



156 East First Street
New Richmond, WI 54017
Ph 715-246-4268 Fax 715-246-7129
www.newrichmondwi.gov

September 26, 2018

TO ALL PLAN COMMISSION MEMBERS:

Fred Horne Michelle Scanlan
Jim Zajkowski David Wilford
Mike Kastens David Tyvoll
MaryKay Rice

This is to notify you that there is a Plan Commission meeting scheduled for Tuesday, October 2, 2018 at 5:00 p.m. in the Council Chambers of the Civic Center, 156 East First Street, City of New Richmond, WI.

AGENDA:

- 1) Roll Call**
- 2) Adoption of Agenda**
- 3) Approval of the minutes from the previous meeting on September 4, 2018**
- 4) Public Hearing to consider the following:**
 - a) Application for Conditional Use Permit from Ronald Raedeke at 348-362 North Knowles Avenue to allow two principal structures on one lot. Property described as Lots 23, 24 and 25 of Assessor's Plat #1.**
- 5) Action on Public Hearing Agenda**
- 6) Extra-Territorial CSM from Richard & Jonna Klucas**
- 7) Extra-Territorial CSM from Craig Warren**
- 8) Communications and Miscellaneous**
- 9) Adjournment**

Fred Horne
Mayor

cc:

The News
Mike Darrow
Bob Meyer
Craig Yehlik
Joel Enders
Weston Arndt

Northwest Cable
Nick Vivian
Dan Licht
Beth Thompson
Noah Wiedenfeld
Kevin Blader

City Website
Mike Demulling
Jim VanderWyst
Rae Ann Ailts
Jeremiah Wendt

PLAN COMMISSION MEETING
SEPTEMBER 4, 2018 - 5:00 P.M.

Members Present: Fred Horne, Jim Zajkowski, Michelle Scanlan, MaryKay Rice, David Wilford and David Tyvoll

Members Absent: Mike Kastens

Others Present: Dan Licht, Beth Thompson, Mike Darrow, Scott Counter and Tanya Batchelor

Fred Horne called the meeting to order and roll call was taken.

Jim Zajkowski moved to adopt the agenda as presented, seconded by Michelle Scanlan and carried.

MaryKay Rice moved to approve the minutes from August 7, 2018, seconded by David Tyvoll and carried.

Public Hearing

Fred Horne declared the Public Hearing open to discuss the following:

- a) Petition for Attachment from Roger and Laurie Neumann for the following properties: 038-1109-95-000 consisting of 40 acres; 038-1141-40-000 consisting of 40 acres; 038-1141-30-050 consisting of 39 acres; 038-1141-10-001 consisting of 40 acres; 038-1138-10-002 consisting of 40 acres; 038-1138-10-000 consisting of 40 acres; 038-1138-10-001 consisting of 40 acres; 038-1110-30-000 consisting of 40 acres; 038-1110-10-000 consisting of 40 acres; 038-1106-50-001 consisting of 40 acres; 038-1106-50-000 consisting of 80 acres. Property is located north of Cty Hwy 64 and north of the Health Center property.
- b) Petition for Attachment from Roger and Laurie Neumann for 038-1101-10-00 consisting of 17.67 acres; and 038-1101-20-000 consisting of 29.76 acres; 038-1101-10-400 consisting of 2.20 acres; and 038-1101-50-000 consisting of .27 acres. Property is located South of 200th Avenue abutting the airport property.
- c) Petition for Attachment from St. Croix County for parcel #038-1141-30-075 for a cemetery located north of the Health Center property.
- d) Petition for Attachment from Brett Neumann for the following properties: 038-1106-10-010 consisting of 20 acres; 038-1105-95-010 consisting of 20 acres; 0389-1108-10 consisting of 40 acres; 038-1108-20-000 consisting of 40 acres; 038-1108-30-000 consisting of 40 acres; and 038-1108-40-000 consisting of 40 acres. Property is located north of the Health Center property.
- e) Petition for Attachment from City of New Richmond for 038-1110-20 Compost Site consisting of 40 acres. Located north of the Health Center property.

Dan Licht explained the Plan Commission is discussing the attachment petitions because initially we were treating these as annexations. Our City Attorney advised us to bring this through the entire process based on them being attachments per our Boundary Agreement with Star Prairie Township. The Development Review Committee recommended approval of the petitions with the following zoning:

038-1138-10-002	Roger & Laurie Neumann	Z3 Mixed Use Corridor
038-1138-10-001	Roger & Laurie Neumann	Z4 Med-High Density Residential
038-1138-10-000	Roger & Laurie Neumann	Z4 Med-High Density Residential
038-1141-30-050	Roger & Laurie Neumann	Z4 Med-High Density Residential

038-1141-40-000	Roger & Laurie Neumann	Z4 Med-High Density Residential
038-1141-10-001	Roger & Laurie Neumann	Z3 Mixed Use Corridor
038-1110-30-000	Roger & Laurie Neumann	Z2 Low Density Residential
038-1110-10-000	Roger & Laurie Neumann	Z2 Low Density Residential
038-1106-50-000	Roger & Laurie Neumann	Z2 Low Density Residential
038-1106-50-001	Roger & Laurie Neumann	Z2 Low Density Residential
038-1109-95-000	Roger & Laurie Neumann	Z2 Low Density Residential
038-1110-20-000	City of New Richmond	Z1 Institutional
038-1108-30-000	Brett Neumann LLC	Z2 Low Density Residential
038-1108-40-000	Brett Neumann LLC	Z2 Low Density Residential
038-1106-10-010	Brett Neumann LLC	Z2 Low Density Residential
038-1105-95-010	Brett Neumann LLC	Z2 Low Density Residential
038-1108-10-000	Brett Neumann LLC	Z2 Low Density Residential
038-1108-20-000	Brett Neumann LLC	Z2 Low Density Residential
038-1141-30-075	St. Croix County	Z4 Institutional

Dan Licht explained the attachment petition for property owned by Roger and Laurie Neumann located by the airport off Highway 65. The Development Review Committee recommended approval of this attachment with the following Zoning:

038-1101-50-000	Roger & Laurie Neumann	Z7 Industrial
038-1101-20-000	Roger & Laurie Neumann	Z7 Industrial
038-1101-10-000	Roger & Laurie Neumann	Z7 Industrial
38-1101-10-400	Roger & Laurie Neumann	Z7 Industrial

f) and g) Repeal Section 121-35 of the Zoning Ordinance establishing provisions for extra-territorial zoning; and Amend Chapter 117, Article II to add provisions related to extra-territorial subdivision review. Dan Licht explained that a recent court case regarding extra-territorial subdivision review declared certain items in our current ordinance invalid. This ordinance change removes the language that is invalid. The DRC recommends approval of this ordinance in compliance with the Court of Appeals decision in Lake Delavan Property Company, LLC v. City of Delavan.

Fred Horne declared the Public Hearing closed.

Jim Zajkowski moved to approve the attachment petitions from Star Prairie Township in items a) – e) with the zoning as outlined above and in the August 13, 2018, planning report, seconded by Michelle Scanlan and carried.

MaryKay Rice moved to approve the ordinance repealing Section 121-35 of the Zoning Ordinance and Amending Chapter 117, Article II relating to extra-territorial subdivision review as recommended by the DRC, seconded by David Tyvoll and carried.

Weiss Certified Survey Map

Dan Licht explained the Certified Survey Map from Michael and Michele Weiss at 412 Fox Way. The CSM would move the property line between lots 9 and 10 of Fox Run Second Addition and vacate the drainage and utility easements. The Development Review Committee recommends approval of the CSM and vacation agreement for Michael and Michele Weiss subject to the following conditions:

- 1) City staff shall verify that the storage shed and fire pit have been relocated to comply with minimum setback requirements of the Z2 District prior to recording to the CSM.
- 2) Construction upon Lot 2 prior to completion of construction of Beaver Way shall require use of a driveway to Fox Way in compliance with the provisions of the Zoning Ordinance.

Jim Zajkowski moved to approve the Certified Survey Map from Michael and Michele Weiss as recommended, seconded by David Wilford and carried.

Certified Survey Map from Ron Raedeke

Dan Licht explained the properties in this Certified Survey Map are located at 348, 358 and 362 North Knowles Avenue. The property owner would like to tear down two houses and keep the third house and combine the lots into one. This will require a Conditional Use Permit to allow two principle buildings on one lot. That application for CUP will be discussed at the October Plan Commission meeting. There is an outlot on the CSM that will be deeded to the City under the park land dedication requirements and will be used in the future for the walkway/corridor along the river. City staff has been working with the property owner on the design of the building. They have agreed to make several upgrades to enhance the look from the street. The CSM will not be recorded until after the CUP is approved. Michelle Scanlan moved to approve the Certified Survey Map from Ron Raedeke, seconded by Jim Zajkowski and carried.

Extra-Territorial Certified Survey Map from Todd Nehlich

This property is located in Richmond Township. The property owner would like to create two lots with one lot to include all buildings and the other to be used exclusively for agriculture use. Staff recommended to acquire additional right-of-away of 35 feet at this time so that at some time in the future if this property comes into the City, it is in compliance. Discussion followed. The property owner had requested the lot around the buildings to be L-shaped. Staff recommended to approve the Certified Survey Map from Todd Nehlich subject to the following conditions:

- 1) Lot 1 shall be revised to include all of the area north and west of the proposed east lot line on lot 1.
- 2) The CSM shall dedicate 35 feet of right-of-way for the north one-half of 170th Street as a future local collector roadway.
- 3) The on-site septic system shall be inspected and improved as necessary to ensure that it is functioning in accordance with Wisconsin Rules and that there is adequate area within the proposed lot for a primary and secondary drain field site.

Fred Horne moved to approve the Extra-Territorial CSM as recommended, seconded by Jim Zajkowski and carried.

MaryKay Rice moved to adjourn the meeting, seconded by David Wilford and carried.

Meeting adjourned at 5:27 p.m.

Tanya Batchelor
City Clerk



3601 Thurston Avenue
Anoka, MN 55303
763.231.5840
TPC@PlanningCo.com

MEMORANDUM

TO: Beth Thompson

FROM: D. Daniel Licht, AICP

DATE: 26 September 2018

RE: New Richmond – Raedeke; Conditional Use Permit (Site Plan)

TPC FILE: 164.02

BACKGROUND

Mr. Ronald A. Raedeke has submitted plans for redevelopment of three lots located at 348, 358, and 362 N. Knowles Avenue. The properties are currently developed with three structures, one on each lot. The north two structures are proposed to be removed and a four-unit row townhouse building constructed. The existing structure at 348 N. Knowles Avenue would remain with 4 apartment dwelling units.

The Plan Commission and City Council approved an application for a Certified Survey Map to combine the three properties into one lot at their meeting on 10 September 2018. Development of Lot 1 approved with the CSM requires application for a Conditional Use Permit for multiple principal buildings within one lot in accordance with Section 121-32 of the Zoning Ordinance.

Exhibits:

- Site Location
- Civil plans dated July 2018 (9 sheets)
- Architectural plans dated 8-8-18 (6 sheets)

ANALYSIS

Comprehensive Plan. The City has adopted a Comprehensive Plan that includes a northside design study, where the subject site is located. The northside design study anticipates an area developed with a mix of commercial and residential uses within buildings oriented towards Knowles Avenue and a natural corridor along the Willow River. The proposed redevelopment

plan for the subject site with one structure including four townhouse dwellings and another structure having four apartment dwellings is consistent with the concept plans developed for the northside area.

Zoning. The subject site is zoned Z6, Central Business District. The Z6 District allows for multiple story mixed and single use commercial and residential buildings in an urban form with vehicle and pedestrian connections. The proposed townhouse and multiple family dwellings are permitted uses within the Z6 District. The proposed configuration of the two principal buildings on one lot is allowed subject to approval of a conditional use permit in accordance with Section 121-49.C of the Zoning Ordinance.

Building Requirements. The architectural plans for the proposed four-unit townhouse building shows a two story in height within the maximum four stories allowed within the Z6 District.

City staff has worked extensively with the developer to improve the architectural design and details for the Knowles Avenue elevation of the building to include brick exterior finish materials with different color brick to distinguish each dwelling unit, a patio, patio doors and awnings in front of each dwelling unit to encourage street-side activity. The brick exterior finish material has been extended around the sides of the proposed building and windows added to the side elevations. The building includes gabled roof sections and balconies on the Willow River side.

The developer also indicates no significant exterior changes are proposed to the existing four-unit building.

Landscaping Requirements. The developer has submitted a landscape plan as required by Section 121-55.A of the Zoning Ordinance to provide for establishment of landscape areas outside of building footprints and off-street parking areas.

Three trees will be planted at the building corners and at the center of the building on the Knowles Avenue side of the townhouse building. Additional trees will be planted by the City as part of streetscape improvements being undertaken in conjunction with the development, but may not take place immediately. The landscape plan also includes planting 14 evergreen shrubs along the north property line north of the parking area to buffer the subject site from the property to the north.

The size of proposed plantings comply with the provisions of Section 121-55.D of the Zoning Ordinance. Grass will be installed in all other areas outside of the planting beds, building footprints, and parking areas and drive aisles.

Lot Requirements. There is no minimum lot area or width requirement within the Z6 District applicable to Lot 1. Lot coverage is allowed to be 100 percent of Lot 1 within the Z6 District. Setbacks that apply to the subject site are shown below.

Building			Parking		Willow River
Knowles	North/ South	East	North/ South	East	OHWL
0ft. min 5ft. max	0ft.	0ft.	5ft.	10ft.	75ft.

The existing four unit apartment building and proposed four unit townhouse building comply with applicable setbacks. The proposed parking also complies with required setbacks, except for the 10 feet required from the lot line abutting Outlot 1. The location of the proposed parking area is consistent with the existing parking area within the lot. The existing parking area will be allowed to be improved to an asphalt surface with perimeter curb and will be grandfathered in at the current location pursuant to Section 121-17 of the Zoning Ordinance regulating non-conforming uses.

Off-Street Parking. The site plan illustrates that each of the townhouse dwelling units has a single car attached garage with a driveway apron. There are also 12 exterior parking stalls shown on the site plan. Residential uses within the Z6 District are required to provide one off-street parking stall per dwelling unit. No parking is allowed on Knowles Avenue. The 16 off-street parking stalls within the subject site exceed the requirements of the Zoning Ordinance.

All of the proposed stalls are located in the rear yard as required by Section 121-52.A.4.a of the Zoning Ordinance. The proposed parking stalls comply with Table 13 of the Zoning Ordinance defining the minimum dimensions of the parking stalls and driveway width. The width of the driveway access from Knowles Avenue (Highway 65) is 24 feet, which is adequate for two-way traffic to avoid congestion of vehicles entering/exiting the site at the same time and ensures adequate access to the east side of the buildings for emergency vehicles.

Section 121-52.A.5.c of the Zoning Ordinance requires an asphalt, concrete, or paver surface for all parking stalls and drive aisles. Section 121-52.A.5.f of the Zoning Ordinance requires perimeter concrete curb surrounding all parking stalls and drive aisles. The site plan and detail sheet provides for the required pavement and concrete curb.

Exterior lighting. The submitted plans indicate only decorative fixtures on the west and east elevations of the building. No details regarding the fixtures is provided. Section 121-51.A.1.e of the Zoning Ordinance requires that all light fixtures have a 90-degree horizontal cut off. We recommend this be added as a condition on any lighting installed on the proposed townhouse building and any new or replacement fixtures on the existing four unit apartment building.

Fence. The site plan identifies a six foot tall fence along 16 feet of the north property line to provide screening for the northern most townhouse dwelling unit from the abutting property to the north. Details regarding the construction of the fence and fence materials are shown on sheet C9 and complies with Section 121-54.F.2 of the Zoning Ordinance.

Trash Storage. The site plan indicates an exterior trash storage location for the subject site at the east edge of the internal driveway. Section 121-48.C of the Zoning Ordinance requires provision of an enclosure for exterior storage. The detail plans on sheet C10 illustrate an enclosure constructed of fence materials on a metal frame with gates. The height of the proposed enclosure is 6 feet. The wood and construction design of the enclosure must be revised to be the same as used for the fence along the north property line shown on sheet C9 for a consistent appearance.

Utility Plan. Sanitary sewer, water, and electric services are located adjacent to the property. The developer has submitted a utility plan for the subject site to extend utilities to the subject site. The townhouse will have a single sewer and water service connection, which is allowable either as a property under single ownership or condominium ownership. The developer will need to inspect the water connection from the street to ensure it is in good condition for the proposed use. City staff has reviewed the opportunity to extend electric service through Lot 1 to Outlot 1 for future use by the City and determined it is not needed for future development of the trail corridor. All utility issues are subject to review and approval of the Public Works Director.

Grading Plan. The developer has submitted grading and erosion control plans for the proposed development. All grading, drainage, and utility issues are subject to review and approval of the Public Works Director.

RECOMMENDATION

The Development Review Committee considered the proposed development at its meeting on 20 September 2018 and recommends approval of the applications as outlined below.

POSSIBLE ACTION

- A. Motion to approve a conditional use permit for Ronald Raedeke allowing multiple principal buildings on one lot, subject to the following conditions:
 - 1. All exterior light fixtures shall have a 90-degree horizontal cut off in accordance with Section 121-51.A.1.e of the Zoning Ordinance.
 - 2. The trash enclosure shall be constructed with a design and materials consistent with that of the fence shown on sheet C9, subject to approval of the Zoning Administrator.
 - 3. All utility issues are subject to review and approval of the Public Works Director.
 - 4. All grading, drainage, and erosion control issues are subject to review and approval of the Public Works Director.

