



156 East First Street
New Richmond, WI 54017
Ph 715-246-4268 Fax 715-246-7129
www.newrichmondwi.gov

March 1, 2019

TO ALL PLAN COMMISSION MEMBERS:

Fred Horne	Michelle Scanlan
Jim Zajkowski	David Wilford
Mike Kastens	David Tyvoll
MaryKay Rice	

This is to notify you that there is a Plan Commission meeting scheduled for Tuesday, March 5, 2019 at 5:00 p.m. in the Council Chambers of the Civic Center, 156 East First Street, City of New Richmond, WI.

AGENDA:

- 1) **Roll Call**
- 2) **Adoption of Agenda**
- 3) **Approval of the minutes from the previous meeting on February 11, 2019**
- 4) **Public Hearing to discuss the following:**
 - a) **Application for Rezoning from BNA Properties, LLC for property located on North Fourth Street near the intersection with Hwy 64. Property is described as: 261-1019-06-151 - SEC 35 T31N R18W PT SW NE DESC AS COM AT W 1/4 SEC 35; TH N89E, 2686.07 TO POB; TH N89E, 271.63; TH N08E, 54.32; TH N39E, 235.20; TH N66W, 162.61; TH S63W, 315.74; THS00E, 161.76 TO POB DESC IN 976284. Property is currently zoned Z4 General Urban District and requested to be rezoned to Z3 Multi-Use/Corridor District.**
- 5) **Action on Public Hearing Agenda**
- 6) **Site Plan and Storm Water Review for Oeovering Properties, LLC**
- 7) **Termination of Richmond Way Covenants**
- 8) **Communications and Miscellaneous**
- 9) **Adjournment**

**Fred Horne
Mayor**

cc:

**The News
Mike Darrow
Bob Meyer
Beth Thompson
Noah Wiedenfeld
Kevin Blader**

**Northwest Cable
Nick Vivian
Jim VanderWyst
Rae Ann Ailts
Jeremiah Wendt**

**City Website
Mike Demulling
Craig Yehlik
Joel Enders
Weston Arndt**

PLAN COMMISSION MEETING
FEBRUARY 11, 2019 - 5:30 P.M.

Members Present: Fred Horne, Mike Kastens, Michelle Scanlan, MaryKay Rice, David Wilford and Jim Zajkowski

Members Absent: David Tyvoll

Fred Horne called the meeting to order and roll call was taken.

Mike Kastens moved to adopt the agenda as presented, seconded by Michelle Scanlan and carried.

Jim Zajkowski moved to approve the minutes from January 9, 2019, seconded by Mike Kastens and carried.

Certified Survey Map for Harvy Christensen Sr.

Noah Wiedenfeld explained the Certified Survey Map for Harvey Christensen Sr. The CSM will divide a 22-acre parcel located at 1488 County Road K into two lots. Lot 1 will be 0.568 acres and Lot 2 will be 21.432 acres. The Plan Commission tabled this CSM at their January meeting to allow staff to further research the requirement to attach to municipal water. The Development Review Committee recommended approval of this CSM with the following conditions:

1. The CSM shall be revised to indicate the building setbacks of Lot 2 per Section 117-18.E of the City Code of Ordinances.
2. A document establishing the rights and responsibility for shared use of driveways within the access easement, including a termination clause if street construction occurs, shall be drafted and recorded with the CSM.
3. The applicant shall receive a driveway permit from St. Croix County prior to any construction of a driveway.
4. A deed restriction shall be recorded stating that Lot 2 shall not be further subdivided without provision of local street access to existing and proposed lots; additional direct access to County Road K in the future for any new lots shall be prohibited.
5. Lot 1 shall be required to connect to the City public water distribution on or before December 31, 2020. The property owner shall be responsible for any and all connection charges and fees. A well operation permit is required per Section 86-135.C of the City Code of Ordinances if the well owner wishes to continue to operate a private well to serve the barn or mobile home located on Lot 2. If the well is to be abandoned, the abandonment method shall comply with Wis. Adm. Code Chapter NR 812 and Section 86-135 of the City Code of Ordinances.
6. The property at 1492 County Road K shall be required to connect to the City public water distribution on or before December 31, 2020. The property owner shall be responsible for any and all connection charges and fees.
7. The subdivider, and his heirs and assigns, shall, by written plat restriction, agree to abandon the interim sewage facilities and connect to the City public sewerage facilities upon a determination by the Director of Public Works that such facilities are available for feasible connection. The Director of Public Works has determined that connection to public sewerage facilities is not currently feasible. Design information for the existing septic system shall be submitted for review by the Director of Public Works. The existing septic system shall also be inspected by a licensed septic designer to ensure that it is functioning properly and that there is adequate space for a drainfield site.
8. The CSM shall be revised to provide for a 5-foot wide drainage and utility easement on the interior lot lines of Lot 1 and Lot 2, per Section 117-41 of the City Code of Ordinances.

