec. 170-2: -Definitions:** The following words and terms, wherever they occur in this Article, shall be interpreted as herein defined:

APPLICANT: The owner, their agent or person having legal control, ownership and/or interest in land for which the provisions of this Chapter are being considered or reviewed.

CHANGEABLE MESSAGE SIGN, ELECTRONIC: A sign or portion thereof that displays electronic, non-pictorial text information in which each alphanumeric character, graphic, or symbol is defined by a small number of matrix elements using different combinations of light emitting diodes (LEDs), fiber optics, light bulbs or other illumination devices within the display area. Electronic changeable copy signs include computer programmable, microprocessor controlled electronic displays. Electronic changeable copy signs include projected images or messages with these characteristics onto buildings or objects. Electronic changeable copy signs do not include official signs.

DYNAMIC DISPLAY: Any characteristics of a sign that appear to have movement or that appear to change, caused by any method other than physically removing and replacing the sign or its components, whether the apparent movement or change is in the display, the sign structure or any other component of the sign. This includes displays that incorporate technology or methods allowing the sign face to change the image without having to physically or mechanically replace the sign face or its components as well as any rotating, revolving, moving, flashing, blinking or animated display and any display that incorporates rotating panels, LED lights manipulated through digital input, digital ink or any other method or technology that allows the sign face to present a series of images or displays.

ELECTRONIC GRAPHIC DISPLAY SIGN: A sign or portion thereof that displays electronic, static images, static graphics or static pictures, with or without text information, defined by a small number of matrix elements using different combinations of light emitting diodes (LEDs), fiber optics, light bulbs or other illumination devices within the display area where the message change sequence is accomplished immediately or by means of fade, repixelization or dissolve modes. Electronic graphic display signs include computer programmable, microprocessor controlled electronic or digital displays. Electronic graphic display signs

include projected images or messages with these characteristics onto buildings or other objects.

ILLUMINATED SIGN: Any sign which contains an element designed to emanate artificial light internally or externally.

MULTIVISION SIGN: Any sign composed in whole or part of a series of vertical or horizontal slats or cylinders that are capable of being rotated at intervals so that partial rotation of the group of slats or cylinders produces a different image and when properly functioning allows on a single sign structure the display at any given time one of two (2) or more images.

OFFICIAL SIGN: Signs protecting the safety of pedestrians, drivers, and passengers, including, safety signs, traffic signs, direction to public facilities for the health, welfare, and safety.

SIGN: Any letter, word or symbol, poster, picture, statuary, reading matter or representation in the nature of advertisement, announcement, message or visual communication, whether painted, posted, printed, affixed or constructed, including all associated brackets, braces, supports, wires and structures, which is displayed for informational or communicative purposes.

VIDEO DISPLAY SIGN: A sign that changes its message or background in a manner or method of display characterized by motion or pictorial imagery, which may or may not include text and depicts action or a special effect to imitate movement, the presentation of pictorials or graphics displayed in a progression of frames that gives the illusion of motion, including, but not limited to, the illusion of moving objects, moving patterns or bands of light, or expanding or contracting shapes, not including electronic changeable copy signs. Video display signs include projected images or messages with these characteristics onto buildings or other objects.

ZONING ADMINISTRATOR: The person designated by the City Administrator to be the Zoning Administrator for the City of New Richmond.

**Sec. 170-3: -License Required:** Display or operation of a dynamic display sign within the City of New Richmond shall require approval of a valid license issued by the City pursuant to this Article.

**Sec. 170-4: -Issuance of License:**

- (a) Application. An application for a license must be submitted by the property owner or their authorized agent on a form provided by the Zoning Administrator.
- (b) Fees. The applicant shall pay the license fee as adopted by the City Council by resolution for the application to be accepted.
- (c) Required Information. The application shall include all of the following information unless specifically exempted by the Zoning Administrator:
  - (1) Names and addresses of the sign contractor and owners of the sign and lot.
  - (2) Written consent of the owner or lessee of any site on which the sign is to be erected.
  - (3) The address at which any signs are to be erected.
  - (4) The lot, block and addition at which the signs are to be erected and the street on which they are to front.
  - (5) Type and size of sign and type of dynamic display.
  - (6) The specifications of the signs related to illumination and brightness.
  - (7) Specifications for controls needed to regulate the display both for normal operation and in the event of a malfunction.
  - (8) Any electrical permit required and issued for the sign.
  - (9) Any and all other information as may be requested by the Zoning Administrator to determine compliance with this Article.

(d) Zoning Administrator Review:

- (1) The Zoning Administrator shall approve or deny an application for a license within forty (45) days of a complete application being submitted.
- (2) The Zoning Administrator shall issue a license as provided for by this Article or shall state in writing the reasons for an application for a license having been denied. The applicant may resubmit an application for a license in accordance with the procedures in this Section or, within ten (10) days of the Zoning Administrator's decision, submit an appeal in accordance with Section 170-6(e) of this Article.

(e) Transferability: Licenses are issued to the applicant only and for one (1) location, and such licenses are nontransferable between property owners, tenants, or locations.

**Sec. 170-5: -License Expiration and Renewal.**

- (a) Licenses shall not expire except due to a change in property owners, sign owners, tenants, location, or removal of the dynamic display sign.
- (b) A license that will expire under the provisions of this subsection may be renewed only by making application as provided in Section Sec. 170-4 of this Article.