- B. Motion to **deny** the applications based on a finding that the request does not comply with the Zoning Ordinance and/or Subdivision Ordinance.
- C. Motion to **table** for further discussion.
- c. Michael Darrow, City Administrator
Jeremiah Wendt, Public Works Director
Nick Vivian, City Attorney



CONDITIONAL USE APPLICATION

City of New Richmond

156 East First Street ❖ New Richmond, WI 54017

Phone: (715) 246-4268 ❖ Fax: (715) 246-7129

CITY ORDINANCE SECTION 121-32

www.newrichmondwi.gov

APPLICATION FEE: \$250 ESCROW \$500

Application fee should be made payable to City of New Richmond upon submittal of completed application. Escrow funds will be drawn to cover project-related costs. Additional funds may be required; surplus funds will be returned.

Please complete the application by typing or printing in ink. Use additional paper if necessary.

1. Property Owner Information:

Company name: _____

Last name: Raedtke First name: Ronald

Address: 3936 River Rd S City/State/Zip: Afton, MN 55001

Phone number: 651-0260-0286 Email address: RonSKI61@aol.com

2. Applicant Information: (if different from above)

Company name: _____

Last name: _____ First name: _____

Address: _____ City/State/Zip: _____

Phone number: _____ Email address: _____

3. Address(es) of Property Involved: (if different from above)

362-358-348 Knowles Ave

4. Zoning Designation: _____

5. Comprehensive Plan Designation: _____

6. Statement of Intent: Briefly describe what will be done on or with the property requiring the conditional use approval.

Build 2 Duplexes that are Attached

7. Additional Required Information:

- a. **Legal Description and PIN:** Provide the Parcel Identification Number(s) and the complete legal description(s) of the property involved.
- b. **Consultant Fees:** Whenever third party consultants are utilized in the preparation of application materials (e.g., a traffic study) or the City's review of an application (e.g. traffic study analysis), the applicant shall be responsible for paying the entirety of those costs.
- c. **Proposed Plans:** In addition to a scaled site plan, the following documentation may be requested: a landscape plan, grading and drainage plan, photometric plan, traffic study, and exterior building elevation drawings showing building materials may also be required if deemed necessary by City Staff. Plans for residential applications may be on 8½"x 11" or 11"x 17" paper; full size plans and digital copies must be submitted for commercial applications.
- d. **Written Narrative:** The written narrative should thoroughly address the following general items in addition to any specific requirements pertaining to the proposed use, which Section 121-259 (Conditional Uses) of the City Code directs the City Council to evaluate during consideration of conditional use applications:
 - 1) The proposed use is not in conflict with the Comprehensive Plan;
 - 2) The proposed use is not in conflict with any Regulating Maps or other adopted plans;
 - 3) The proposed use is not in conflict with any City Ordinance requirements;
 - 4) The proposed use will not create an excessive burden on parks, streets and other public facilities; and
 - 5) The proposed use will not be injurious to the surrounding neighborhood, will not negatively impact traffic or property values, and will not otherwise harm the public health, safety, and general welfare.

8. **Signature(s):** By signing below, you attest that the information above and attached is true and correct to the best of your knowledge.

Property Owner: 

Date: 8-17-18

Applicant: _____

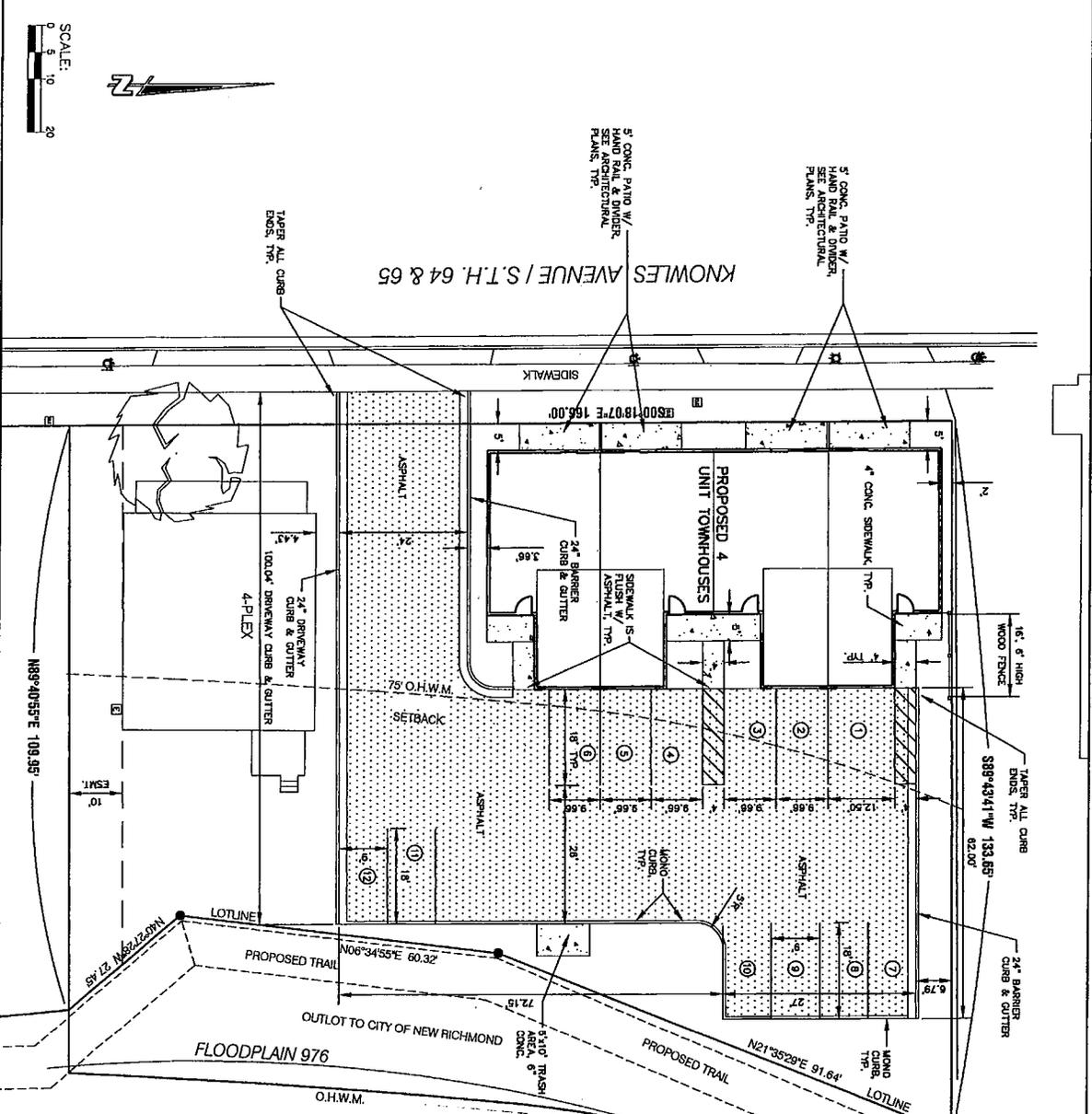
Date: _____

Fee Paid: \$250 Date: 8/17/18 Receipt # 67952

Escrow Paid: \$500 Date: 8/17/18 Receipt # 67952



Applications for conditional use approval must be received by the first Thursday of each month; applications received after this date cannot be heard at the Planning Commission meeting the following month.



NOTES:

- ZONING: Z6, CENTRAL BUSINESS DISTRICT.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION & NOTIFY THE ENGINEER OF ANY DIFFERENCES.
- THE CONTRACTOR SHALL VERIFY THE LOCATION & DEPTH OF ALL UTILITIES & NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ARCHITECTURAL PLANS.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS & SIZES OF ALL EXISTING UTILITIES.
- ALL DIMENSIONS ARE FROM THE FACE OF CURB WHERE APPLICABLE.
- THE CONSTRUCTION SHALL BE RESPONSIBLE FOR ALL NECESSARY CONSTRUCTION PERMITS.
- 4' WIDE YELLOW PARKING LOT STRIPING AS PER MIOT SSSIC SECT. 64d & 64j; NON SPKOV, SHALL BE INCIDENTAL TO ASPHALT PRD.
- (1) DENOTES NUMBER OF EXTERIOR PARKING STALLS.

REQUIRED PARKING STALLS

- 12 EXTERIOR STALLS
- 4 INTERIOR STALLS
- 16 STALL PROVIDED

IMPERVIOUS AFTER DEVELOPMENT

- TOTAL IMPERVIOUS AREA INCLUDING 4-PLEX: 12,013 SQ. FT. (IMPERVIOUS AREA BEFORE DEVELOPMENT 11,079 SQ. FT.)

BUILDING SETBACKS

- FRONT 0 FT. MIN., 5 FT. MAX.
- SIDE 0 FT. MIN., 5 FT. MAX.
- REAR 0 FT.

PARKING, REFUSE SETBACKS

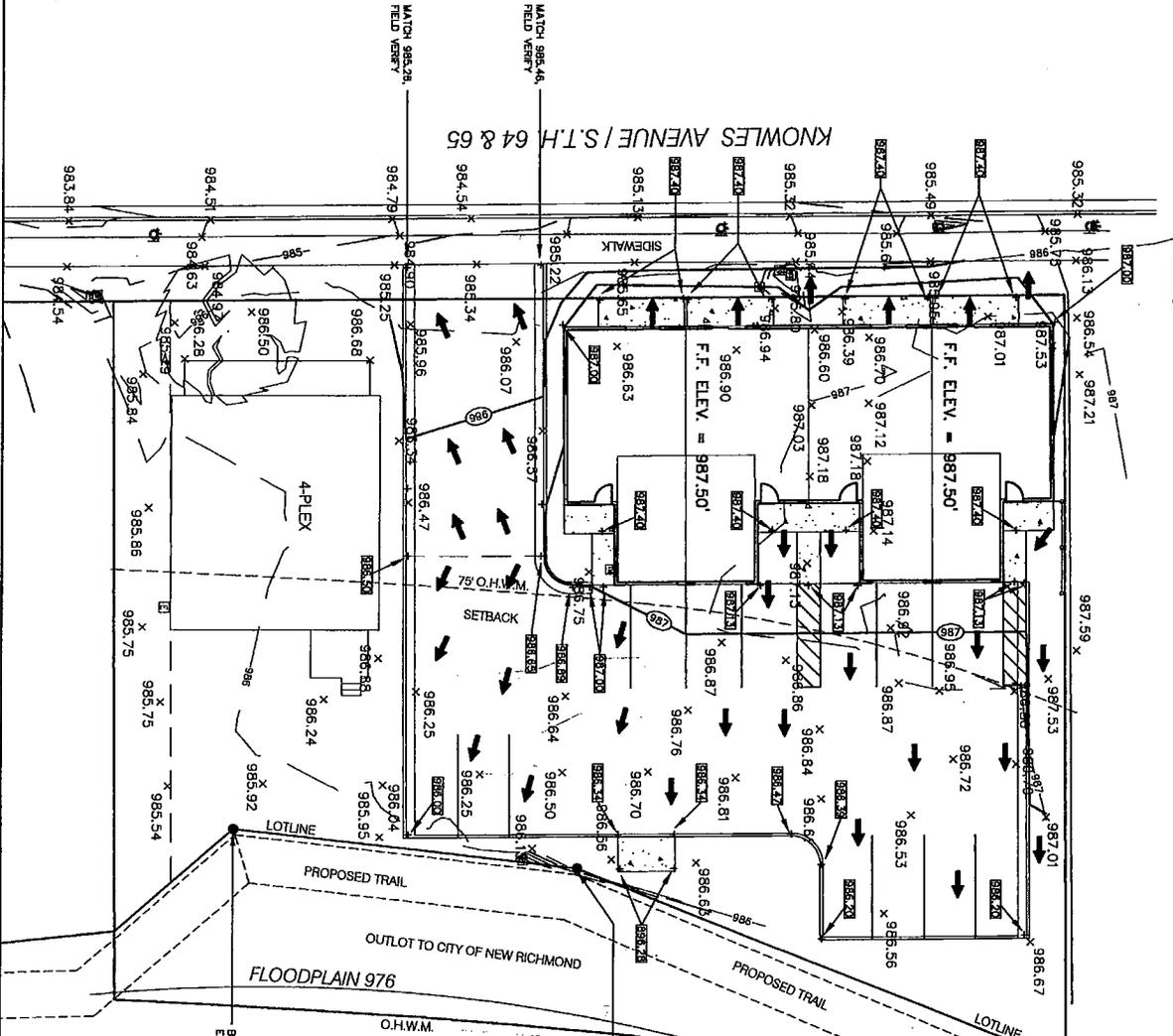
- FRONT 0 FT. MIN., 5 FT. MAX.
- SIDE 5 FT.
- REAR 0 FT.

SITE DATA AFTER DEVELOPMENT

- TOTAL SITE AREA, 16,989 SQ. FT., 0.38 ACRES
- TOTAL BUILDING AREA INCLUDING 4-PLEX AREA, 4,624 SQ. FT., 0.11 ACRES (23,482 BUILDING COVERAGE)

	<p>PROPOSED 4-PLEX for: RONALD RAEDKE NORTH KNOWLES AVENUE NEW RICHMOND, WI</p>	<p>REVIEW</p>
	<p>800-472-7372 www.cedarcorp.com</p>	

<p>DATE: 07/27/18 DRAWN BY: D.B. CHECKED BY: J.L.V. 2018 REVISIONS:</p>	<p>PROJECT FILE: 18021-01.dwg</p>
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- NOTES:**
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING DRAINAGE OF SURFACE WATER AWAY FROM BUILDING.
 - THE CONTRACTOR SHALL VERIFY ALL EXIST. CONDITIONS, LOCATIONS OF EXIST. UTILITIES.
 - OPERATE ALL SIGNPOSTS AT 2X AWAY FROM BUILDING UNLESS OTHERWISE NOTED.
 - PROPOSED CONTOUR LINE LOCATIONS ARE APPROXIMATE. SPOT ELEVATIONS SHALL BE USED FOR EXACT ELEVATIONS.
 - PROPOSED SPOT ELEVATIONS SHOWN AT THE CURB & CUTTER ARE THE ELEVATIONS FOR THE LOW LINE OF THE GUTTER.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST UNIFORM SPEC FOR HWY & STRUCTURE CONSTRUCTION IN LATEST ED. & ALL SUPPLEMENTAL SPEC.

- KEY**
- 985 DENOTES EXISTING CONTOUR LINE.
 - 986 DENOTES PROPOSED CONTOUR LINE.
 - 985.92 DENOTES FINISH GRADE.
 - 985.92 + DENOTES EXISTING SPOT ELEVATION.
 - 985.92 DENOTES PROPOSED SPOT ELEVATION.
 - 985.92 DENOTES FINISHED GRADE.
 - 985.92 DENOTES FINISH GRADE.
 - 985.92 DENOTES FINISH GRADE.

GRADING PLAN



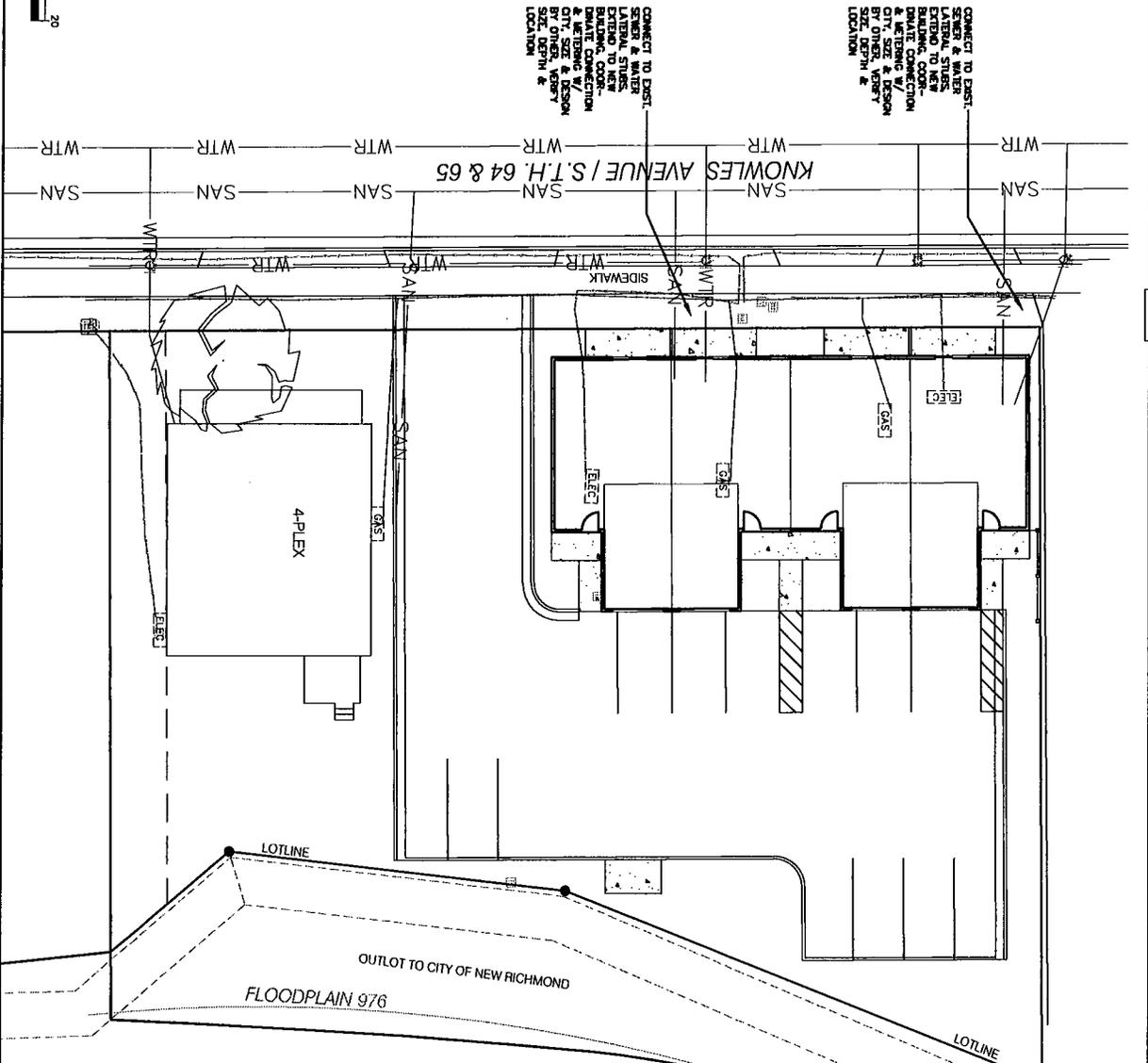
PROPOSED 4-PLEX
for: RONALD RAEDKE
NORTH KNOWLES AVENUE
NEW RICHMOND, WI

REVIEW



800-472-7372
www.cedarcorp.com FAX 762-535-2827

DATE	07/31/18
BY	U B
CHECKED BY	B K
DATE	JULY 2018
REVISIONS	
DATE	
BY	
DATE	
BY	
DATE	
BY	



CONNECT TO EXIST. SEWER & WATER LATERAL STUDES. EXTENDING TO NEW BUILDING. COORDINATE CITY, SIZE & DESIGN BY OTHER, VERIFY SIZE, DEPTH & LOCATION.