Nick Vivian, City Attorney, supported the recommendation to require connection to City water by December 31, 2020. Discussion followed. Jim Zajkowski moved to approve the Certified

Survey Map from Harvy Christensen Sr. with the conditions listed, changing the deadline to hook up to City water to December 31, 2023, seconded by Mike Kastens and carried.

Certified Survey Map from Skoglund Properties LLP

Noah Wiedenfeld explained the canopy for Super America is on a separate parcel from the convenience store. This Certified Survey Map shows the canopy and store on the same lot. The Development Review Committee recommended approval of the CSM with the following conditions:

1. The proposed CSM shall be revised to show the approximate building setbacks, per City Code 117-20.G
2. A document establishing the rights and responsibilities for the shared use driveway on North Fourth Street shall be drafted and recorded with the CSM.
3. All utility issues are subject to review and approval of the Public Works Director.

Mike Kastens moved to approve the Certified Survey Map for Skoglund Properties LLP with the conditions listed, seconded by Michelle Scanlan and carried.

Certified Survey Map for the City of New Richmond

Noah Wiedenfeld explained the Certified Survey Map is for property located in the Business and Technical Park on St. Croix Avenue. The lot will be sold to Dance Explosion. The Development Review Committee recommended approval of the CSM with the following conditions:

- 1) All utility issues are subject to review and approval of the Director of Public Works and Electric Superintendent.
- 2) All grading, drainage, and erosion control issues are subject to review and approval of the Director of Public Works.
- 3) The CSM shall be revised to provide a 10 foot wide utility easement along the rear lot line of Lot 3, and a 5 foot wide easement along the east side of the lot line of Lot 4. All side lot line utility easements shall be revised to be 5 feet in width.

MaryKay Rice moved to approve the Certified Survey Map with the conditions as recommended, seconded by David Wilford and carried.

Termination of Covenants for Business and Technical Park

Noah Wiedenfeld explained there are three sets of covenants in the Business and Technical Park. Some of these covenants are more restrictive than our current ordinances. One of the sets of covenants needs approval from Forward New Richmond and City Council. The other two sets of covenants need approval from 75% of the property owners within the areas covered by the covenants. No action is needed from the Plan Commission. This is for informational purposes only.

Communications and Miscellaneous

None

Jim Zajkowski moved to adjourn the meeting, seconded by MaryKay Rice and carried.

Meeting adjourned at 6:00 p.m.

Tanya Batchelor
City Clerk



156 East First Street
 New Richmond, WI 54017
 Ph 715-246-4268 Fax 715-246-7129
 www.newrichmondwi.gov

MEMORANDUM

TO: Plan Commission
FROM: Noah Wiedenfeld, Director of Planning
DATE: February 8, 2019
SUBJECT: Rezoning Application: PID 261-1019-06-151

PROJECT PROPOSAL

BNA Properties, LLC has submitted an application to rezone undeveloped property located near the intersection of North Fourth Street and State Highway 64 (PID 261-1019-06-151). The property is currently zoned Z4 Urban District. If approved, the property would be designated Z3 Multi-Use/Corridor District. Due to the continued growth and changing conditions in this area of the City along the STH 64 corridor, a rezoning request is deemed appropriate.

PROCESS

The City of New Richmond’s official zoning map may be amended pursuant to Wisconsin Statutes Chapters 66 and 68, and in accordance with the process identified in Section 121-29 of the

ACTION	DATE
Application & Fee Received	Feb. 4, 2019
DRC Review	Feb. 7, 2019
Class 2 Notice – First Publication	Feb. 14, 2019
Class 2 Notice – Second Publication	Feb. 21, 2019
Plan Commission Meeting & Public Hearing	Mar. 5, 2019
City Council Meeting – Final Action	Mar. 11, 2019

City Code of Ordinances. The rezoning process requires two insertions in the local newspaper, a recommendation from the Development Review Committee, a public hearing and recommendation from the Plan Commission, and final action by the City Council. The timeline to date is shown in the table above.

EXECUTIVE SUMMARY (RECOMMENDATION)

The Development Review Committee recommends **approval** of the zoning map amendment.