**Sec. 170-6: -Administration.**

- (a) This Article shall be administered by the Zoning Administrator.
- (b) Inspections.
  - (1) Any licensee shall, at all times during the term of the license, allow the Zoning Administrator to enter the premises for the purpose of verifying compliance with the requirements of this Article.

- (2) The licensee shall provide certification as to compliance with Section 170-7(b) of this Article to the City upon request by the Zoning Administrator.
- (c) Suspension. The Zoning Administrator may suspend a license for a period not to exceed thirty (30) days following written notice and an opportunity to be heard if the Zoning Administrator determines that a licensee has violated or is not in compliance with this Chapter.
- (d) Revocation:
- (1) The Zoning Administrator shall issue a written statement of intent to revoke a license if a cause of suspension in Section 170-6(d)(2) of this Article occurs.
  - (2) The Zoning Administrator may initiate action to revoke a license if the Zoning Administrator determines that:
    - i. The license has been suspended two (2) times within the preceding twelve (12) months.
    - ii. A licensee has knowingly operated an electronic sign during a period of time when the licensee's license was suspended.
    - iii. A licensee is delinquent in payment to the City for ad valorem taxes or other taxes or fees related to business.
- (e) Appeals:
- (1) Process:
    - i. Within ten (10) days of receipt of such notice of an application being denied, suspension, or intent to revoke, the applicant or licensee may provide to the Zoning Administrator, in writing, a response that shall include a statement of reasons why the license should not be suspended or revoked.

- ii. Within three (3) days of the receipt of licensee's written response, the Zoning Administrator shall notify the respondent in writing of the hearing date on the application denial or the license suspension or revocation proceeding.
  - iii. Within forty-five (45) working days of the receipt of applicant or licensee's written response, the City Council shall conduct a hearing on licensee's appeal of the Zoning Administrator's decision.
  - iv. Hearings on the appeal shall be open to the public and the applicant or licensee shall have the right to appear and be represented by legal counsel and to offer evidence in its behalf.
- (2) City Council Action. At the conclusion of the hearing, the City Council shall make a final decision.
- i. If a response is not received by the City in the time stated or, if after the hearing, the City Council finds that grounds as specified in this Article exist for denial, suspension, or revocation, then such denial, suspension or revocation shall become final three (3) days after the City sends written notice that the license has been denied, suspended, or revoked; such notice shall include a statement advising the applicant or licensee of the right to appeal such decision to a court of competent jurisdiction.
  - ii. If the City Council finds that no grounds exist for denial, suspension, or revocation of a license, then within three (3) days after the hearing, the Zoning Administrator shall withdraw the intent to suspend or revoke the license, and

shall so notify the licensee in writing of such action.

**Sec. 170-7: -Performance Standards:**

- (a) Allowed Signs: Only those dynamic display signs defined and identified herein shall be allowed to be operated within the City in accordance with this Article and the Zoning Ordinance:
  - (1) Electronic changeable copy signs.
  - (2) Electronic graphic display signs.
- (b) The operation of a dynamic display sign allowed by this Article shall conform to the following requirements:
  - (1) The display shall change display not more often than once every ten (10) seconds.
  - (2) The display sign shall not include scrolling, flashing, animation, or other effects.
  - (3) The display must be static and the transition from one static display to another must be instantaneous without any special effects.
  - (4) The display must be complete in themselves, without continuation in content to the next image or message.
  - (5) Brightness:
    - i. The brightness of the sign shall not exceed five thousand (5,000) NITS after sunrise and before sunset or five hundred (500) NITS after sunset and before sunrise each day.
    - ii. The sign shall be equipped with an automatic dimmer control or other mechanism that automatically controls the sign's brightness to comply with the requirements of this subsection.
  - (6) Malfunctions:

- i. The display must be designed and equipped to freeze the device in one position if a malfunction of the electronic display occurs.
- ii. The display must be equipped with a means to immediately discontinue the display if it malfunctions, and the sign owner must immediately stop the electronic display when notified by the City that it is not complying with the stipulations of this section.

(7) The sign shall comply with Section 121-44 of the Zoning Ordinance.

**Sec. 170-8: -Severability.** If any section, sentence, clause or phrase of this Article is for any reason held to be invalid, such decision shall not affect the validity of the remaining portions of this Article. The City Council hereby declares that it would have adopted the Article and each subsection, sentence, clause, or phrase thereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses or phrases be declared invalid.

**Section 2.** Section 121-15 of the City Code (Zoning Ordinance - Definitions) is hereby amended to repeal the following sign related definitions:

Area of Copy.

Area of Sign.

Business Identification Sign.

Construction Sign.

Directional Sign.

Gross Area.

Height of Sign.

Real Estate Sign.

Time and Temperature Sign.

**Section 3.** Section 121-15 of the City Code (Zoning Ordinance - Definitions) is hereby amended to add the following sign related definitions:

**Balloon Sign:** A sign consisting of a bag made of lightweight material supported by helium, hot, or pressurized air.

**Dynamic Display:** Any characteristics of a sign that appear to have movement or that appear to change, caused by any method other than physically removing and replacing the sign or its components, whether the apparent movement or change is in the display, the sign structure or any other component of the sign. This includes displays that incorporate technology or methods allowing the sign face to change the image without having to physically or mechanically replace the sign face or its components as well as any rotating, revolving, moving, flashing, blinking or animated display and any display that incorporates rotating panels, LED lights manipulated through digital input, digital ink or any other method or technology that allows the sign face to present a series of images or displays.