CONNECT TO EXIST. SEWER & WATER LATERAL STUDES. EXTENDING TO NEW BUILDING. COORDINATE CITY, SIZE & DESIGN BY OTHER, VERIFY SIZE, DEPTH & LOCATION.

NOTE:
FIELD VERIFY THAT THE EXISTING SANITARY SEWER LATERAL AND WATER LATERAL FROM THE BACK OF THE BUILDING ARE NOT DISCONNECTED FROM SERVICE. VERIFY PER STATE AND LOCAL REQUIREMENTS. REPLACE IF REQUIRED.

- NOTES:**
- CONTRACTOR SHALL LOCATE ALL EXIST. UTILITIES IN & AROUND CONSTRUCTION AREA.
 - CONTRACTOR SHALL FIELD VERIFY DEPTHS, LOCATIONS & SIZES.
 - ALL PVC SANITARY SEWER PIPES SHALL BE SDR 35.
 - CONTRACTOR SHALL COORDINATE SEW. & WTR. CONNECTIONS.
 - IF THE WATERMAN OR WATER LATERAL PIPE CROSSING A SEWER PIPE IS BELOW THE SEWER PIPE, THERE SHALL BE AN 18" MIN. SEPARATION. IF THE WATER PIPE IS ABOVE THE SEWER PIPE, THE WATER PIPE SHALL MAINTAIN A MIN. OF 7.5' COVER OVER TOP OF WATER LATERALS.
 - WATER LATERAL SHALL BE TYPE K COPPER.
 - INSTALL 1/2" GAUGE SOLID COPPER TRACER W/ PLASTIC TRACER WIRE SPACED AT 10' ON CENTER.
 - TRACER WIRE SHALL BE ATTACHED TO PLASTIC PIPE EVERY 10 FT. & AT EVERY BEND.
 - SPICES IN TRACER WIRE SHALL BE MADE W/ SHUT BOLT OR WATER PROOF -TYPE CONNECTIONS. ALL SPICES SHALL BE MADE AT EVERY 300' W/ VALVES, CLEANOUTS, MANHOLES.
 - TRACER WIRE SHALL HAVE ACCESS POINTS TO GRADE AT A MIN. OF EVERY 300' W/ VALVES, CLEANOUTS, MANHOLES.
 - CONTRACTOR SHALL VERIFY OVERHEAD SERVICE ELEVATIONS FOR ALL UTILITIES CROSSINGS (EXIST. & PROP.) TO ELIMINATE POSSIBLE CONFLICTS. REPORT ANY CONFLICTS TO ARCHITECT IMMEDIATELY.
 - ALL ELECTRICAL, TELEPHONE, CABLE & GAS SERVICE LINES SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE CODES. ALL UTILITIES SHALL BE CONFORMANT W/ APPROPRIATE UTILITY CODES & LOCAL REQUIREMENTS. W. DOT STANDARD SPEC FOR HWY. & ST. STANDARDS SPEC FOR SEWER & WATER CONDS. IN W. INTERESTED, INCLUDING ALL ADDENDUMS & REVISIONS.
 - INSTALL TRAFFIC CONTROL & TEMP. DETOUR AS PER MUTCD & MUNICIPALITIES REQUIREMENTS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICABLE LOCAL, STATE, FEDERAL, AND FEDERAL REGULATIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXIST. UTILITIES, REMOVE, ABANDON, RELOCATE EXIST. UTILITIES AS REQUIRED, FIELD VERIFY, ALL UNDERGROUND UTILITIES MAY BE UNIDENTIFIED. FIELD VERIFY W/ DIGGERS HOLDING, OWNER & MUNICIPALITY.

UTILITY PLAN



PROPOSED 4-PLEX
for: RONALD RAEDKE
NORTH KNOWLES AVENUE
NEW RICHMOND, WI

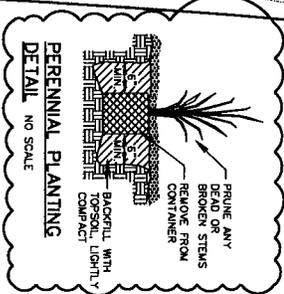
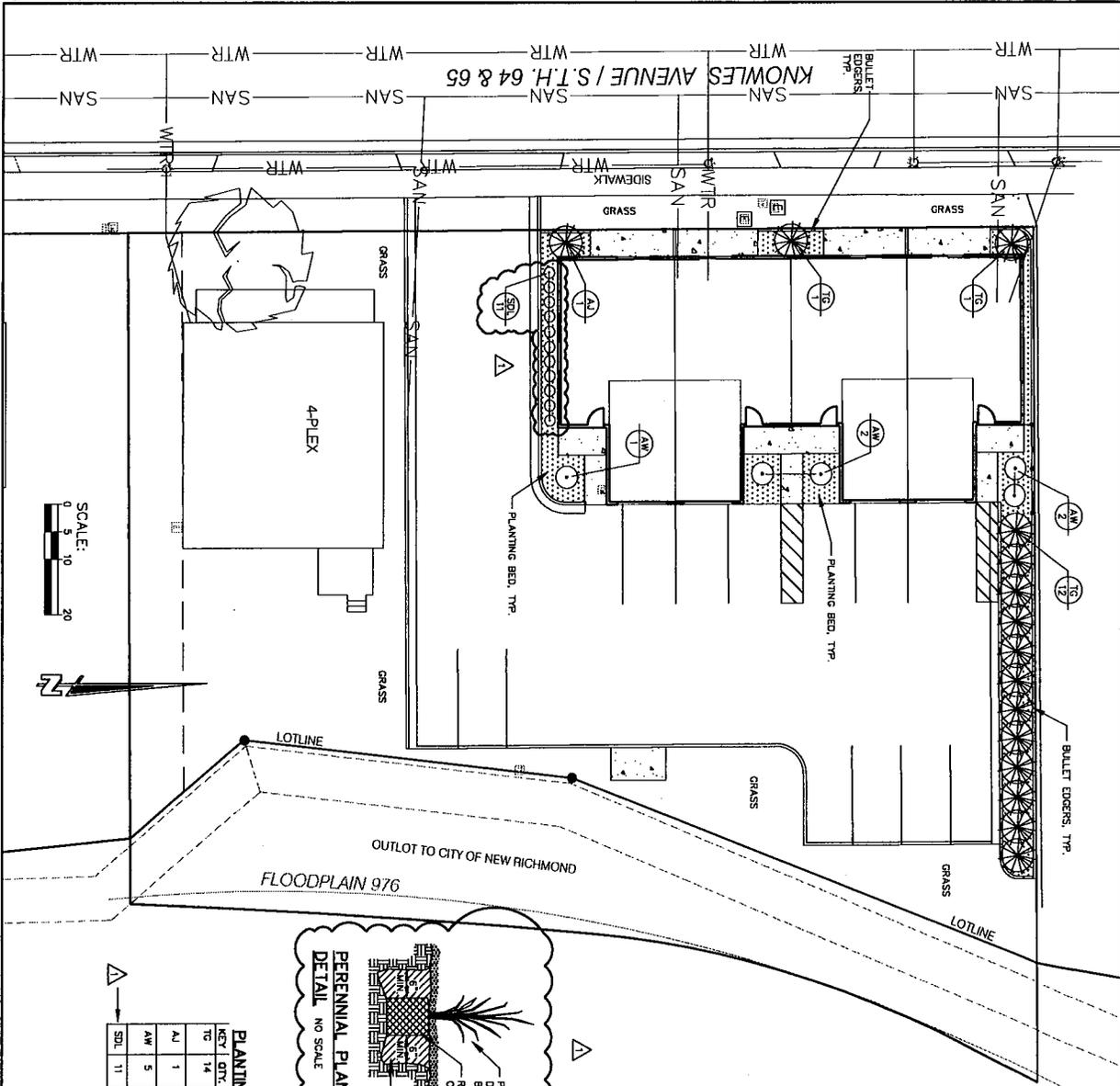
REVIEW

Cedar Corporation
engineers • architects • planners • environmental specialists
landscapers • historians • scientists • interior designers

2000 Bolton Commerce West
Suite 100
10000 W. 54th St.
Milwaukee, WI 53227
Tel: 414-251-2777 Fax: 414-251-2777

1180 Redwood Street
Suite 502
1000 W. 54th St.
Milwaukee, WI 53227
Tel: 414-251-2777 Fax: 414-251-2777

DATE PLOTTED	06/24/2018
DATE INCH	N/A
DRAWN BY	DB
CHECKED BY	DB
DATE	JULY 2018
REVISION	REVISED PER STATE & LOCAL REQUIREMENTS.
DATE	SEP. 24, 2018
PROJECT FILE	6021-01.dwg



PLANTING SCHEDULE

KEY	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
TC	14	TECHY DOBE	TULIA OCCIDENTALIS	3 HT.	8x8	FULL CLOBE
AJ	1	ANDORRA JUMPER	JUNIPERUS HORIZONTALIS	24" SP.	#3 CONT.	FULL
AW	5	ANTHONY WATERER	SPINEX X BIMALUDA	18" HT.	#3 CONT.	FULL
SD	11	STELLA D'ORO DAVITILLY	HEBERCALIUS STELLA	10" HT.	#1 CONT.	FULL

- NOTES:**
- THE CONTRACTOR SHALL VERIFY ALL EXIST. CONDITIONS.
 - USE GEOTEXTILE FABRIC WEED BARRIER UNDER ALL PLANTING BED MULCH UNLESS OTHERWISE NOTED. FABRIC WEED BARRIER SHALL CONFORM TO W DOT SPEC. SECT. 632.
 - USE 1-1/2" WASHED AGGREGATE STONE MULCH IN PLANTING BEDS. 3" DEPTH. STONE MULCH SHALL BE CLEAN, & FREE FROM DESTRUCTIVE MATERIALS, STICKS, STONES, NOXIOUS WEEDS, SALT & FINE SILTS, CLAYS OR TOPSOIL.
 - TOP OF MULCH IN PLANTING BEDS SHALL BE EVEN W/ TOP OF SURROUNDING SURFACES. PLANT QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER PLANTING SCHEDULE.
 - ALL PLANTS SHALL BE SPECIMEN GRADE AS PER AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
 - ALL PLANT MATERIAL SHALL HAVE A ONE YEAR WARRANTY AGAINST DEATH & UNHEALTHY CONDITION, EXCEPT AS A RESULT OF NEGLECT BY OWNER, DAMAGE BY OTHERS & UN-REASONABLE WEATHER CONDITIONS.
 - PLANT MATERIALS TO BE DELIVERED TO THE PROJECT ON THE DATE OF FINAL ACCEPTANCE OF THE PROJECT.
 - ALL PLANTS SHALL CONFORM TO THE VARIETIES SPECIFIED IN THE PLANT LIST & SHALL BE TRUE TO BOTANICAL NAME AS IN HORTUS THIBOS.
 - ALL PLANTS INCLUDING THEIR ROOTS SHALL BE FREE FROM DISEASE, INSECTS & OTHER NOXIOUS QUALITIES & SHALL BE WELL FORMED, FULL, IN A HEALTHY VIGOROUS GROWING CONDITION. REAR OR AT SPECIMEN QUALITY.
 - ALL PLANTS INCLUDING THEIR ROOTS SHALL BE WELL FORMED, FULL, IN A HEALTHY VIGOROUS GROWING CONDITION. REAR OR AT SPECIMEN QUALITY.
 - SHRUBS AS PER THE PLANTING DETAIL SHALL BE CONSIDERED INCIDENTAL TO THE PLANT MATERIAL PRICE.
 - TOPSOIL SHALL CONSIST OF A HUMUS-BEARING LOAM ADAPTED TO SUSTAIN VIGOROUS GRASS GROWTH. FREE FROM DESTRUCTIVE MATERIALS W/ A PH RANGE OF 6.0 TO 7.0. TOPSOIL NOT MEETING THESE REQUIREMENTS SHALL BE AMENDED AT NO ADDITIONAL COST.
 - SHREDDED BARK MULCH SHALL BE FRESHLY SHREDDED HARD-WOOD BARK FREE FROM DESTRUCTIVE MATERIALS, STICKS, STONES, NOXIOUS WEEDS, SALT & FINE SILTS. MULCH SHALL BE COMPOSTED OR TREATED WITH NITROGEN TO COMPENSATE FOR SUCH LOSS IN DECOMPOSITION.
 - ANY PLANTS DELIVERED TO THE PROJECT SITE THAT ARE NOT INSTALLED THE SAME DAY SHALL BE "HEALED" IN W/ TOPSOIL, WOOD CHIPS, SHREDDED BARK, OR SANDWUST & ADEQUATELY WATERED UNTIL SUCH TIME THE PLANTS CAN BE INSTALLED.
 - PLANT MATERIALS SHALL BE STORED IN A PROTECTED AREA AFTER MATERIAL UNLOADING IS COMPLETED FOR THE ORDER. FINAL ACCEPTANCE OF PROJECT WATER SHALL BE PROVIDED IN AN ADEQUATE AMOUNT TO SUSTAIN VIGOROUS PLANT GROWTH.

LANDSCAPE PLAN



PROPOSED 4-PLEX
for: **RONALD RAEDKE**
NORTH KNOWLES AVENUE
NEW RICHMOND, WI

REVIEW

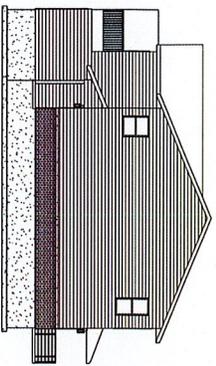
Cedar corporation

800-472-7372
www.cedarcorp.com

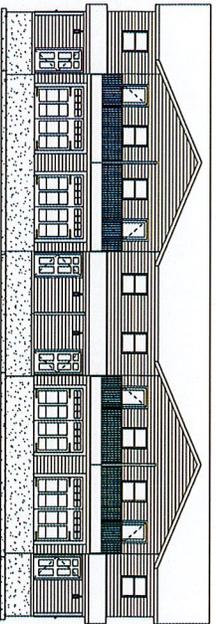
2000 Barton Convexa West
Madison, WI 53718
800-472-7372
515-226-3727

1100 Belmont Street
Madison, WI 53718
608-241-5431
608-241-5434

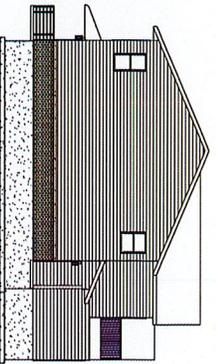
DATE	JULY 2018
BY	R K K
FOR	R K K
PROJECT	6621-01
DATE	AUG 16, 2018
BY	R K K
FOR	R K K
PROJECT	6621-01



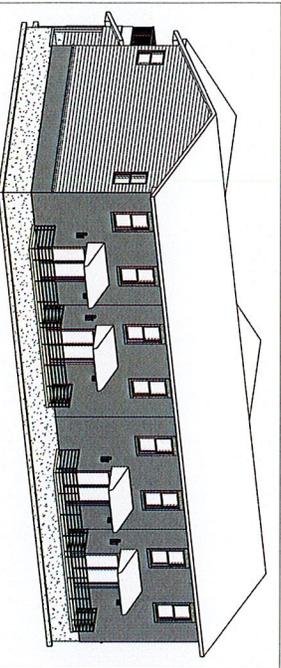
3 LEFT ELEVATION
1/8" = 1'-0"



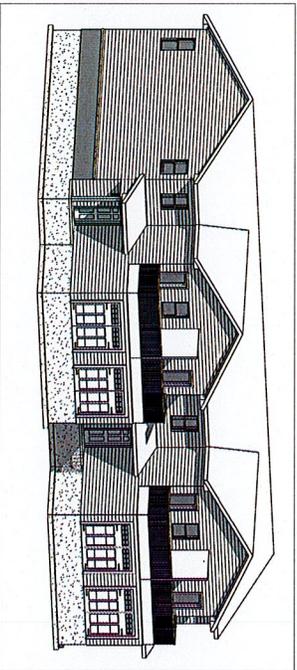
2 REAR ELEVATION
1/8" = 1'-0"



4 RIGHT ELEVATION
1/8" = 1'-0"

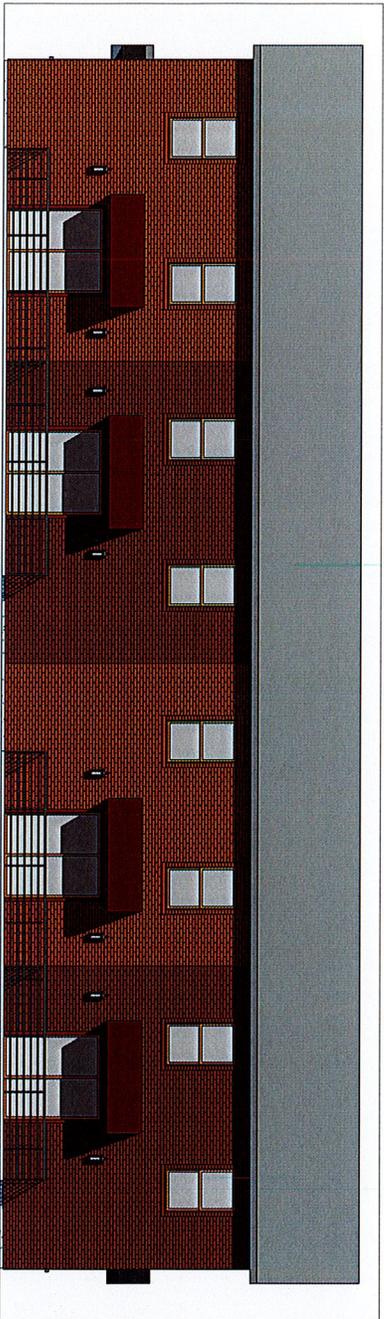


5 INSERTED 30-1



6 INSERTED 30-2

TWO-TONE BRICK USED TO DISTINGUISH THE FOUR ACTUAL COLOR CHOICES TO BE VERIFIED. SQUARE FININGS INSTALLED ABOVE EACH RATIO DOOR WITH INTERNAL FRAMES. EXTERIOR FINISHES TO BE VERIFIED.