DETAILED ANALYSIS

EVALUATION CRITERIA

According to Section 121-29.D of the City Code of Ordinances, the Plan Commission and City Council shall review the rezoning application and base judgment upon, but not limited to, the following factors:

- a. Consistency with the City Comprehensive Plan
- b. Purpose and intent of the zoning district
- c. Adequate public infrastructure available
- d. Adequate buffer or transition between potentially incompatible zoning districts
- e. Compatibility with existing and planned use in the area

The analysis that follows reviews the application according to the aforementioned criteria.

COMPREHENSIVE PLAN

The Future Land Use Plan found in the City of New Richmond's Comprehensive Plan guides the community's land toward a desired land use pattern and identifies areas in the City for future growth. The map below indicates that the future land use of the applicant's property shall be Mixed-Use Corridor. This land use category includes a mixture of regional commercial, retail, office, lodging, and multi-family residential uses in a mixture of building forms, oriented either vertically or horizontally. Mixed-Use Corridors are located along primary arterial streets.



Additional policies in the Comprehensive Plan that support the application include:

LU-1.1 Promote development opportunities to meet future growth needs by prioritizing infill development within the current City boundaries, revitalizing blighting or undeveloped areas, and taking advantage of existing infrastructure capacities.

LU-4.1 Support the development of mixed-use corridors along STH 64 and STH 65 that complement rather than compete with downtown.

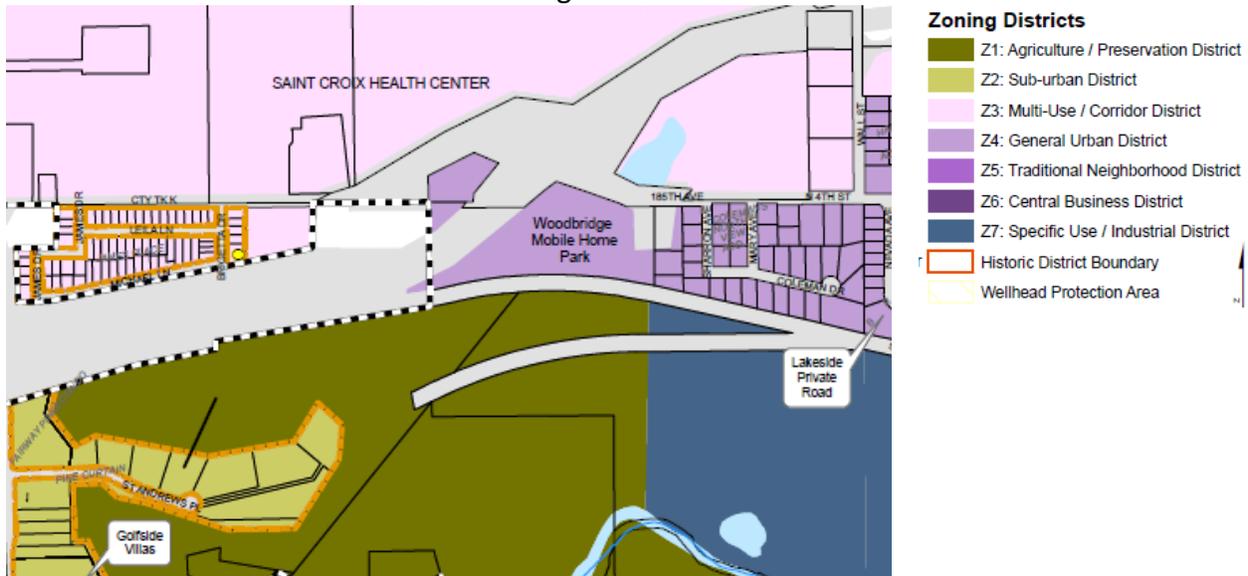
LU-4.2 Encourage a mix of complimentary uses including commercial, office, multi-family residential, light industrial, public/institutional, and park uses in the mixed-use corridors.

ED-1.5 Promote Downtown, the STH 64 corridor, and the north side area as key locations for business development in New Richmond.

The proposed rezoning application is consistent with the Comprehensive Plan.

ZONING

The property is currently zoned Z4 General Urban District. The purpose of the Z4 General Urban District is to provide a mixture of uses within a primarily residential urban fabric. The district allows a full complement of residential uses and neighborhood and community or neighborhood scale commercial uses. Streets with curbs and sidewalks will define small and medium-sized blocks to allow walkable neighborhoods.