**Freestanding Sign:** Any sign which has supporting framework that is placed on, or anchored in, the ground and which is independent from any building or other structure.

**Motion Sign:** Any sign which revolves, rotates, swings, has moving parts, or gives illusion of motion.

**Off Premises Sign:** A sign that directs the attention of the public to a use, activity, or goods at a location not on the same lot where such sign is located, including easements and other appurtenances that shall be considered to be outside of such lot and any sign located or proposed to be located in an easement or other appurtenance shall be considered an off premises sign for the purposes of this Ordinance.

**Pylon Sign:** A freestanding sign mounted on top of a single post.

Shimmering Sign: A sign which reflects an oscillating sometimes distorted visual image.

**Section 4.** Section 121-15 of the City Code (Zoning Ordinance - Definitions) is hereby amended to revise the following sign related definitions:

**Banner:** Attention getting devices which resemble flags and are of a paper, cloth or plastic-like consistency.

**Flashing Sign:** A directly or indirectly illuminated sign or portion thereof that exhibits changing light or color effect by any means, so as to provide intermittent illumination that changes light intensity in sudden transitory bursts and creates the illusion of intermittent flashing light by streaming, graphic bursts showing movement, or any mode of lighting which resembles zooming, twinkling or sparkling.

**Ground Sign.** Any freestanding sign with its sign face mounted on the ground or mounted on a base at least as wide as the sign.

**Portable Sign:** A sign so designed as to be temporary and movable from one location to another and which is not permanently attached to the ground, sales display device or structure.

**Projecting Sign:** A sign, other than a wall sign, which is affixed to a building and which extends perpendicular from the building wall.

**Roof Sign:** A sign erected, constructed or attached wholly or in part upon or over the roof of a building.

**Section 5.** Section 121-44 of the City Code (Sign Regulations) is hereby repealed in its entirety and amended to read as follows:

**Sec. 121-44: -Sign Regulations**

A. Findings, Purpose, and Interpretation:

1. Findings: The City finds:

- (a) Exterior signs have a substantial impact on the character and quality of the environment.
  - (b) Signs provide an important medium through which individuals may convey a variety of messages.
  - (c) Signs can create traffic hazards and aesthetic concerns, thereby threatening the public health, safety and welfare.
  - (d) The City's zoning regulations have included the regulation of signs in an effort to provide adequate means of expression in accordance with the First Amendment and promote economic viability, while protecting the city and its citizens from a proliferation of signs of a type, size, location and character that would adversely impact upon the aesthetics of the community and threaten the health, safety and welfare of the community. The regulation of the physical characteristics of signs within the city has had a positive impact on traffic safety and the appearance of the community.
2. Purpose: It is not the intent of this Chapter to regulate the message displayed on any sign; nor is it the intent of this Chapter to regulate any building design or any display not defined as a sign, or any sign which cannot be viewed from outside a building. The purpose of this Chapter is to:
- (a) Regulate the number, location, size, type, illumination and other physical characteristics of signs in order to promote the public health, safety, and welfare.
  - (b) Maintain and enhance the aesthetic environment of the City by preventing visual clutter that is harmful to the appearance of the community.
  - (c) Improve the visual appearance of the City while providing for effective means of communication, consistent with First Amendment rights and the City's goals of public safety and aesthetics.

- (d) Provide for consistent enforcement of the sign regulations set forth herein under the zoning authority of the City.
3. Interpretation: A sign may be erected and displayed if it is in conformance with the provisions of this Chapter. The effect of this Chapter, as more specifically set forth herein, is to:
- (a) Allow a wide variety of sign types, subject to the standards set forth in this Chapter.
  - (b) Allow certain small, unobtrusive signs incidental to the principal use of a site for all uses when in compliance with the requirements of this Chapter.
  - (c) Prohibit signs when the location, size, type, illumination or other physical characteristics negatively affect the environment and where the communication can be accomplished by means having a lesser impact on the environment and the public health, safety, and welfare.
  - (d) Provide for the administration and enforcement of the provisions of this Chapter, which must be interpreted in a manner consistent with the First Amendment guarantee of free speech; the content of the message or speech displayed on the sign shall not be reviewed or considered in determining whether to approve or deny a sign permit.

B. General Provisions

- 1. Signs shall be allowed in all zoning districts as accessory uses for the purposes of, and subject to the provisions of this Chapter.
- 2. Area calculations:
  - a. The area within the frame of a sign shall be used to calculate its area, and if such letters or graphics are mounted directly on a wall or in such way as to be without a frame the dimensions for calculating the square footage shall be the area formed around such letters or graphics in a

plane figure bounded by straight lines connecting the outermost points thereof.

- b. Each surface utilized to display a message or to attract attention using symbols, flags, pictures, wording, figures or other forms of graphics shall be measured as a separate sign and shall be calculated in the overall area.
  - c. A freestanding sign shall be allowed to have two sign faces each with the maximum area allowed in the applicable zoning district provided that the sign faces are constructed back-to-back with an angle less than 20 degrees separating the sign faces.
3. Height:
- a. The top of any sign mounted on a building shall not project above the roofline the building.
  - b. The height of a freestanding sign shall be measured from the ground at the base to the highest-most part of the structure.
4. Setbacks:
- a. Ground signs shall be setback 10 feet from any property line.
  - b. Pylon signs located closer to a property line than 10 feet shall maintain a minimum of 14 feet of clearance below the sign.
  - c. No freestanding sign shall encroach upon the traffic visibility zone required by Section 121-53.
5. Illumination:
- a. Illuminated signs shall be shielded to prevent lights from being directed at oncoming traffic so as not to impair the vision of drivers, not interfere with traffic signs and signals, or illuminate adjacent properties, buildings, or streets.