1 FRONT ELEVATION
1/4" = 1'-0"

271 SQ. FT. GARAGE FINISHED EACH UNIT
1326 SQ. FT. FINISHED EACH UNIT

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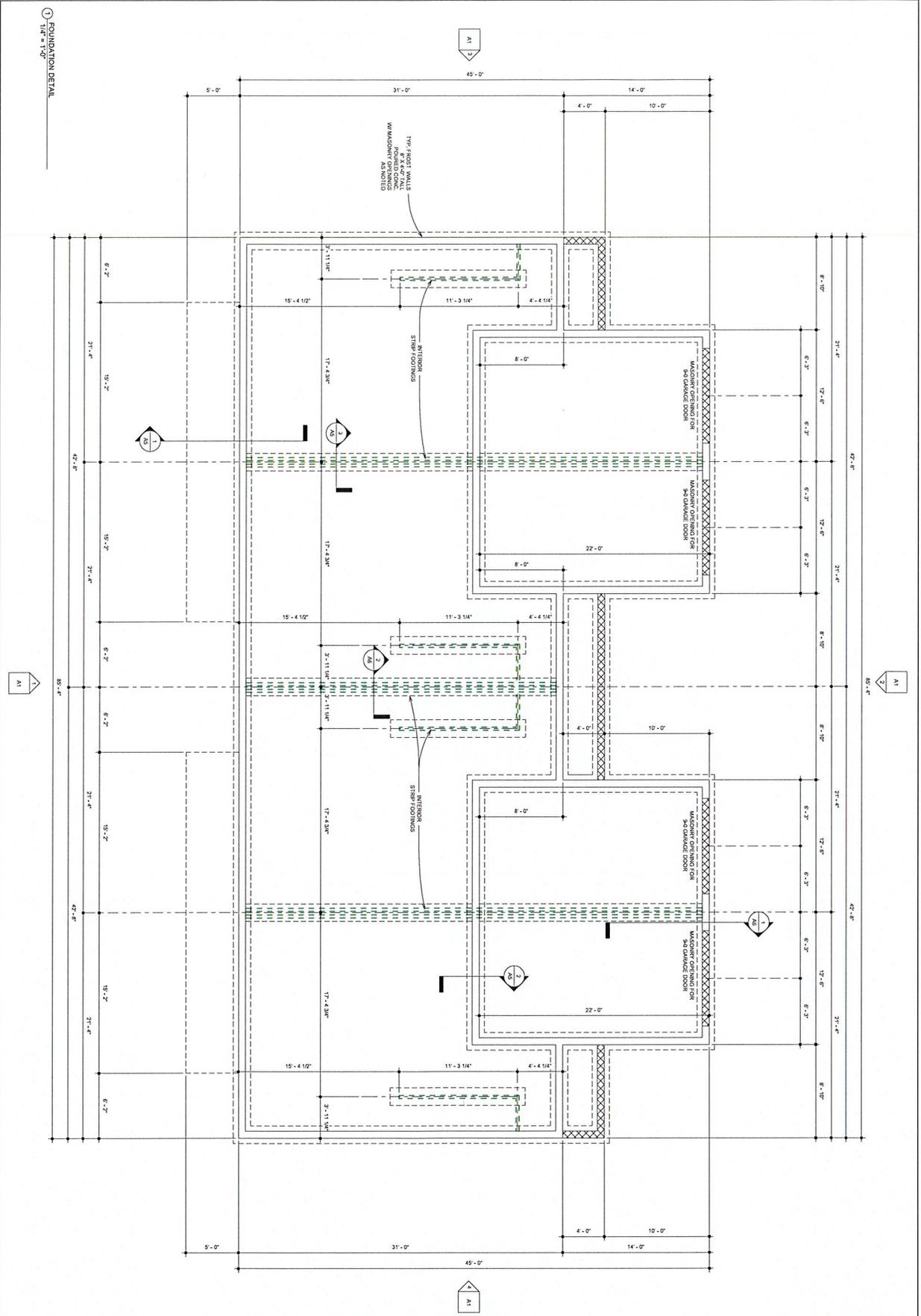
Consultant
Address
Phone
Email
Consultant
Address
Phone
Email
Consultant
Address
Phone
Email

NOTICE!
BUILDER TO VERIFY ALL DIMENSIONS, SIZES AND LOCATIONS AND REPORT ANY ERRORS PRIOR TO PROCEEDING.

ALL CONTRACTORS MUST FURNISH MATERIALS WITH ALL LEGAL, STATE, AND LOCAL PERMITS AND EQUIPMENT USED ON THIS PROJECT. MATERIALS AND EQUIPMENT USED ON THIS PROJECT MUST BE OF THE HIGHEST QUALITY AND QUANTITIES AND SIZE OF ALL WORK.

No.	Item	Description	Qty	Unit
1	FOUNDATION	CONCRETE	1	S.F.
2	FOUNDATION	FORMWORK	1	S.F.
3	FOUNDATION	REINFORCING	1	S.F.
4	FOUNDATION	BRICK	1	S.F.
5	FOUNDATION	BRICK	1	S.F.
6	FOUNDATION	BRICK	1	S.F.
7	FOUNDATION	BRICK	1	S.F.
8	FOUNDATION	BRICK	1	S.F.
9	FOUNDATION	BRICK	1	S.F.
10	FOUNDATION	BRICK	1	S.F.

Tangle Wood Properties
Willow River Estate
ELEVATIONS
Project Number: D-13267-C-32
Date: 6-8-18
Drawn By: Ryan
Checked By: Ryan
Scale: As indicated



Tangle Wood Properties
 Willow River Estate
FOUNDATION

Project number: D-13261-02-52
 Date: 8-2-18
 Drawn by: RMB
 Checked by: RMB

Scale: 1/4" = 1'-0"
A2

No.	Description	Code
1	INITIAL SETBACK	E.C.1.8
2	FOUNDATIONS	E.C.1.8
3	FOUNDATION FOOTING	E.C.1.8
4	FOUNDATION WALLS	E.C.1.8
5	FOUNDATION SLABS	E.C.1.8
6	FOUNDATION BEAMS	E.C.1.8
7	FOUNDATION BRICKWORK	E.C.1.8

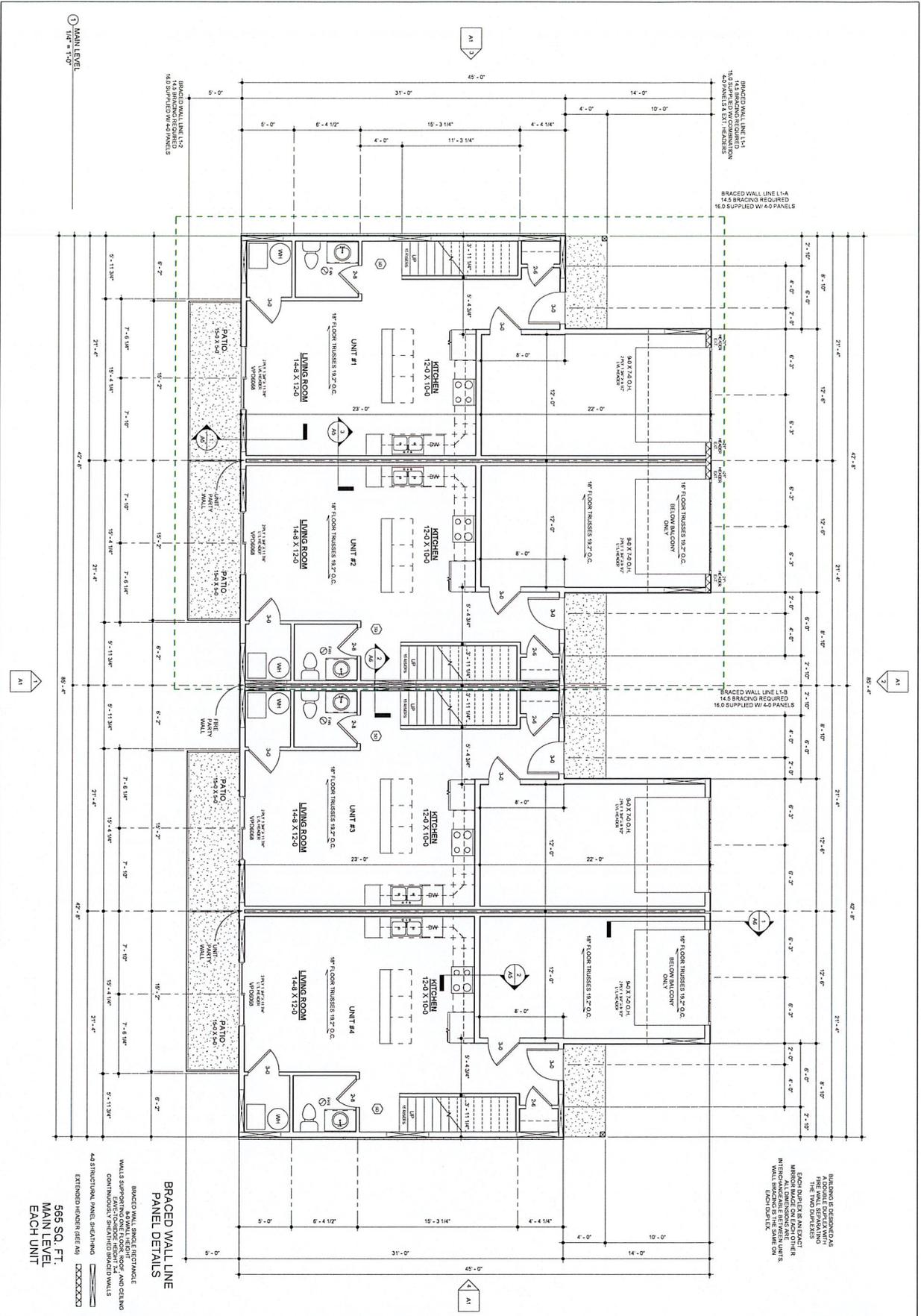
NOTICE!
 BUILDERS TO VERIFY ALL DIMENSIONS AND MATERIALS. ANY ERRORS PRIOR TO PROCEEDING.

ALL CONTRACTORS MUST FURNISH: 1. PROPERLY SIZED AND PLACED REINFORCING BARS. 2. PROPERLY SIZED AND PLACED CONCRETE. 3. PROPERLY SIZED AND PLACED BRICKWORK. 4. PROPERLY SIZED AND PLACED FOUNDATION WALLS. 5. PROPERLY SIZED AND PLACED FOUNDATION SLABS. 6. PROPERLY SIZED AND PLACED FOUNDATION BEAMS. 7. PROPERLY SIZED AND PLACED FOUNDATION FOOTING.

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 Address:
 Phone:
 Fax:
 e-mail:

Consultant:
 Address:
 Phone:
 Fax:
 e-mail:



1 MAIN LEVEL
1/4" = 1'-0"

**BRACED WALL LINE
PANEL DETAILS**

BRACED WALL SINGLE RECTANGULAR
WALLS SUPPORTING ONE FLOOR, ROOF AND CEILING
CONNECTIONS TO VERTICAL BRACED WALLS

4.4.3 STRUCTURAL PANEL SCHEDING

EXTENDED HEADER (SEE 4.4)

565 SQ. FT.
MAIN LEVEL
EACH UNIT

REVISIONS IS DESCRIBED AS
A SYMBOL IN BLUE WITH
THE TWO DASHES
EACH NUMBER IS IN EACH
CIRCLE. ALL DIMENSIONS ARE
WALL TO WALL UNLESS THE SHEET OR
EACH UNIT EX.

Tangle Wood Properties Willow River Estate	
MAIN LEVEL	
Project Number	D-1208-10-32
Date	8-8-18
Drawn by	R201
Checked by	R201
Scale	1/4" = 1'-0"

NO.	REVISION / DESCRIPTION	DATE
1	ISSUED FOR PERMIT	8-8-18
2	REVISED PER COMMENTS	8-8-18
3	REVISED PER COMMENTS	8-8-18
4	REVISED PER COMMENTS	8-8-18
5	REVISED PER COMMENTS	8-8-18
6	REVISED PER COMMENTS	8-8-18
7	REVISED PER COMMENTS	8-8-18
8	REVISED PER COMMENTS	8-8-18
9	REVISED PER COMMENTS	8-8-18
10	REVISED PER COMMENTS	8-8-18

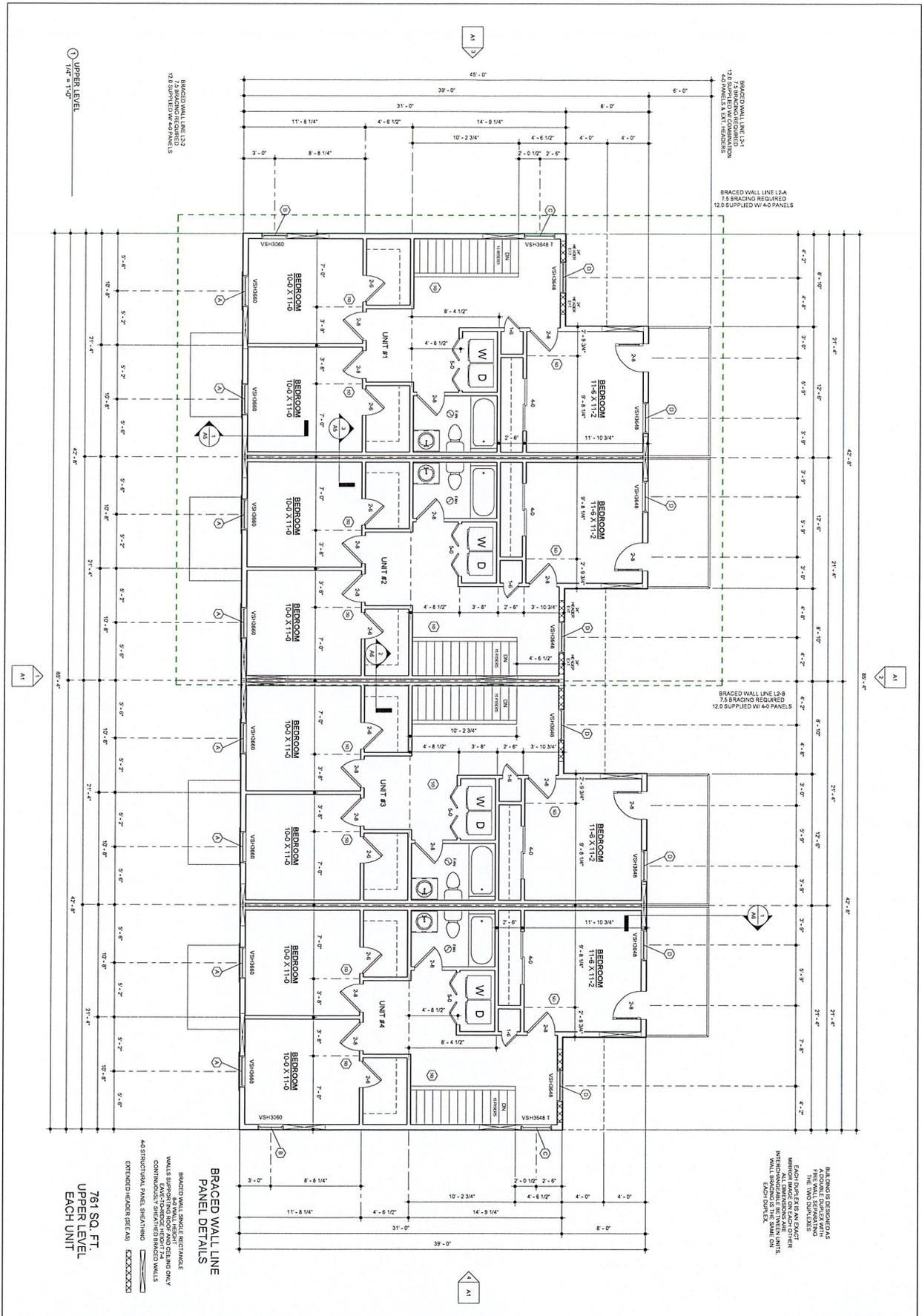
NOTICE!