The purpose of the Z3 Multi-Use/Corridor District is to provide a mixture of regional commercial, retail, office, lodging, and residential uses in a mixture of building forms. Clinics and office buildings are allowed uses in the Z3 zoning district. The Z3 Multi-Use/Corridor District zoning designation is deemed appropriate.

AVAILABILITY OF PUBLIC INFRASTRUCTURE

Public utilities are available at the property. The property will have access to County Road K in the future when it is developed, upon approval of a driveway permit from St. Croix County. Adequate public infrastructure is available at this time, supporting the rezoning application.

ADEQUATE BUFFER OR TRANSITION, & COMPATIBILITY WITH SURROUNDING USES

The properties in the surrounding area also share a Z3 Multi-Use/Corridor District zoning designation. Surrounding uses include the St. Croix County Health Center, single-family homes, twin homes, and a mobile home park (located to the south of the site on the opposite side of STH 64). The rezoning application is compatible with the surrounding uses and zoning districts.



APPLICATION TO REZONE

City Ordinance Section 121-29
www.newrichmondwi.gov

City of New Richmond
156 East First Street ❖ New Richmond, WI 54017
Phone: (715) 246-4268 ❖ Fax: (715) 246-7129

APPLICATION FEE: \$250 ESCROW: \$500

Application fee should be made payable to City of New Richmond upon submittal of completed application Escrow funds will be drawn to cover project-related costs. Additional funds may be required; surplus funds will be returned.

Please complete the application by typing or printing in ink. Use additional paper if necessary.

1. Property Owner Information:

Company name: BNA Properties, LLC.

Last name: Wanner

First name: Bill

Address: 512 second street

City/State/Zip: Hudson, WI, 54016

Phone number: 612-991-9123

Email address: billw@bna-realty.com

2. Applicant Information: (if different from above)

Company name: _____

Last name: _____

First name: _____

Address: _____

City/State/Zip: _____

Phone number: _____

Email address: _____

3. Address(es) of Property Involved: (if different from above)

See attached Legal Description of the property.

4. Zoning Change Requested: Complete item 5a and/or 5b as appropriate for your application.

a. Zoning Map Change:

Existing Designation(s): Z4 Urban District

Proposed Designation(s): Z3 Mixed-Use/Corridor

5. Reason for Zoning Change: In approving a request for rezoning a property or amending the zoning text, one or both of the following circumstances must be evident; indicate which of the following best characterizes the reason that the intended use is not allowed by the existing zoning designation.

A mistake was made when the existing zoning text or map was approved.

Circumstances have changed since the original zoning that now justifies a change.

6. Additional Required Information:

- a. **Legal Description and PIN:** Provide the Parcel Identification Number(s) and the complete legal description(s) of the property involved.
- b. **Consultant Fees:** Whenever third party consultants are utilized in the preparation of application materials (e.g., a traffic study) or the City's review of an application (e.g., traffic study analysis) the applicant shall be responsible for paying the entirety of those costs.
- c. **Written Narrative:** The narrative should describe in detail the nature of the intended use, why you believe the use is not permitted by the existing zoning, and how the use would be permitted under the proposed rezoning or zoning text amendment. Narratives should also state whether any additional land use applications (e.g., conditional use Permit or variance) would be necessary to accommodate the intended use in compliance with the requirements of the proposed zoning change.
- d. **Consultant Fees:** Whenever third party consultants are utilized in the preparation of application materials (e.g., a traffic study) or the City's review of an application (e.g., traffic study analysis), the applicant shall be responsible for paying the entirety of those costs.
- e. **Other Information:** In addition to the written narrative, a full size site plan, topographic survey, landscape plan, grading and drainage plan, exterior building elevation drawings, and other information may also be required if deemed necessary by City Staff.

7. **Signature(s):** By signing below, you attest that the information above and attached is true and correct to the best of your knowledge.

Property Owner: William A. Warner

Date: 1/28/19

Applicant: _____

Date: _____

Fee Paid: \$250 Date: _____ Receipt # _____

Escrow Paid: \$500 Date: _____ Receipt # _____

Zoning change applications must be received by the first Thursday of each month; applications received after this date cannot be heard at the Planning Commission meeting the following month.



Project: Professional Office Center, New Richmond Wisconsin
Date: January 23, 2019
Subject: Narrative in support of Rezoning Application
Item 6.c.