- b. All external light sources shall be hooded with a 90-degree horizontal cut-off and downcast onto the sign face in compliance with Section 121-51.
  - c. Signs using fluorescent, neon or incandescent light sources shall not exceed 12 watts per square foot of sign surface area.
  - d. No sign incorporating LED lighting may be illuminated in any way so as to exceed a maximum intensity of 5,000 NITS during daylight hours or 500 NITS from sunset to sunrise measured at the sign face at maximum brightness; Signs incorporating LED lighting shall be equipped with a mechanism that automatically adjusts the brightness to ambient lighting conditions to conform to the requirements of this subsection.
  - e. The installation of illuminated signs shall be subject to the State electrical code; All electrical service to such signs shall be installed underground.
6. The design and construction standards as set forth in Chapter 4 of the 1997 edition of the Uniform Sign Code are hereby adopted.

C. Sign Standards By District

- 1. Sign allowances for properties within individual zoning districts shall be as provided for by Table 11.

<b>Table 11</b>			
	Single Family, Two Family, Townhouse Uses	Agriculture, Multiple Family, Business, Industrial, and Institutional Uses	
		Wall Signs	Freestanding Signs
Z1	Sec. 121-44.F and home occupations: 1 wall or window sign not to exceed 6sf.	Area: 15% of wall Per Sign: 100sf.	Number: 1 Area: 100sf. Height: 25ft.
Z2	Sec. 121-44.F and home occupations: 1 wall or window sign not to exceed 6sf.	Area: 15% of wall Per Sign: 100sf.	Number: 1 Area: 100sf. Height: 25ft.
Z3	Sec. 121-44.F and	Area: 15% of wall	Number: 1

	home occupations: 1 wall or window sign not to exceed 6sf.	Per Sign: 300sf.	Area: 300sf. Height: 35ft.
Z4	Sec. 121-44.F and home occupations: 1 wall or window sign not to exceed 6sf.	Area: 15% of wall Per Sign: 100sf.	Number: 1 Area: 100sf. Height: 25ft.
Z5	Sec. 121-44.F and home occupations: 1 wall or window sign not to exceed 6sf.	Area: 15% of wall Per Sign: 100sf.	Number: 1 Area: 100sf. Height: 25ft.
Z6		Area: 15% of wall Per Sign: 100sf.	Number: 1 Area: 100sf. Height: 25ft.
Z7		Area: 15% of wall Per Sign: 300sf.	Number: 1 Area: 300sf. Height: 35ft.
All	Signs as allowed by Section 121-44.D and E		

D. Special Signs. In addition to the signs allowed by Section 121-44.C, the following additional provisions shall apply.

1. Changeable Message Signs:

a. For commercial, industrial and institutional uses, changeable messages of 32 square feet or 20 percent of the area allowed within the zoning district, whichever is greater, may be integrated within an allowed freestanding sign or as a wall sign.

b. Dynamic display of the changeable message shall be allowed provided that:

(1) The operation of the dynamic display shall require issuance of a license pursuant to Section 46, Article VIII of the City Code.

(2) Location:

(a) The sign shall be displayed only in a yard abutting an arterial, collector or local commercial/industrial street as defined by the Comprehensive Plan, except as may be allowed by approval of

a conditional use permit in accordance with Section 121-31.

- (b) The sign shall be set back a minimum of 50 feet from any side or rear lot line abutting a residential district.

- 2. Accessory Signs: Buildings with drive through facilities shall be allowed additional signs provided that:
  - a. A maximum of 2 freestanding signs is allowed adjacent to each access to the lot from a public street or shared private drive.
  - b. The maximum area of an individual sign is limited to 6 square feet.
  - c. The maximum height of the sign(s) shall be 3 feet.
- 3. Gas stations: Signs for gas stations shall be regulated by the sign provisions for the zoning district in which the facility is located, except that:
  - a. An additional area not to exceed 24 square feet shall be allowed within a freestanding sign for continuous display of changeable copy (non-electronic or electronic).
  - b. Signage may be allowed on a detached canopy above the fuel island in lieu of wall signage on the principal structure, provided that:
    - (1) The area of the sign(s) does not exceed more than 20% of the canopy elevation facing a public right-of-way.
    - (2) The canopy elevation shall not be illuminated, except for allowed canopy signage.
- 4. Multiple Occupancy Commercial and Industrial Buildings: When a single principal building is devoted to 2 or more tenants having individual exterior

entrances, signs shall be allowed based upon the following provisions:

- a. A comprehensive sign plan shall be submitted that includes all of the following information:
    - (1) A site plan to scale showing the location of lot lines, buildings, structures, parking areas, existing and proposed signs, and any other physical features of the area included within the proposed comprehensive sign plan.
    - (2) Scale elevations of buildings showing the location of existing or proposed wall, canopy, or marquee signs.
    - (3) To scale plans for all existing and proposed signs of any type included within the comprehensive sign plan indicating area, dimensions, height, materials, colors, and any means of illumination.
  - b. Individual tenants may display separate wall signs subject to the following requirements:
    - (1) The number of individual wall signs shall be limited to 1 sign per exterior wall of the tenant space.
    - (2) The area of each sign for an individual tenant shall comply with the maximum area for individual signs allowed in the applicable zoning district.
  - c. Multiple occupancy buildings may display 1 freestanding sign that complies with the requirements of the applicable zoning district.
5. Projecting Signs: Projecting signs, including awnings, shall be allowed for buildings within the Z3, Z6 and Z7 Districts provided that:
- a. There is a minimum of 8 feet of clearance under the base of the sign to the ground below.
  - b. The sign does not project more than 5 feet beyond the wall to which it is mounted; may not project

over any vehicular portion of a public street or private drive; and may not project over a public right-of-way except in the Z6 District.

c. Area:

(1) Projecting signs: 24 square feet

(2) Awning signs: Maximum area for individual signs allowed within the applicable zoning district.

6. Secondary Freestanding Signs. One additional ground sign shall be allowed for properties located within the Z3, Z6 and Z7 Districts abutting an arterial or collector street defined by the Comprehensive Plan but to which there is no driveway access, subject to the following:

a. The sign shall be located in a yard abutting the street to which the lot has access.

b. The maximum area of the sign shall be 48 square feet.

c. The maximum height of the sign shall be 16 feet.

7. Subdivisions: For subdivisions or geographic areas of development of similar character or association having 3 or more lots the following signs shall be allowed:

a. Permanent Signs: One sign ground sign shall be allowed at public street intersections:

(1) The maximum area of the face of each sign shall located at:

(a) Z1, Z2, Z4, and Z5 Districts: 32 square feet

(b) Z3, Z6, and Z7 Districts:

(i) Intersection with a collector or arterial street as defined by the

Comprehensive Plan: 100 square feet

(ii) Intersection of two local streets:  
32 square feet

- (2) The maximum height of the sign shall be:
  - (a) Z1, Z2, Z4, and Z5 Districts: 8 feet
  - (b) Z3, Z6, and Z7 Districts: 16 feet
- (3) The design and construction of the ground sign shall utilize the highest quality materials and workmanship and shall be compatible with nearby structures in the area; Detailed construction plans and a materials list shall be included with each sign permit application and shall be subject to the review and approval of the Zoning Administrator.
- (4) The area around the ground sign shall be landscaped in such a manner to accent and enhance the sign while remaining sensitive to the natural features of the site; a landscape plan shall be included with each sign permit application and shall be subject to review and approval of the Zoning Administrator.
- (5) The ground sign may be illuminated but only an external light source downcast upon the sign face shall be allowed for residential subdivisions.

b. Temporary Signs:

- (1) Additional temporary signs shall be allowed upon approval of a final plat for a subdivision having 3 or more lots or zoning approval for development of one or more properties provided that:
  - (a) One sign shall be allowed per subdivision or development for each access from public streets and each

frontage to a collector or arterial street.

(b) The maximum area of the sign face shall be 64 square feet.

(c) Freestanding signs shall not exceed a maximum height of 8 feet.

(2) Individual lots within the subdivision shall be allowed the following signs:

(a) One freestanding sign shall be allowed per model home:

i. Maximum area: 32 square feet

ii. Maximum height: 8 feet

(b) Not more than 3 banners with a maximum area of 16 square feet per face per flag, and maximum height of 25 feet shall be allowed upon lots within the subdivision.

(3) The temporary signs and banners allowed by this Section shall only be displayed for a period not to exceed three 3 years from the date a permit is issued for the sign or banners, or until building permits have been issued for 100% of the lots within a final plat or subsequent phases of the same preliminary plat of a subdivision, whichever occurs first.

8. Temporary Signs: The use of banners, pennants, portable signs, and similar devices shall be subject to the following provisions:

(a) Not more than 1 temporary sign for each street frontage shall be displayed upon a property at any time.

(b) Temporary signs shall require a temporary sign permit valid for no more than 60 days during any calendar year for single occupancy properties or

120 days for properties having two or more principal uses or tenants.

- (c) The maximum area of a temporary sign shall be 50 square feet per sign face.
- (d) The maximum height of a temporary sign shall be 16 feet.
- (e) Temporary signs meeting the following standards shall not require a sign permit:
  - (1) The maximum area of the sign shall be 4 square feet.
  - (2) The maximum height of the sign shall be 3 feet.
- (f) Location:
  - (1) A temporary sign shall not encroach upon any drainage and utility easement.
  - (2) A temporary sign shall not encroach upon the traffic visibility zone required by Section 121-53.

#### E. Permit Required

A permit issued by the Zoning Administrator in accordance with Section 121-23 shall be obtained for a new sign to be erected or an existing sign structure modified except when changing only the face of the sign without altering the area, height or location of the sign.

1. Application for a sign permit shall be filed by the property owner with the Zoning Administrator on a form provided by the City and shall be accompanied by a fee as established by City Council resolution.
2. The Zoning Administrator shall review the application for a sign permit and determine whether the proposal is in compliance with all applicable, codes, ordinances, and performance standards set forth in this Section within 45 days of submission of a complete application.