BUILDER TO VERIFY ALL DIMENSIONS,
NOTES AND CONDITIONS PRIOR TO PROCEEDING.
ALL CONDITIONS MUST REMAIN AS
SHOWN ON THESE PLANS. THE ARCHITECT
ACCEPTS NO LIABILITY FOR ANY
MATERIALS OR CONSTRUCTION
DEFECTS OR OMISSIONS. THE ARCHITECT
IS NOT RESPONSIBLE FOR THE QUALITY,
QUANTITY AND QUANTITIES AND USE OF ALL
MATERIALS.

OWNER:
Tangle Wood Properties
Willow River Estate
565 SQ. FT. MAIN LEVEL
EACH UNIT

ARCHITECT:
3-d Design
715 S. 248th St.
Waukegan, IL 60087
Tel: 847.248.3010
www.3ddesigninc.com

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NOTICE!
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ALL CONTRACTORS MUST FAMILIARIZE THEMSELVES WITH ALL FEDERAL, STATE, AND LOCAL CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND QUANTITIES AND SIZE OF ALL MATERIALS.

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Consultant:
 Address:
 Phone:
 Email:

Contractor:
 Address:
 Phone:
 Email:

UPPER LEVEL
 761 SQ. FT.
 UPPER LEVEL
 EACH UNIT

BRACED WALL LINE
 PANEL DETAILS

BRACED WALL LINE L2-1
 7.5 BRACING REQUIRED
 12.0 SUPPLIED W/ 4-0 PANELS

BRACED WALL LINE L2-A
 7.5 BRACING REQUIRED
 12.0 SUPPLIED W/ 4-0 PANELS

BRACED WALL LINE L2-B
 7.5 BRACING REQUIRED
 12.0 SUPPLIED W/ 4-0 PANELS

BRACED WALL LINE L2-C
 7.5 BRACING REQUIRED
 12.0 SUPPLIED W/ 4-0 PANELS

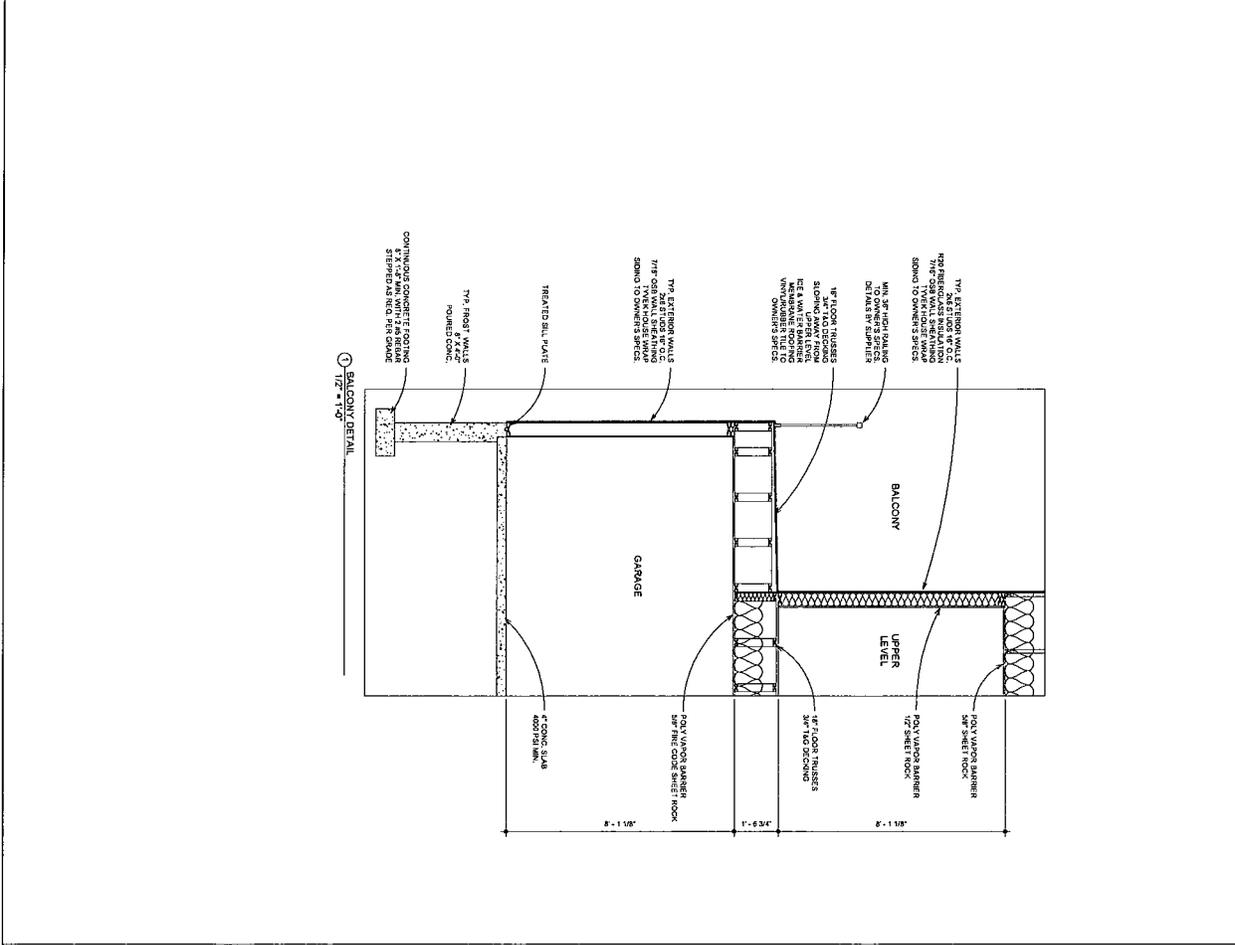
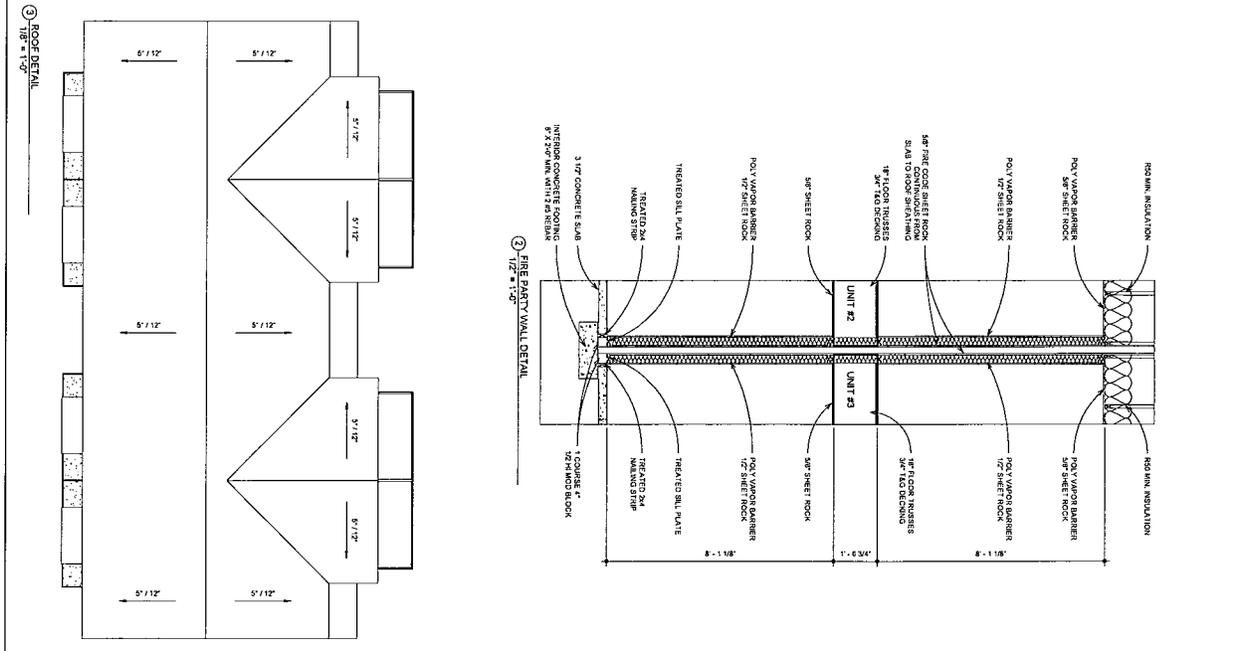
445 STRUCTURAL PANEL SHEETING
 EXTENDED FLOOR (SEE A3)

Tangle Wood Properties
 Willow River Estate

UPPER LEVEL

Project Number: D-1326-1C-32
 Date: 8-24-18
 Drawn By: BSI
 Checked By: RZM

A4
 1/4" = 1'-0"



NOTICE!
 BUILDER TO VERIFY ALL DIMENSIONS, SIZES AND CONDITIONS AND REPORT ANY DISCREPANCIES TO ARCHITECT IMMEDIATELY UPON THE PLANS OR IN WRITING. THE DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE PLANS OR IN WRITING. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE PLANS OR IN WRITING.

Project Number: G-1325-C-22
Date: 8-6-18
Drawn by: BSM
Checked by: EYB
Scale: As indicated



22

23

24

25

26

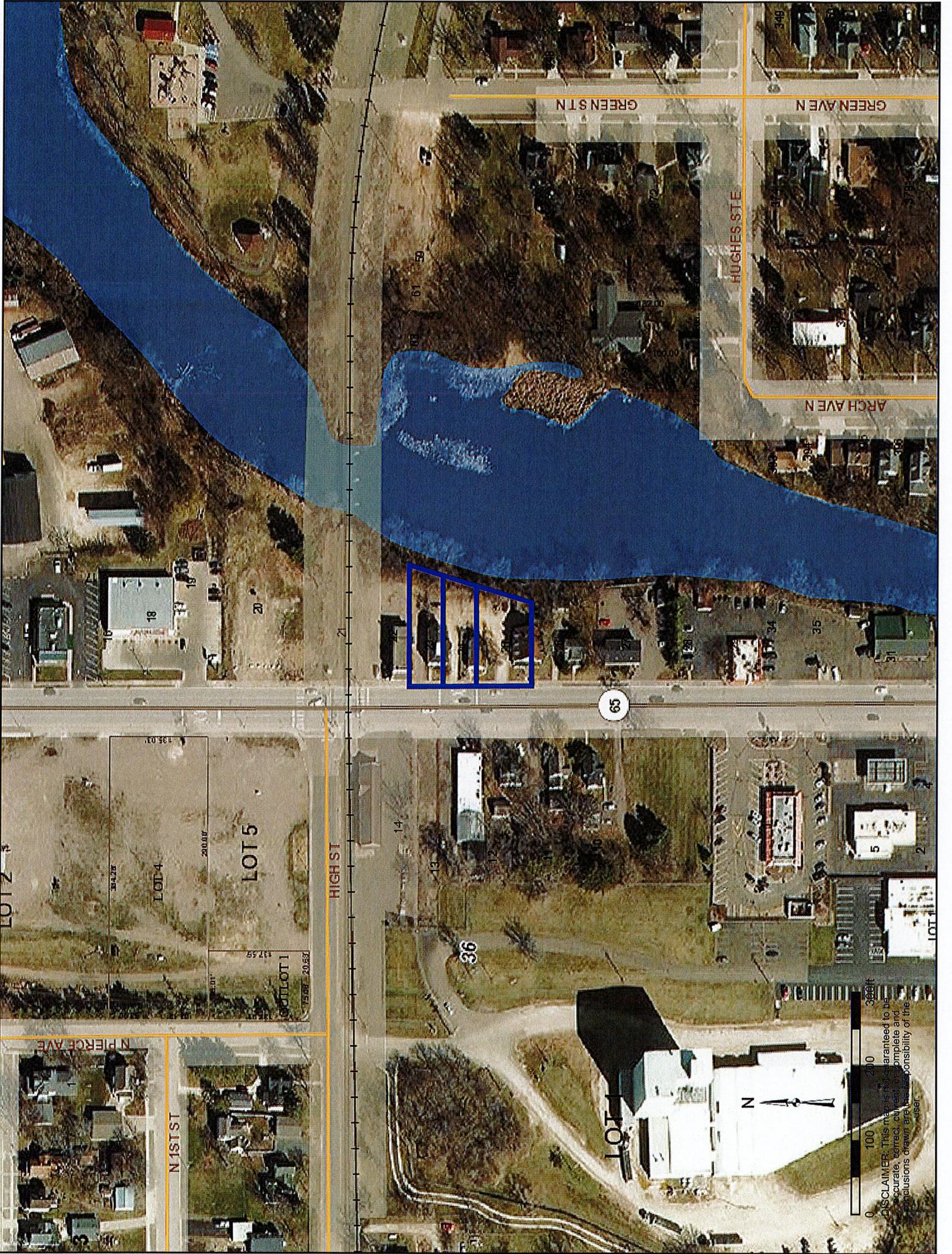
86

36

N

0 20 40 60 ft

DISCLAIMER: This map is no guarantee of accuracy. Current conditions may vary. All information is for informational purposes only.



N PIERCE AVE

N 1ST ST

HIGH ST

GREEN ST N

GREEN AVE N

HUGHES STE

ARCH AVE N

LOT 2

LOT 4

LOT 5

LOT 1

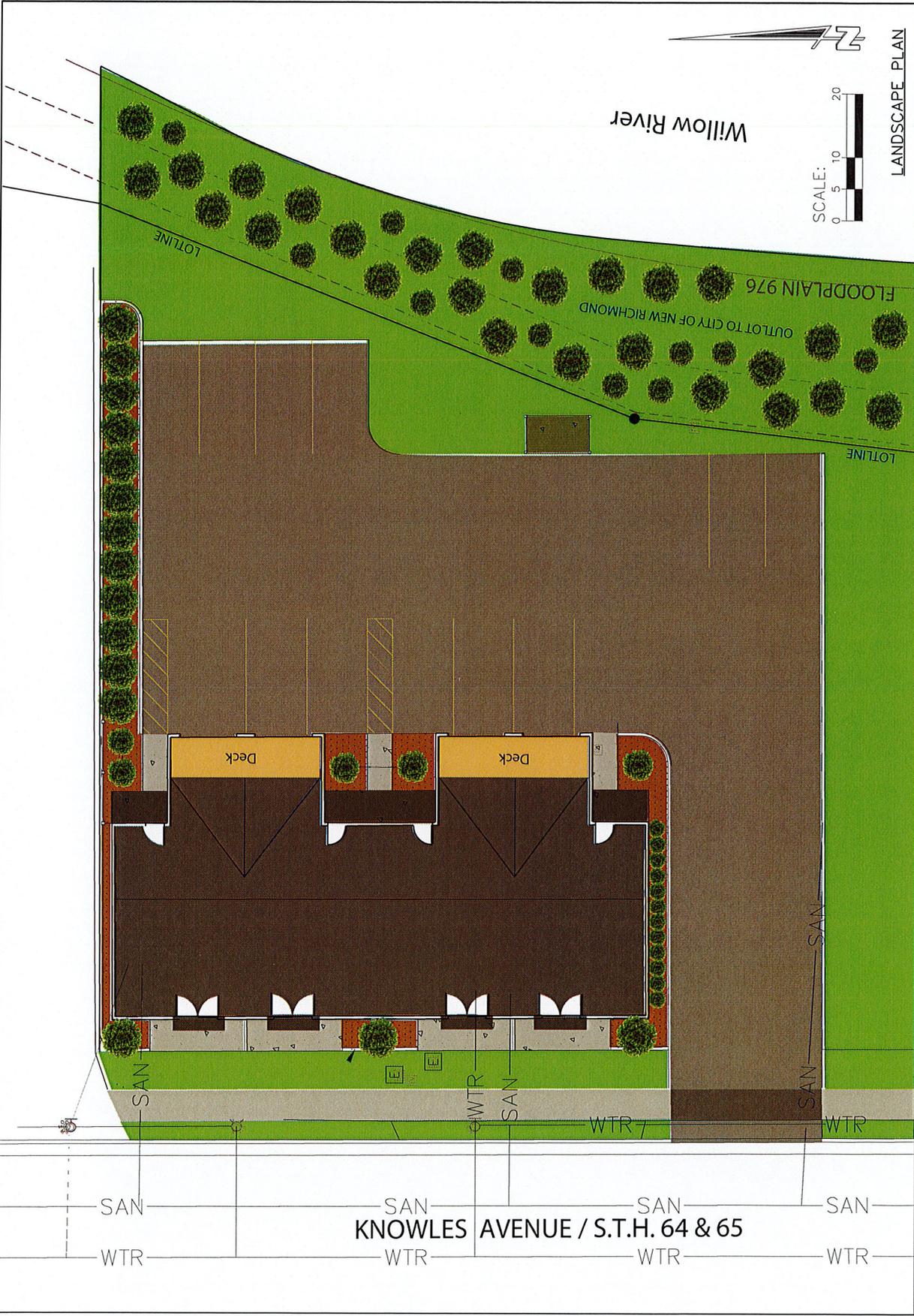
65

36

LOT 1

0 100 200 300ft

DISCLAIMER: This map is provided as a guide and is not guaranteed to be accurate, correct, current, complete and conclusions drawn are the responsibility of the user.