The proposed New Richmond Professional Office Center is to be a multi-tenant, class A office building on a site that includes landscaped parking areas and on-site storm water management. The primary tenant is to be The Oral Surgery Center (OSC), a professional group with offices in Wisconsin and Minnesota. The building program calls for approximately 10,000 gross square feet of building with 59 parking spaces. The building will accommodate the OSC along with one or two compatible tenants. Parking is sized for OSC staff, patients, and visitors as well as staff and visitors associated with the other tenants. Building and site design are to be compliant with Mixed-Use Corridor design standards.

The existing zoning district of the proposed site is Z4 General Urban District, which permits a maximum of 40% lot coverage by building and parking. The anticipated lot coverage required by the Professional Office Center program is slightly less than 70%.

Rezoning the proposed site to Z3 Mixed-Use / Corridor District would change the maximum lot coverage to 70%, which fits the planned use. Rezoning from Z4 to Z3 appears to align this isolated parcel with extensive adjacent Z3 property identified as Saint Croix Health Center, a compatible use.

Additional land use applications (e.g. conditional use permit or variance) are not anticipated for this project.

EXHIBIT A

LEGAL DESCRIPTION OF THE LAND

A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER (SW¼ OF NE¼) OF SECTION THIRTY FIVE (35), TOWNSHIP THIRTY ONE (31) NORTH, RANGE EIGHTEEN (18) WEST, CITY OF NEW RICHMOND, FURTHER DESCRIBED AS FOLLOWS: Commencing at the West Quarter corner of said Section 35; thence N89°35'41"E, on the East-West Quarter line of said Section, 2686.07 feet to the point of beginning; thence continuing N89°35'41"E, on said East-West Quarter line, 271.63 feet to the Westerly line of the fee title conveyance in that Award of Damages by the State of Wisconsin Department of Transportation, recorded in Volume 2521, pages 543-545 document number 755907 at the St. Croix County Register of Deeds Office; thence N08°33'30"E, on the Westerly line of said fee title conveyance, 54.32 feet; thence N39°21'15"E, on the Westerly line of said fee title conveyance, 235.20 feet; thence N66°19'48"W, on the Southerly line of said fee title conveyance, 162.61 feet; thence S63°28'00"W, on the Southerly line of said fee title conveyance, 315.74 feet to the North-South Quarter line of said Section 35; thence S00°54'34"E, on said North-South Quarter line, 161.76 feet to the point of beginning, EXCEPT Certified Survey Map in Volume 5, page 1434 as document number 394210 AND EXCEPT Certified Survey Map in Volume 8, page 2267 as document number 461828.

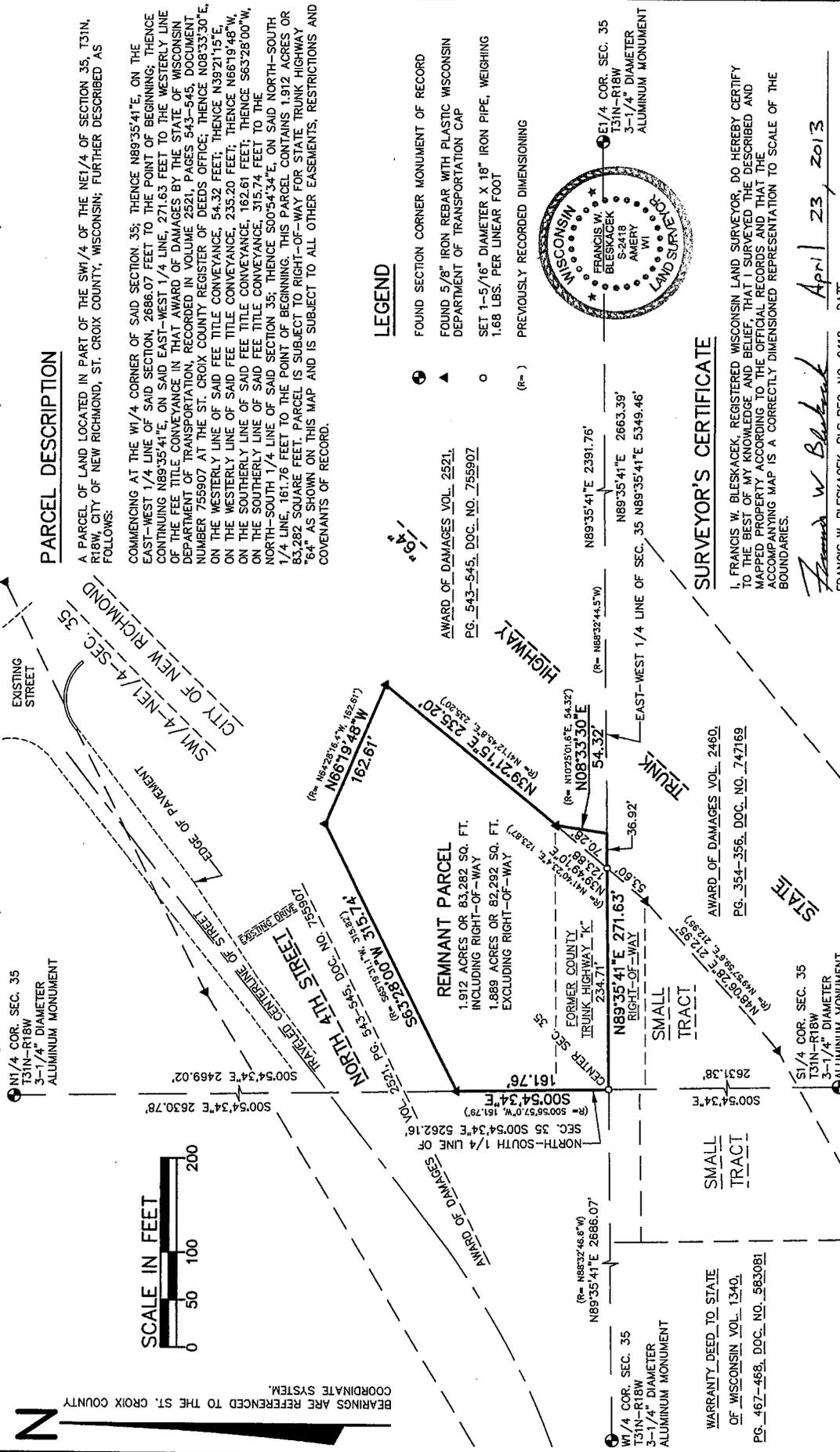
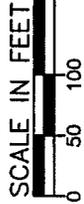
St. Croix County, Wisconsin.