3. Application for a sign permit shall contain the following information unless waived by the Zoning Administrator:
  - a. Names and addresses of the applicant and/or owners of the sign and property.
  - b. The address at which the proposed sign(s) are to be erected.
  - c. Area and type of sign(s) to be erected (e.g., wall sign, freestanding sign, projecting sign, etc.).
  - d. A site plan to scale showing the location of lot lines, building structures, parking areas, existing and proposed signs and any other physical features.
  - e. Plans, location and specifications and method of construction and attachment to the buildings or placement method on the ground.
  - f. A detailed description of any electronic or electrical components that are proposed to be added to the sign and any electrical permit required and issued for the sign.
  - g. Other information as requested by the Zoning Administrator to demonstrate compliance with this Chapter.
5. All signs requiring a permit shall be subject to inspection by the Zoning Administrator.
6. The City reserves the right to require the removal, at the owner's expense, of any sign when the requirements of this Section are not complied with, or if a sign is not properly maintained or falls into a state of disrepair constituting a public nuisance.

F. Signs Not Requiring a Permit

1. The following signs shall not require a permit and are allowed in addition to those signs allowed by Section

121-44.C and D, subject to compliance with the other provisions of this Chapter.

- a. The changing of the display surface only of an existing sign.
- b. A sign on each principal building in all districts displaying the assigned property number at least 3 inches in height.
- c. One sign per property not to exceed 16 square feet where the principal use is residential.
- d. Signs may be erected during an election campaign period on the first day for circulation of nomination papers by candidates, or in the case of a referendum the first day the question is submitted to the electorate, and shall be removed not more than 5 days after the general election in accordance with Wisconsin Statutes Chapter 12.04.
- e. Official signs including public notices, safety signs, traffic signs.
- f. One sign shall be allowed per street frontage, provided that the maximum area of a sign shall be 64 square feet with a maximum height of 12 feet.
- g. Flags.
- h. Sandwich board signs shall be allowed within the Z3, Z6 and Z7 Districts, provided that:
  - (1) Not more than 1 sign is allowed per principal building or 1 is allowed sign per tenant within a principal building having 2 or more tenants each with an exclusive exterior entrance.
  - (2) The sign shall conform to the following maximum dimensions:
    - (a) Height: 4 feet

(b) Width: 3 feet

(2) Location:

(a) The sign shall be located so as to maintain a minimum 5 foot pedestrian walkway and so as not to obstruct vehicular traffic.

(b) The sign shall be set back a minimum of 2 feet from the back of curb of a public street or private drive.

i. Window signs limited to 40 percent of the total area of the window in which they are displayed.

G. Non-Conforming Signs

1. A nonconforming sign lawfully existing upon the effective date of this Section shall be regulated in accordance with Article IV of this Chapter.
2. When a principal use is legally nonconforming under Article IV of this Chapter, all existing or proposed signs in conjunction with that land use shall be considered conforming if they are in compliance with the sign provisions for the most restrictive zoning district in which the property is allowed.

H. Prohibited Signs

The following signs are prohibited:

1. Any sign, signal, marking or device which purports to be or imitates, or resembles any official traffic control device; railroad sign or signal; emergency vehicle signs; or which attempts to direct the movement of traffic.
2. Balloon signs.
3. Flashing signs.
4. Obscene content as defined by Wisconsin Statutes Chapter 944 Subdivision IV.

5. Off-premises signs greater than 50 square feet in area or exceeding 16 feet in height.
6. Roof signs.
7. Rotating signs.
8. Shimmering signs.
9. Signs painted, attached or in any other manner affixed to trees or similar natural surfaces, or attached to utility poles, bridges, towers, or similar public structures, or public fences.
10. Official Signs installed in the public right-of-way other than those authorized by the Wisconsin Department of Transportation, St. Croix County, or the City of New Richmond.
11. Signs affixed to vehicles or trailers intended to increase the number or area of signs displayed on a property where:
  - (a) The vehicle or trailer is not licensed and in such condition so as to be operated upon public streets.
  - (b) The vehicle or trailer is not parked upon the property in compliance with Section 121-52.

This ordinance shall take effect immediately upon its passage and publication as provided by law.