Willow River

SCALE: 0 5 10 20

LANDSCAPE PLAN

LOTLINE

FLOODPLAIN 976
OUTLOT TO CITY OF NEW RICHMOND

LOTLINE

Deck

Deck

SAN

SAN

SAN

SAN

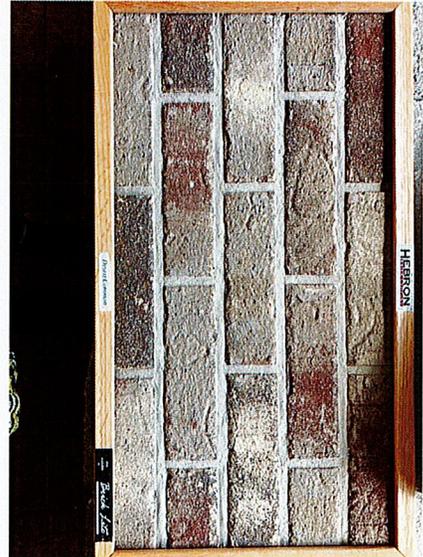
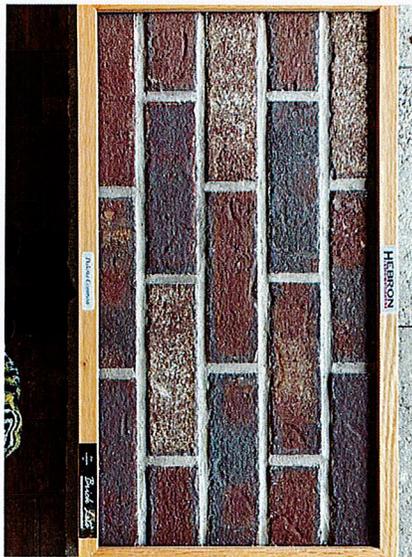
WTR

WTR

WTR

WTR

KNOWLES AVENUE / S.T.H. 64 & 65







3601 Thurston Avenue
Anoka, MN 55303
763.231.5840
TPC@PlanningCo.com

MEMORANDUM

TO: Beth Thompson

FROM: D. Daniel Licht, AICP

DATE: 26 September 2018

RE: New Richmond – Klucas Extra Territorial Area CSM

TPC FILE: 164.01

BACKGROUND

The Richard and Jonna Klucas Trust has submitted application to St. Croix County to subdivide a 42.96 acre parcel located at 2050 State Trunk Highway 65 within Star Prairie Township. The property owner is requesting the proposed subdivision to align property boundaries with existing zoning designations established by St. Croix County. The portion of the property zoned by St. Croix County to allow commercial uses is developed with an existing business. The business intends to construct an additional building upon the property, but St. Croix County is requiring approval of the proposed subdivision first. The City of New Richmond has entered into a Cooperative Agreement with Star Prairie Township related to development and subdivisions within an Urban Reserve Area that is ultimately to be attached to the City. The property is within the designated Urban Reserve Area making the proposed CSM subject to review by the Plan Commission and approval of the City Council. The Plan Commission will consider the proposed CSM at their meeting on 2 October 2018.

Exhibits:

- Site location map
- Star Prairie Cooperative Plan Exhibit B
- Proposed CSM

ANALYSIS

Review Criteria. Section 117-22A of the Subdivision Ordinance establishes a review procedure and requirements for subdivision of properties within the City's extra territorial jurisdiction (including the Urban Reserve Area):

1. **Consistency with Comprehensive Plan:** A proposed subdivision shall be consistent with the goals, policies, and recommendations of the Comprehensive Plan regarding planned public street or utility corridors or constitute an infilling of development.
2. **Adequate Waste Disposal Systems:** A proposed subdivision shall be deemed to have adequate waste disposal systems if there is adequate on-site sewer capacity potential to support the subdivision if constructed to the maximum permissible density.
3. **Adequate Water Supply:** A proposed subdivision shall be deemed to have an adequate water supply if there is adequate sources of water, either from public systems or private wells, to serve the proposed subdivision if constructed to its maximum permissible density allowed by the Comprehensive Plan without causing an unreasonable depreciation of existing water supplies for surrounding areas.
4. **Adequate Stormwater Management:** A proposed subdivision shall provide for adequate management and treatment of stormwater runoff if:
 - a. Surface or subsurface water retention and runoff is such that it does not constitute a danger to the structural security of structures within the proposed development.
 - b. Structures within the proposed subdivision will not result in pollution of water sources from erosion and siltation.
 - c. Site grading will not cause harmful and irreparable damage from erosion and siltation on downhill or downstream land.
 - d. The proposed subdivision complies with the provisions of the 1991 Wetland Conservation Act.
 - e. Factors to be considered in making these determinations may include: average rainfall for the area; the relation of the land to the floodplain; the nature of soils and subsoils and their ability to adequately support surface water runoff and waste disposal systems; the slope of the land and its effect on effluents; and the presence of streams as related to effluent disposal.
5. **Adequate Streets:** A proposed subdivision shall be deemed to have adequate streets to serve the subdivision when:

- a. Streets that access the proposed subdivision are of such a width, grade, stability, vertical and horizontal alignment, site distance and surface condition that an increase in traffic volume generated by the proposed subdivision will not create a hazard to public safety and general welfare, not aggravate an already hazardous condition, and when, with due regard to the advice of St. Croix County and/or the Wisconsin Department of Transportation, said streets are appropriate for the intended use.
 - b. The traffic volume generated by the proposed subdivision would not create unreasonable congestion or unsafe conditions on streets existing at the time of the application or proposed for completion within the next two (2) years.
6. **Adequate Public Service Capacity:** A proposed subdivision shall be determined to have necessary public service capacity when recreational facilities, police protection, fire protection, and other public facilities that must be provided at public expenses can reasonably be provided for within the next two (2) years.
 7. **Consistency with the Capital Improvement Plan:** A proposed development shall be deemed consistent with the Capital Improvement Plans when improvements and/or services necessary to accommodate the proposed subdivision have been programmed in the town, City, St. Croix County, or other regional capital improvement plans, or that a revision to capital improvement programs can be accommodated.

Comprehensive Plan. The Future Land Use Plan guides the property for business park development upon annexation to the City of New Richmond. The existing and planned expansion of the business upon the property is consistent with this land use designation.

Zoning. The subject site is outside of the City of New Richmond. Section 4.2 of the Cooperative Plan allows the City to adopt zoning control over the Urban Reserve Area. The City has not enacted this provision of the Cooperative Plan and the property remains subject to regulation under the jurisdiction of St. Croix County.

Star Prairie Cooperative Plan. Section 3.2.2 of the Star Prairie Cooperative Plan requires automatic attachment to the City of any parcel within the Urban Reserve Area proposed to be subdivided. Section 4.3.4 of the Star Cooperative Plan exempts subdivision of parcels from automatic attachment if the land is retained by the owner or transferred to immediate family. If the subdivided parcel is subsequently sold outside of the current owner's immediate family, Section 3.5 of the Star Prairie Cooperative Plan requires the property to attach to the City with or without the consent of the new owner. The applicant has verified that the property will be retained by the current owner. The provisions of Section 3.2.2 and 3.5 of the Cooperative Plan are to be recorded as a deed restriction with the property.

Proposed Subdivision. The proposed subdivision would divide from 42.96 acre parcel a 4.10 acre lot that includes an existing business use.

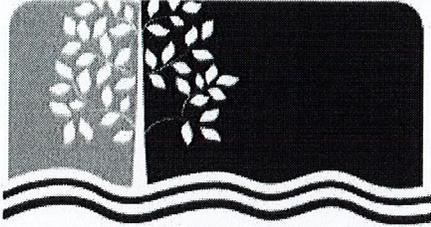
- **Access.** The property is accessed from State Trunk Highway 65:
 - The Comprehensive Plan designates State Trunk Highway 65 as a principal arterial roadway. The subdivision of the proposed lot must provide for dedication of right-of-way for the full-build out of State Trunk Highway 65. Table 1 of the Subdivision Ordinance specifies a minimum 100 foot right-of-way for arterial roadways.
 - Direct access to private properties is not to occur onto principal arterial roadways. City staff recommends that an access easement be recorded with the proposed lot and remaining parcel for shared access to State Trunk Highway 65 to allow access and that further subdivision be prohibited without construction of local street access.
- **Utilities.** The property is served by on-site septic and well systems. We recommend that the existing septic system be inspected by a licensed septic designer to ensure that it is functioning properly and that there is adequate space within the proposed lot for a primary and secondary drainfield site to serve the expanded business.
- **Grading.** No information has been submitted regarding grading of the site for the proposed building. Construction of the proposed building must be contingent upon compliance with State and County regulations related to stormwater management. Stormwater issues are subject to further comment by the Public Works Director.
- **Easements.** The proposed CSM does not include drainage and utility easements at the perimeter of the proposed lot. City staff recommends that 10 foot wide drainage and utility easements be dedicated at the perimeter of the proposed lot.
- **Parks.** The Comprehensive Plan does not identify acquisition of land for public parks within the area of the property. The proposed subdivision does not trigger the need for land to be identified within the subject site for implementation of the future park system. Park dedication requirement will be subject only to St. Croix County requirements at this time.

RECOMMENDATION

The Development Review Committee considered the application at their meeting on 20 September 2018. City staff recommends approval of the proposed CSM subject to the conditions outlined below in accordance the Comprehensive Plan, Star Prairie Cooperative Agreement, and Subdivision Ordinance.

POSSIBLE ACTIONS

- A. Motion to recommend City Council **approval** of CSM for the Richard and Jonna Klucas Trust, subject to the following conditions:
1. A deed restriction shall be recorded with the proposed lot and remaining parcel to:
 - a. Prohibiting further subdivision except as allowed in accordance with the Star Prairie Cooperative Plan.
 - b. Stipulate terms for required attachment to the City in accordance with the provisions of Section 3.2.2 and 3.5 of the Star Prairie Cooperative Plan.
 - c. Restrict further subdivision without construction of local street access to existing and proposed lots; direct lot access to State Trunk Highway 65 for any new lots shall be prohibited.
 2. The CSM shall dedicate 50 feet of right-of-way for the east one-half of State Trunk Highway 65, subject to approval of the Wisconsin Department of Transportation.
 3. The existing septic system shall be inspected by a licensed septic designer to determine that it is functioning properly and that there is adequate space within the proposed lot for a primary and secondary drainfield site.
 4. All stormwater issues are subject to review and approval of the Public Works Director.
 5. The CSM shall be revised to dedicated 10 foot wide drainage and utility easements at the perimeter of the proposed lot.
- B. Motion to **deny** the application based on a finding that the request is inconsistent with the policies of the Comprehensive Plan and provisions of the Star Prairie Cooperative Plan.
- C. Motion to **table**.
- c. Michael Darrow, City Administrator
Nick Vivian, City Attorney
Jeremiah Wendt, Public Works Director



CITY OF NEW RICHMOND
THE CITY BEAUTIFUL

EXTRA TERRITORIAL PLAT REVIEW

CITY ORDINANCE SECTION 121-35
www.newrichmondwi.gov

City of New Richmond
156 East First Street ❖ New Richmond, WI 54017
Phone: (715) 246-4268 ❖ Fax: (715) 246-7129

- | | | | |
|--|----------|---|----------|
| <input type="checkbox"/> CONCEPT PLAN FEE | \$200.00 | <input type="checkbox"/> PRELIMINARY PLAT FEE | \$200.00 |
| <input checked="" type="checkbox"/> CERTIFIED SURVEY MAP FEE | \$200.00 | <input type="checkbox"/> FINAL PLAT FEE | \$200.00 |
| ESCROW | | \$500.00 | |

Application fees should be made payable to City of New Richmond upon submittal of completed application. Escrow funds will be drawn to cover project-related costs. Additional funds may be required; surplus funds will be returned.

Please complete the application by typing or printing in ink. Use additional paper if necessary.

1. Property Owner Information:

Company name: Richard & Jonna Klucas Trust

Last name: _____ First name: _____

Address: 2030 State Hwy 65 City/State/Zip: New Richmond

Phone number: _____ Email address: _____

2. Applicant Information: (if different from above)

Company name: _____

Last name: _____ First name: _____

Address: _____ City/State/Zip: _____

Phone number: _____ Email address: _____

3. Address(es) of Property Involved: (if different from above)

0030 State Hwy 65

4. Zoning Designation: Commercial / Ag Residential

5. Statement of Intent: Briefly describe what will be done on or with the property: _____

Separating Commercial from Ag Res

6. Additional Required Information:

a. **Legal Description and PIN:** Provide the Parcel Identification Number(s) and the complete legal description(s) of the property involved.

NE-SE of Section 24, T31N, R18W Town of Star Prairie

b. Consultant Fees: Whenever third party consultants are utilized in the preparation of application materials (e.g., a traffic study) or the City's review of an application (e.g., traffic study analysis) the applicant shall be responsible for paying the entirety of those costs.

c. Other Information: In addition to a full size site plan and an 11" x 17" copy, topographic survey, landscape plan, grading and drainage plan, exterior building elevation drawings, and other information may also be required if deemed necessary by City Staff.

7. Signature(s): By signing below, you attest that the information above and attached is true and correct to the best of your knowledge.

Property Owner: Richard & Jonna Klucas Date: 9/7/18

Applicant: James Busch Date: 9-7-18

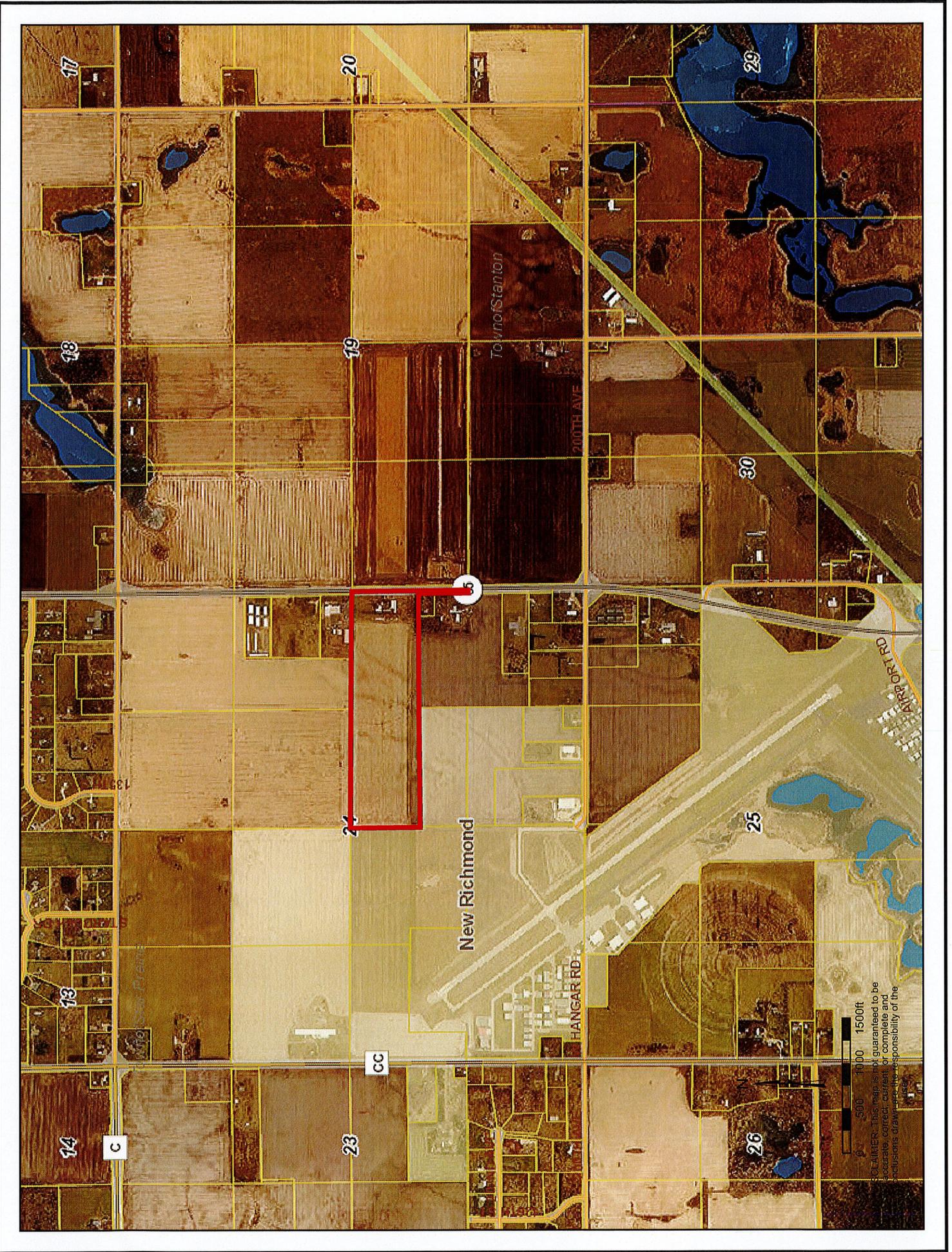
Fee Paid \$200: \$100 9/7/18 Receipt # 68071
\$100 9/17/18 Receipt # 68136

Escrow Paid \$500: _____ Date: 9/17/18 Receipt # 68136

Rec# 68071 \$100.00 9-7-18

Rec# 68136 \$600.00 9-17-18

Applications must be received by the first Thursday of each month; applications received after this date cannot be heard at the Planning Commission meeting the following month.