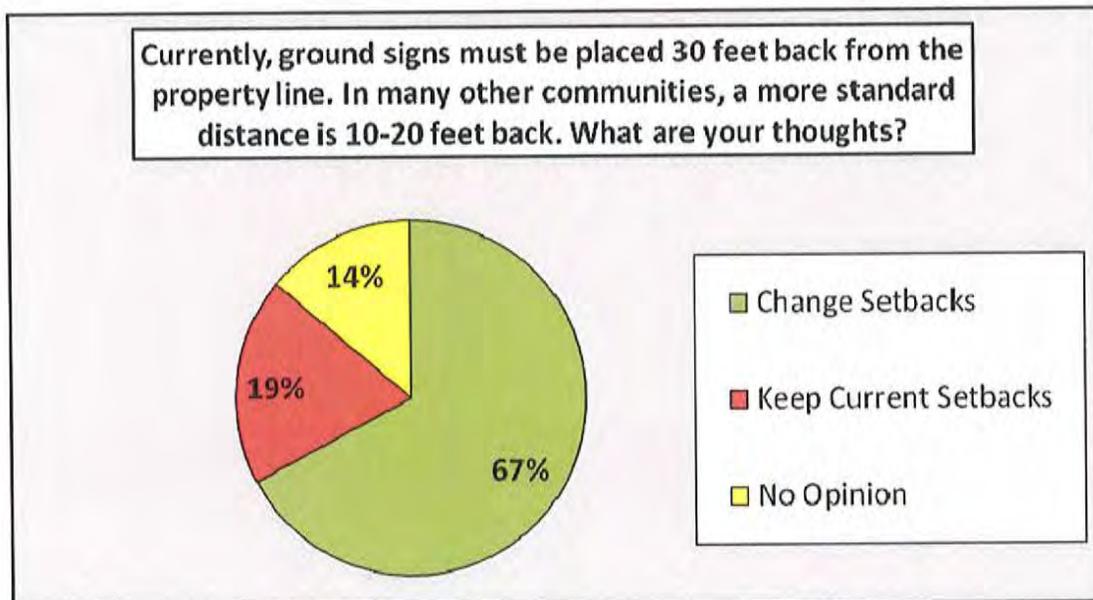
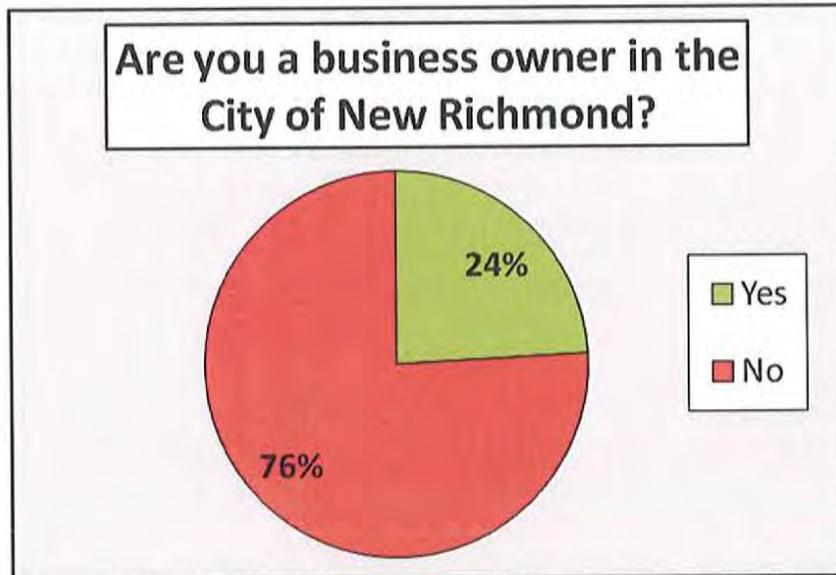
Passed and approved:  
Published and effective:

**CITY OF NEW RICHMOND**

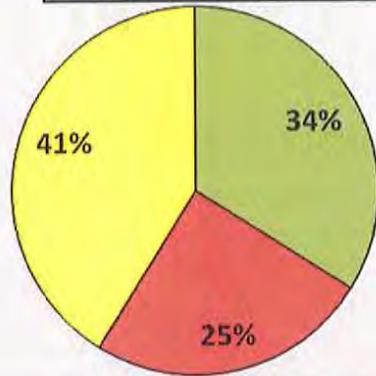
By: \_\_\_\_\_  
Fred Horne, Mayor

ATTEST: \_\_\_\_\_  
Tanya Reigel, City Clerk

## Sign Ordinance Online Survey Results (58 Respondents)

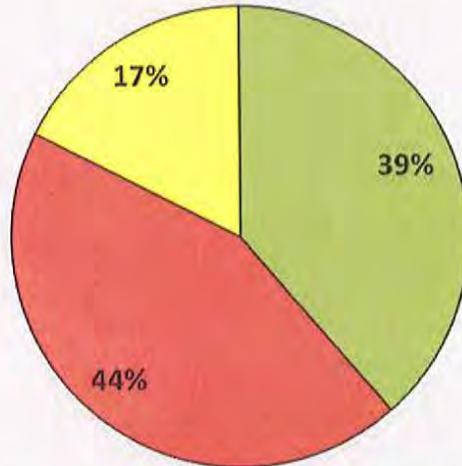


Portable signs are currently allowed for two, 2-week periods per year. Many business owners rely on these signs for advertising, but other people find these signs to be unattractive and distracting. What are your thoughts?



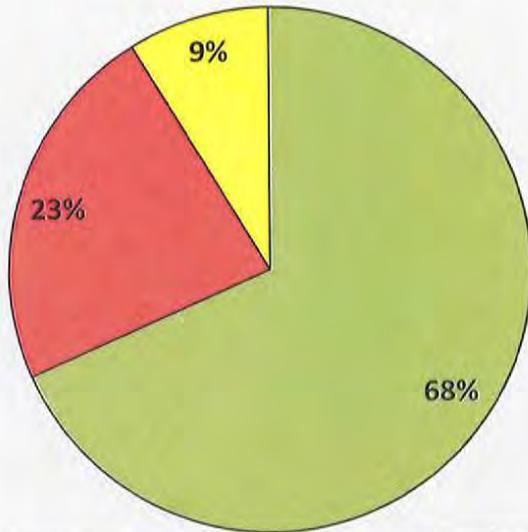
- Yes - Increase the number of days that temporary signs can be displayed
- No - keep the current restrictions in place or ban them altogether
- Find a proper balance that takes all issues into consideration

There are currently very minimal restrictions on brightness, scrolling speeds, flashing, or color on electronic message boards. Today, more businesses are interested in using this new technology. However, there is also a need to ensure that these signs do