0 500 1000 1500ft
SCAIRMER. This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn here are the responsibility of the user.

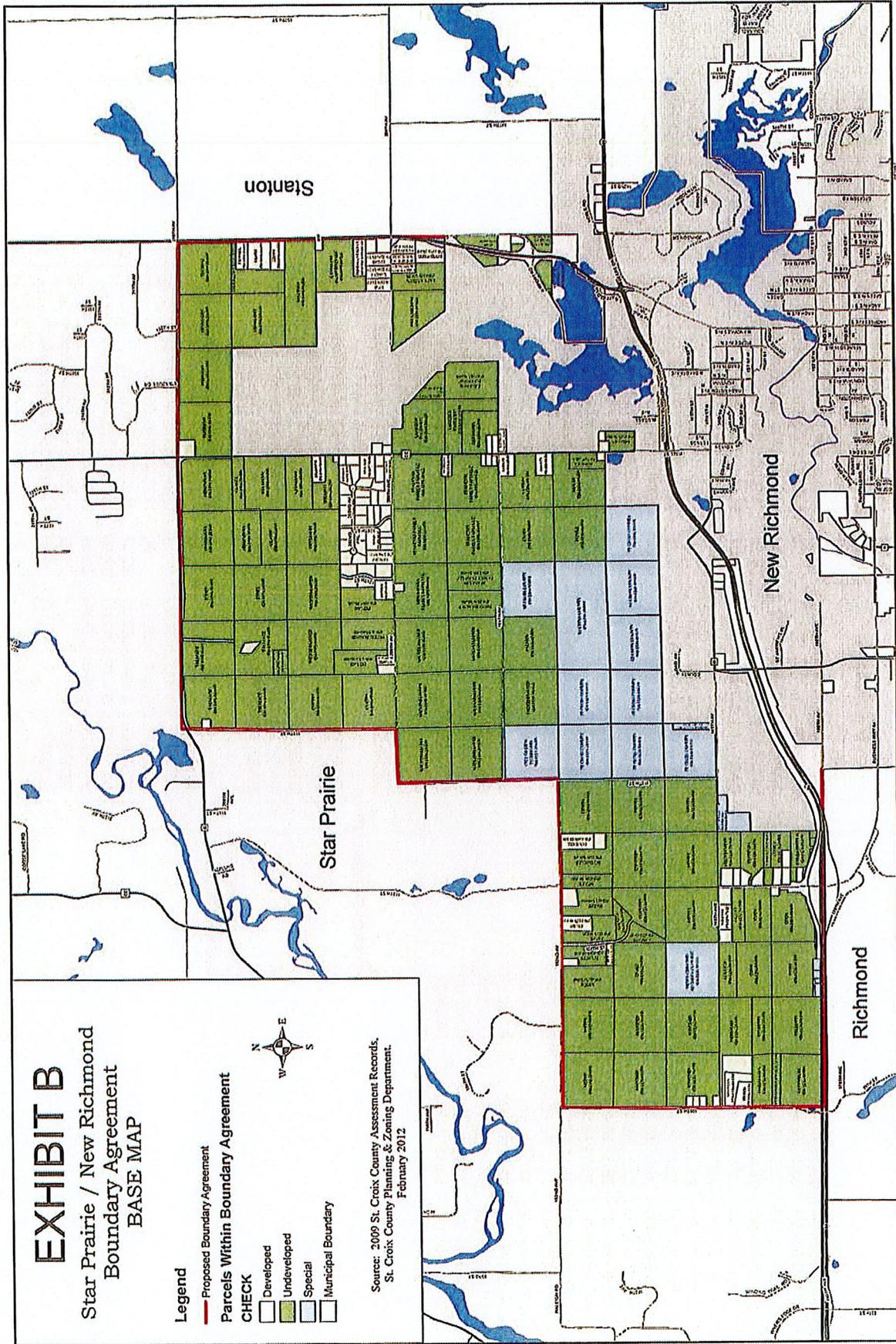
EXHIBIT B

Star Prairie / New Richmond Boundary Agreement BASE MAP

- Legend**
- Proposed Boundary Agreement
 - Parcels Within Boundary Agreement
- CHECK**
- Developed
 - Undeveloped
 - Special
 - Municipal Boundary

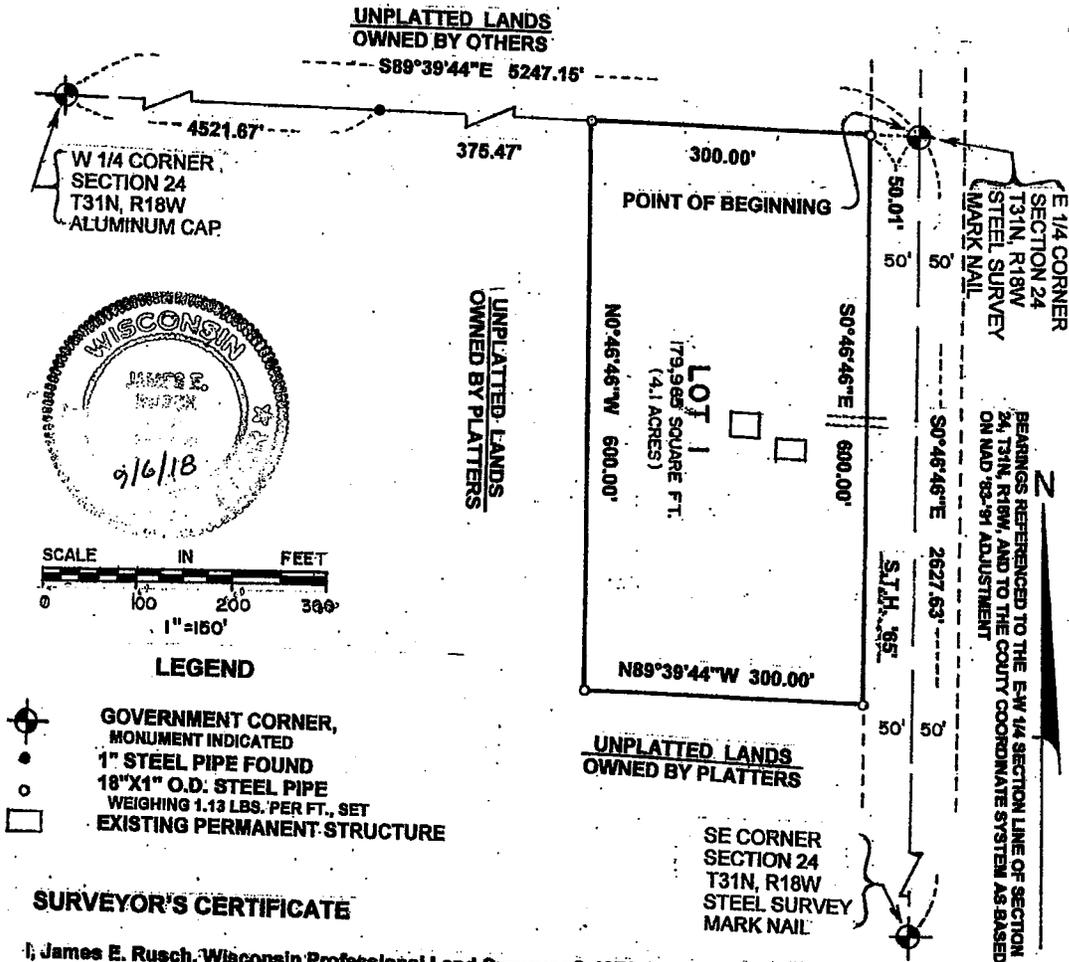


Source: 2009 St. Croix County Assessment Records,
St. Croix County Planning & Zoning Department,
February 2012



CERTIFIED SURVEY MAP

LOCATED IN THE NE 1/4 OF THE SE 1/4 OF SECTION 24,
T31N, R18W, TOWN OF STAR PRAIRIE, ST. CROIX COUNTY,
WISCONSIN



SURVEYOR'S CERTIFICATE

I, James E. Rusch, Wisconsin Professional Land Surveyor 8-1376, hereby certify that:
By direction of Richard and Jonna Klucas Trust, owner, I have surveyed and mapped the following described real estate: A parcel of land located in the NE 1/4 of the SE 1/4 of Section 24, T31N, R18W, Town of Star Prairie, St. Croix County, Wisconsin, being more particularly described as follows: Commencing at the E 1/4 Corner of said Section 24; thence N89°39'44"W (bearings referenced to the monumented E-W 1/4 Section Line of said Section 24 and also to the St. Croix County Coordinate System as based on NAD '83-'91 Adjustment) 50.01' along said E-W 1/4 Section Line to the Westery right-of-way line of State Trunk Highway '65', being also the Point of Beginning; thence S0°46'46"E 600.00' along said Westery right-of-way line; thence N89°39'44"W 300.00'; thence N0°46'46"W 600.00' to said E-W 1/4 Section Line; thence S89°39'44"E 300.00' along said E-W 1/4 Section Line to the Point of Beginning; containing 179,965.8 square feet (or 4.1 acres), more or less, and being subject to all easements, restrictions and covenants of record:

That the attached map is an accurately drawn representation, to scale, of the above described real estate and visible permanent improvements thereon; and

That I have fully complied with the provisions of Chapter 236.34 of the Wisconsin Statutes, The Town of Star Prairie Subdivisions Regulations, and the St. Croix County Subdivision Regulations in surveying, dividing, and mapping the same, to the best of my professional knowledge, understanding and belief.-

James E. Rusch
James E. Rusch, WI PLS 1376

Richard and Jonna Klucas Trust
2050 State Trunk Highway '65'
New Richmond, WI 54017

James E. Rusch, PLS
327 N. 3rd St. Unit A
New Richmond, WI 54017

CERTIFIED SURVEY MAP

LOCATED IN THE NE 1/4 OF THE SE 1/4 OF SECTION 24,
T31N, R18W, TOWN OF STAR PRAIRIE, ST. CROIX COUNTY,
WISCONSIN

GENERAL NOTICE STATEMENT

The parcel shown on this map is subject to state and county laws, rules and regulations (i.e. access to the parcel, wetland restrictions, minimum lot size, etc.). Before purchasing or developing any parcel, contact the St. Croix County Community Development Office, the Town Board of the Town of Star Prairie, and the City of New Richmond for advice.

COUNTY TREASURER'S CERTIFICATE

I, Denise Anderson, being the duly elected, qualified and acting Treasurer of St. Croix County, do hereby certify that there are no unpaid taxes, and no unpaid special assessments as of _____ affecting the lands included in the attached Certified Survey Map.

Denise Anderson, St. Croix County Treasurer Date

TOWN BOARD APPROVAL CERTIFICATE

This Certified Survey Map is hereby approved by the Town Board of the Town of Star Prairie.

Mr. Tom Heintz, Chair, Town of Star Prairie Date

CITY OF NEW RICHMOND EXTRATERRITORIAL PLAT APPROVAL CERTIFICATE

This Certified Survey Map, located in the extraterritorial plat approval jurisdiction area of the City of New Richmond, is hereby approved by the City Council of the City of New Richmond.

Mr. Frederick Horne, Mayor Date Ms. Tanya Batchelor, Clerk Date

OWNER & SUBDIVIDER
Richard and Jonna Klucas Trust
2050 State Trunk Highway '65'
New Richmond, WI 54017

SURVEYOR
James E. Rusch, PLS
327 N. 3rd St. Unit
New Richmond, WI 54017



3601 Thurston Avenue
Anoka, MN 55303
763.231.5840
TPC@PlanningCo.com

MEMORANDUM

TO: Beth Thompson

FROM: D. Daniel Licht, AICP

DATE: 26 September 2018

RE: New Richmond – Warren Extra Territorial Area CSM

TPC FILE: 164.01

BACKGROUND

Mr. Craig Warren has submitted an application to St. Croix County to subdivide an existing 4 acre parcel located at 1506 127th Street within Richmond Township. The City of New Richmond has established provisions applicable to subdivisions within an extra territorial jurisdiction extending 1.5 miles of the City's current boundary as Section 117-22A of the Subdivision Ordinance making them subject to review by the Plan Commission and approval of the City Council. The property is within 1.5 miles of the City boundary.

Exhibits:

- Site location map
- CSM

ANALYSIS

Review Criteria. Section 117-22A of the Subdivision Ordinance establishes criteria for City approval of subdivisions within the City's extra territorial jurisdiction:

1. **Consistency with Comprehensive Plan:** A proposed subdivision shall be consistent with the goals, policies, and recommendations of the Comprehensive Plan regarding planned public street or utility corridors or constitute an infilling of development.
2. **Adequate Waste Disposal Systems:** A proposed subdivision shall be deemed to have adequate waste disposal systems if there is adequate on-site sewer capacity potential to support the subdivision if constructed to the maximum permissible density.

3. Adequate Water Supply: A proposed subdivision shall be deemed to have an adequate water supply if there is adequate sources of water, either from public systems or private wells, to serve the proposed subdivision if constructed to its maximum permissible density allowed by the Comprehensive Plan without causing an unreasonable depreciation of existing water supplies for surrounding areas.
4. Adequate Stormwater Management: A proposed subdivision shall provide for adequate management and treatment of stormwater runoff if:
 - a. Surface or subsurface water retention and runoff is such that it does not constitute a danger to the structural security of structures within the proposed development.
 - b. Structures within the proposed subdivision will not result in pollution of water sources from erosion and siltation.
 - c. Site grading will not cause harmful and irreparable damage from erosion and siltation on downhill or downstream land.
 - d. The proposed subdivision complies with the provisions of the 1991 Wetland Conservation Act.
 - e. Factors to be considered in making these determinations may include: average rainfall for the area; the relation of the land to the floodplain; the nature of soils and subsoils and their ability to adequately support surface water runoff and waste disposal systems; the slope of the land and its effect on effluents; and the presence of streams as related to effluent disposal.
5. Adequate Streets: A proposed subdivision shall be deemed to have adequate streets to serve the subdivision when:
 - a. Streets that access the proposed subdivision are of such a width, grade, stability, vertical and horizontal alignment, site distance and surface condition that an increase in traffic volume generated by the proposed subdivision will not create a hazard to public safety and general welfare, not aggravate an already hazardous condition, and when, with due regard to the advice of St. Croix County and/or the Wisconsin Department of Transportation, said streets are appropriate for the intended use.
 - b. The traffic volume generated by the proposed subdivision would not create unreasonable congestion or unsafe conditions on streets existing at the time of the application or proposed for completion within the next two (2) years.

6. **Adequate Public Service Capacity:** A proposed subdivision shall be determined to have necessary public service capacity when recreational facilities, police protection, fire protection, and other public facilities that must be provided at public expenses can reasonably be provided for within the next two (2) years.
7. **Consistency with the Capital Improvement Plan:** A proposed development shall be deemed consistent with the Capital Improvement Plans when improvements and/or services necessary to accommodate the proposed subdivision have been programmed in the town, City, St. Croix County, or other regional capital improvement plans, or that a revision to capital improvement programs can be accommodated.

Comprehensive Plan. The Comprehensive Plan guides the property for future development of low density residential uses at such time as the property is annexed to the City and utility services are extended. In the interim, use of the property will continue with rural density development as allowed under St. Croix County jurisdiction.

Proposed Subdivision. The proposed subdivision would divide the 4.0 acre parcel into two lots each with an area of 2.0 acres. The north lot includes an existing single family dwelling and a detached accessory building. The south lot would be intended for construction of one single family dwelling.

- **Right-of-Way.** The subject site has frontage to County Road G and 127th Street. The Comprehensive Plan designates 170th Street as a future minor arterial roadway. Minor arterial roadways are to provide 100 feet of right-of-way in accordance with Table 1 of the Subdivision Ordinance. The proposed CSM must provide for dedication of 50 of right-of-way for the north half of County Road G so as to preserve the City's future transportation corridor designated by the Comprehensive Plan.
- **Access.** The existing access to Lot 1 is via 127th Street. The CSM shows that access to Lot 2 will also be from 127th Street utilizing the existing driveway for shared access. With County Road G designated as a future minor arterial roadway, utilizing 127th Street for access to Lot 2 is appropriate. City staff recommends that a deed restriction also be recorded with Lot 2 prohibiting direct lot access from County Road G to Lot 2.
- **Utilities.** The Comprehensive Plan anticipates extension of trunk sanitary sewer and water utilities to the subject site in the future. In the interim, sewer and water services are to be provided utilizing on-site, private systems.

The existing single family dwelling is served by on-site septic and well systems. City staff recommends that the existing septic system be inspected by a licensed septic designer to ensure that it is functioning properly and that there is adequate space within proposed Lot 1 for a primary and secondary drainfield site.

Likewise, soil tests and a septic design must be submitted for proposed Lot 2. There must be adequate area within proposed Lot 2 to accommodate a septic system that includes a primary and secondary drainfield site.

- **Easements.** The CSM does not identify that there are existing drainage and utility easements at the perimeter of the property. The CSM should provide for dedication of drainage and utility easements that are a minimum of 10 feet wide at the perimeter of Lot 1 and Lot 2. The drainage and utility easements will allow for conveyance of stormwater from the lots to public rights-of-way, installation of private utilities, and opportunity for future extension of City sewer and water utilities.

- **Parks.** The Parks, Trails, and Open Space Long Range Concept within the Comprehensive Plan does not identify acquisition of land for future park facilities in the area of the subject site. A trail along County Road G is indicated. This trail will likely be included as part of future roadway improvements within the planned 110 foot right-of-way. No land should be acquired for park purposes from this subdivision.

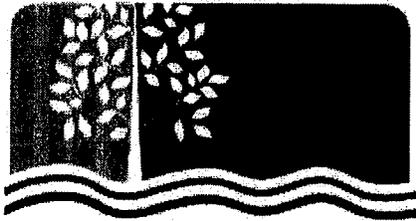
RECOMMENDATION

The Development Review Committee reviewed the application at their meeting on 20 September 2018 and recommends approval of the proposed CSM subject to the conditions outlined below.

POSSIBLE ACTIONS

- A. Motion to recommend City Council **approval** of CSM for Craig Warren subject to the following conditions:
 1. The CSM shall dedicate 50 feet of right-of-way for the north one-half of County Road G as a future minor arterial roadway.
 2. A deed restriction shall be recorded with Lot 2 prohibiting access to County Road G.
 3. The existing septic system within proposed Lot 1 shall be inspected by a licensed septic designer to determine that it is functioning properly and that there is adequate space within proposed Lot 2 for a septic system that includes a primary and secondary drainfield site.
 4. The CSM shall be revised to dedicated 10 foot wide drainage and utility easements at the perimeter of the proposed lots.
 5. All stormwater issues are subject to review and approval of the Public Works Director.

- B. Motion to **deny** the application based on a finding that the request is inconsistent with the policies of the Comprehensive Plan.
- C. Motion to **table**.
- c. Michael Darrow, City Administrator
Nick Vivian, City Attorney
Jeremiah Wendt, Public Works Director



CITY OF NEW RICHMOND
THE CITY BEAUTIFUL

EXTRA TERRITORIAL PLAT REVIEW

CITY ORDINANCE SECTION 121-35

www.newrichmondwi.gov

City of New Richmond

156 East First Street ❖ New Richmond, WI 54017

Phone: (715) 246-4268 ❖ Fax: (715) 246-7129

- | | | | |
|---|----------|---|----------|
| <input type="checkbox"/> CONCEPT PLAN FEE | \$200.00 | <input type="checkbox"/> PRELIMINARY PLAT FEE | \$200.00 |
| <input type="checkbox"/> CERTIFIED SURVEY MAP FEE | \$200.00 | <input type="checkbox"/> FINAL PLAT FEE | \$200.00 |
| | ESCROW | \$500.00 | |

Application fees should be made payable to City of New Richmond upon submittal of completed application. Escrow funds will be drawn to cover project-related costs. Additional funds may be required; surplus funds will be returned.

Please complete the application by typing or printing in ink. Use additional paper if necessary.

1. Property Owner Information:

Company name: _____

Last name: WARREN First name: CRAIG

Address: 1506 127th St. City/State/Zip: NEW RICHMOND, WI 54017

Phone number: (715) 246-4753 Email address: _____

2. Applicant Information: (if different from above)

Company name: _____

Last name: _____ First name: _____

Address: _____ City/State/Zip: _____

Phone number: _____ Email address: _____

3. Address(es) of Property Involved: (if different from above)

4. Zoning Designation: AG-RES

5. Statement of Intent: Briefly describe what will be done on or with the property: _____

CREATE AN ADDITIONAL 2 AC. LOT

6. Additional Required Information: P.I.D. 026-1046-10-000

a. Legal Description and PIN: Provide the Parcel Identification Number(s) and the complete legal description(s) of the property involved.

b. **Consultant Fees:** Whenever third party consultants are utilized in the preparation of application materials (e.g., a traffic study) or the City's review of an application (e.g., traffic study analysis) the applicant shall be responsible for paying the entirety of those costs.

c. **Other Information:** In addition to a full size site plan and an 11" x 17" copy, topographic survey, landscape plan, grading and drainage plan, exterior building elevation drawings, and other information may also be required if deemed necessary by City Staff.

7. **Signature(s):** By signing below, you attest that the information above and attached is true and correct to the best of your knowledge.

Property Owner: _____

Date: _____

Applicant: James R. Ruch - SURVEYOR

Date: 9/17/18

Fee Paid \$200: 200.00

Date: 9/17/18

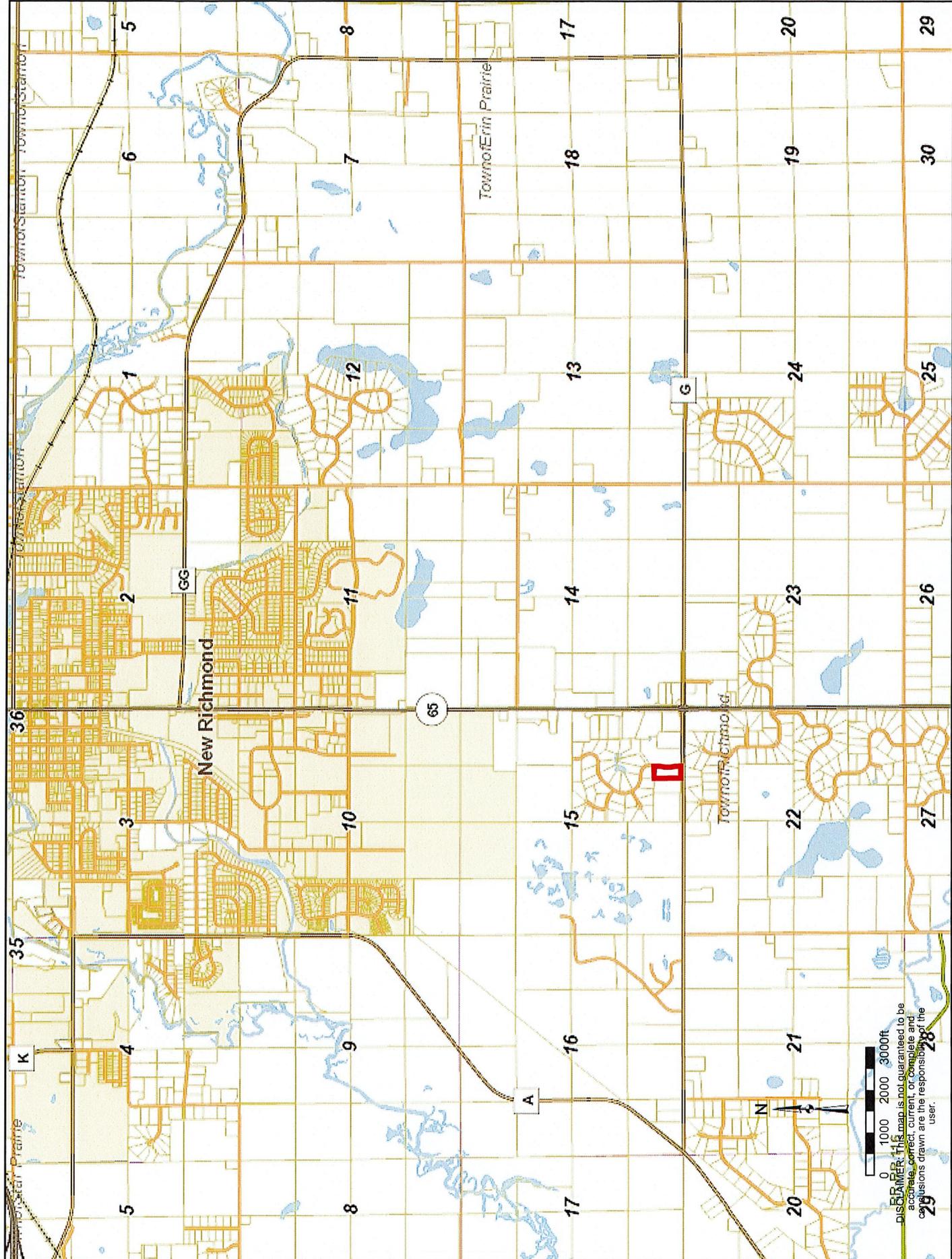
Receipt # 68137

Escrow Paid \$500: 500.00

Date: 9/17/18

Receipt # 68137

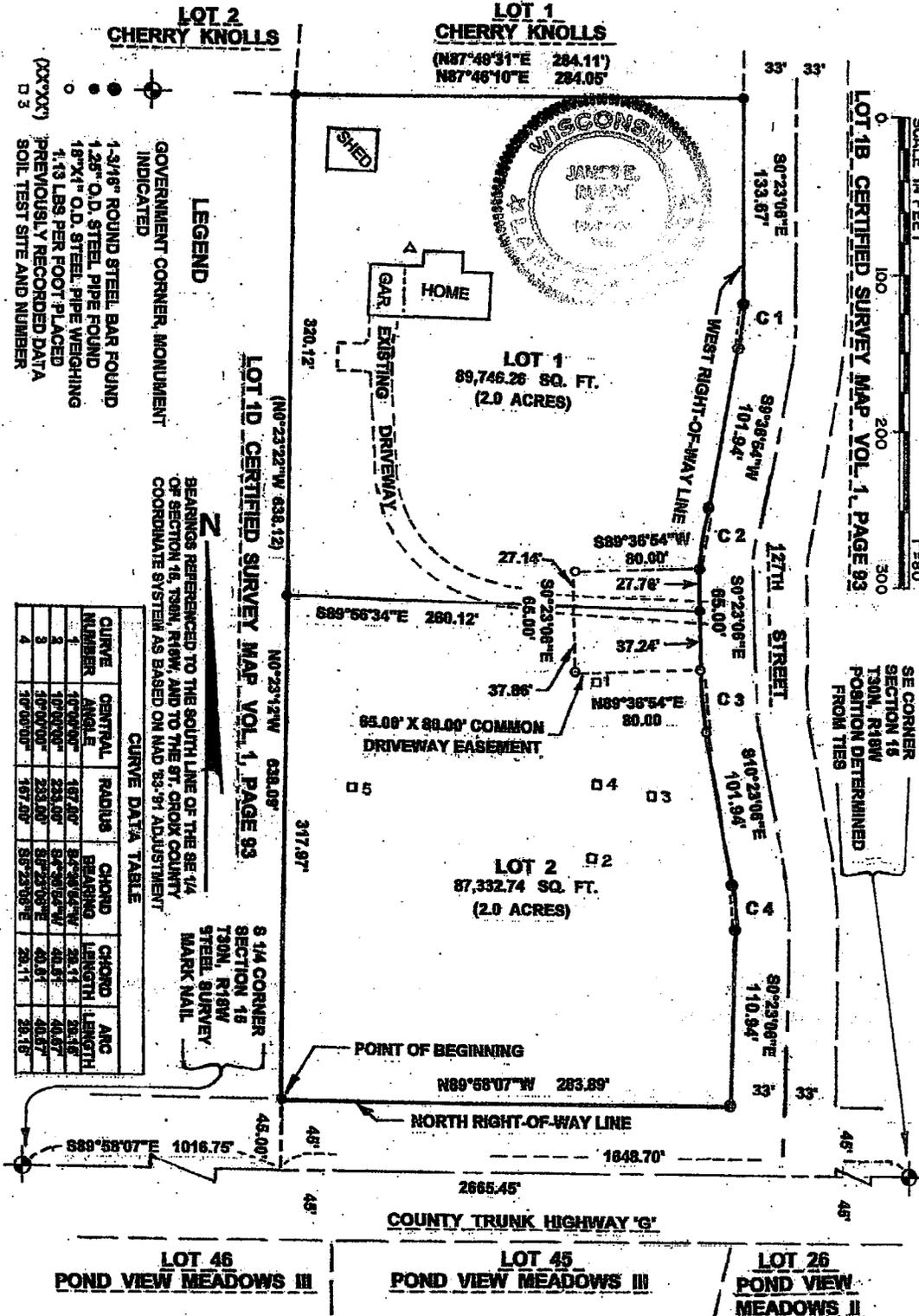
Applications must be received by the first Thursday of each month; applications received after this date cannot be heard at the Planning Commission meeting the following month.



0 1000 2000 3000ft
 DISCLAIMER: This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn are the responsibility of the user.

CERTIFIED SURVEY MAP

LOCATED IN THE SW 1/4 OF THE SE 1/4 OF SECTION 16, T30N, R18W, TOWN OF RICHMOND, ST. CROIX COUNTY, WISCONSIN



SCALE IN FEET
0 100 200 300
1"=80'

LOT 1B CERTIFIED SURVEY MAP VOL. 1, PAGE 93

SE CORNER SECTION 16 T30N, R18W POSITION DETERMINED FROM TIES

LOT 2 CHERRY KNOLLS

LOT 1 CHERRY KNOLLS

(N87°48'31"E 284.11')
(N87°48'10"E 284.05')

- LEGEND
- GOVERNMENT CORNER, MONUMENT INDICATED
 - 1-3/16" ROUND STEEL BAR FOUND
 - 1-25" O.D. STEEL PIPE FOUND
 - 18"X1" O.D. STEEL PIPE FOUND
 - 1.13 LBS PER FOOT PLACED PREVIOUSLY RECORDED DATA
 - SOIL TEST SITE AND NUMBER

LOT 1D CERTIFIED SURVEY MAP VOL. 1, PAGE 93

BEARINGS REFERENCED TO THE SOUTH LINE OF THE SE 1/4 OF SECTION 16, T30N, R18W, AND TO THE ST. CROIX COUNTY COORDINATE SYSTEM AS BASED ON NAD 83-91 ADJUSTMENT

CURVE DATA TABLE

CURVE NUMBER	CENTRAL ANGLE	RADIUS	CHORD BEARING	CHORD LENGTH	ARC LENGTH
1	107°00'00"	167.00'	S4°36'54"W	28.51'	53.48'
2	107°00'00"	233.00'	S4°36'54"W	40.87'	80.67'
3	107°00'00"	233.00'	S0°23'08"E	40.87'	80.67'
4	107°00'00"	157.00'	S0°23'08"E	20.11'	38.16'

S 1/4 CORNER SECTION 16 T30N, R18W STEEL SURVEY MARK NAIL

CERTIFIED SURVEY MAP

LOCATED IN THE SW 1/4 OF THE SE 1/4 OF SECTION 15, T30N,
R18W, TOWN OF RICHMOND, ST. CROIX COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE

I, James E. Rusch, Wisconsin Professional Land Surveyor S-1376, hereby certify:

That by direction of Mr. Craig Warren, owner, I have re-surveyed, divided, and mapped the following described real estate:

A parcel of land located in the SW 1/4 of the SE 1/4 of Section 15, T30N, R18W, Town of Richmond, St. Croix County, Wisconsin, being more particularly described as follows: Commencing at the monumented S1/4 Corner of said Section 15; thence S89°58'07"E (bearings referenced to the South line of said SE 1/4 of Section 15, and also to the St. Croix County Coordinate System as based on NAD '83-'91 Adjustment) 1016.75' along said South line; thence N0°23'12"W 45.00' to the North right-of-way line of County Trunk Highway 'G', and also to the Point of Beginning; thence continuing N0°23'12"W 638.09' (recorded as N0°37'40"W 637.83') along the West line of Lot 1C of that Certified Survey Map recorded in Volume 1, at Page 93, as document number 326049 of Certified Survey Maps; thence N87°46'10"E 284.05' (recorded as N87°49'31"E 284.11') to the West right-of-way line of 127th Street; thence S0°23'06"E 133.67' along said West right-of-way line; thence Southerly 29.15' along a 167.00' radius curve concave Westerly, whose chord bears S4°36'54"W 29.11'; thence S9°36'54"W 101.94'; thence Southerly 40.67' along a 233.00' radius curve concave Easterly, whose chord bears S4°36'54"W 40.61'; thence S0°23'06"E 65.00'; thence Southerly 40.67' along a 233.00' radius curve concave Easterly, whose chord bears S5°23'06"E 40.61'; thence S10°23'06"E 101.94'; thence Southerly 29.15' along a 167.00' radius curve concave Westerly, whose chord bears S5°23'06"E 29.11'; thence S0°23'06"E 110.94' to the end of said West right-of-way line, and also to said North right-of-way line of said County Trunk Highway 'G'; thence N89°58'07"W 283.89' along said North right-of-way line to the Point of Beginning; containing 177,079 square feet (or 4.07 acres), and being subject to all easements, restrictions and covenants of record.

That the attached map is an accurately drawn representation, to scale, of the above described real estate and visible improvements thereon; and

That I have fully complied with the provisions of Chapter 236.34 of the Wisconsin Statutes, the Town of Richmond Subdivision Regulations, and the St. Croix County Subdivision Regulations in surveying, dividing, and mapping the same, to the best of my professional knowledge, understanding and belief.

James E. Rusch, WI PLS S-1376

GENERAL NOTICE STATEMENT

The parcel shown on this map is subject to state and county laws, rules and regulations (i.e. access to the parcel, wetland restrictions, minimum lot size, etc.). Before purchasing or developing any parcel, contact the St. Croix County Community Development Office.

TOWN BOARD APPROVAL CERTIFICATE

The attached Certified Survey Map is hereby approved by the Town Board of the Town of Richmond.

Gary Knutson, Chairman, Town of Richmond

Date

Mrs. Donna Preece, Clerk

Date

CITY OF NEW RICHMOND EXTRATERRITORIAL PLAT APPROVAL CERTIFICATE

This Certified Survey Map, located in the extraterritorial Plat Approval Jurisdiction Area of the City of New Richmond, is hereby approved by the City Council of the City of New Richmond.

Mr. Frederick Horne, Mayor

Date

Mrs. Tanya Batchelor, Clerk

Date

COUNTY TREASURER'S CERTIFICATE

I, Denise Anderson, being the duly elected, qualified and acting Treasurer of St. Croix County, do hereby certify that there are no unpaid taxes, and no unpaid special assessments as of _____ affecting the lands included in the attached Certified Survey Map.

Denise Anderson, St. Croix County Treasurer

Date