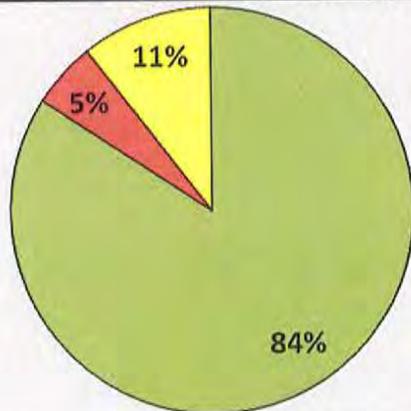
- Yes - review and update ordinance for electronic signs
- No - leave the existing restrictions in place
- No opinion

Currently, signs are not allowed in residential neighborhoods without a conditional use permit (e.g. a church). Today, there are more people who have a home-based business. However, there is a need to respect the character and tranquility of a residential



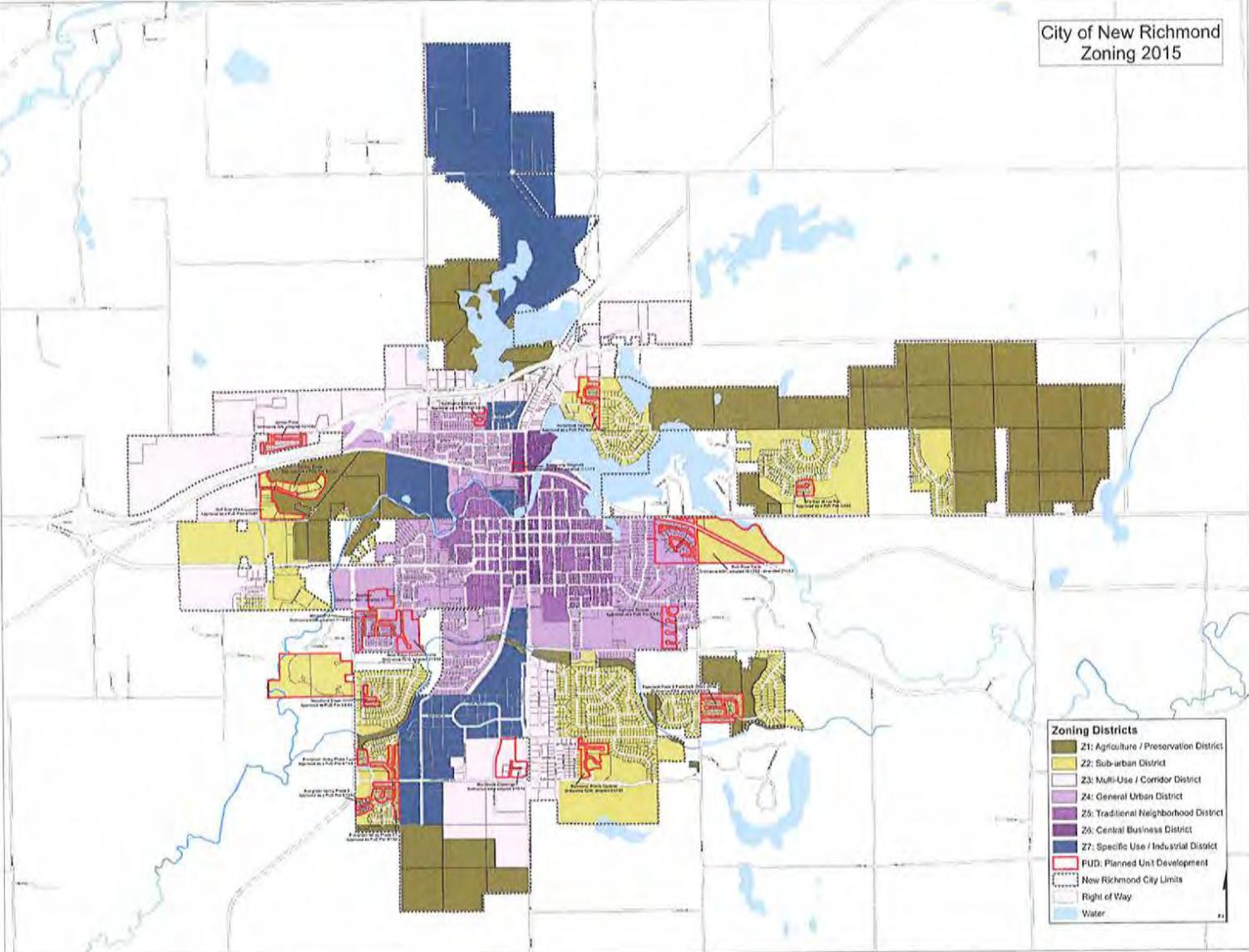
- Yes - support signs with restrictions
- No - signs should not be in residential areas
- Undecided

Should signs be allowed at key intersections in the Business & Technical Park to help guide customers to businesses that are located further back from Richmond Way? What are your thoughts?



- Yes - support more wayfinding signs in Business & Technical Park
- No - do not support
- Undecided

City of New Richmond  
Zoning 2015



Zoning Districts	
Dark Blue	21: Agriculture / Preservation District
Yellow	22: Sub-urban District
Light Purple	23: Multi-Use / Corridor District
Light Blue	24: General Urban District
Medium Purple	25: Traditional Neighborhood District
Dark Purple	26: Central Business District
Dark Blue	27: Specific Use / Industrial District
Red	FUD: Planned Unit Development
Dashed Line	New Richmond City Limits
Thin Grey Line	Right of Way
Light Blue	Water