GP:4851-0013-5289 v2

MAP OF SURVEY - ST. CROIX COUNTY FARM REMNANT PARCEL

LOCATED IN PART OF THE SW1/4 OF SECTION 35, T31N, R18W, CITY OF NEW RICHMOND, ST. CROIX COUNTY, WISCONSIN.

BEARINGS ARE REFERENCED TO THE ST. CROIX COUNTY COORDINATE SYSTEM.



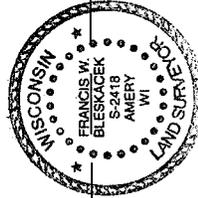
PARCEL DESCRIPTION

A PARCEL OF LAND LOCATED IN PART OF THE SW1/4 OF SECTION 35, T31N, R18W, CITY OF NEW RICHMOND, ST. CROIX COUNTY, WISCONSIN; FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE W1/4 CORNER OF SAID SECTION 35; THENCE N89°35'41"E, ON THE EAST-WEST 1/4 LINE OF SAID SECTION, 2866.07 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING N89°35'41"E, ON SAID EAST-WEST 1/4 LINE, 271.63 FEET TO THE WESTERLY LINE OF THE FEE TITLE CONVEYANCE IN THAT AWARD OF DAMAGES BY THE STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION, RECORDED IN VOLUME 2521, PAGES 543-545, DOCUMENT NUMBER 755907 AT THE ST. CROIX COUNTY REGISTER OF DEEDS OFFICE; THENCE N08°33'30"E, ON THE WESTERLY LINE OF SAID FEE TITLE CONVEYANCE, 54.32 FEET; THENCE N39°21'15"E, ON THE SOUTHERLY LINE OF SAID FEE TITLE CONVEYANCE, 162.61 FEET; THENCE N66°19'48"W, ON THE SOUTHERLY LINE OF SAID FEE TITLE CONVEYANCE, 315.74 FEET TO THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 35; THENCE S00°54'34"E, ON SAID NORTH-SOUTH 1/4 LINE, 161.76 FEET TO THE POINT OF BEGINNING. THIS PARCEL CONTAINS 1.912 ACRES OR 83,282 SQUARE FEET. PARCEL IS SUBJECT TO RIGHT-OF-WAY FOR STATE TRUNK HIGHWAY "64" AS SHOWN ON THIS MAP AND IS SUBJECT TO ALL OTHER EASEMENTS, RESTRICTIONS AND COVENANTS OF RECORD.

LEGEND

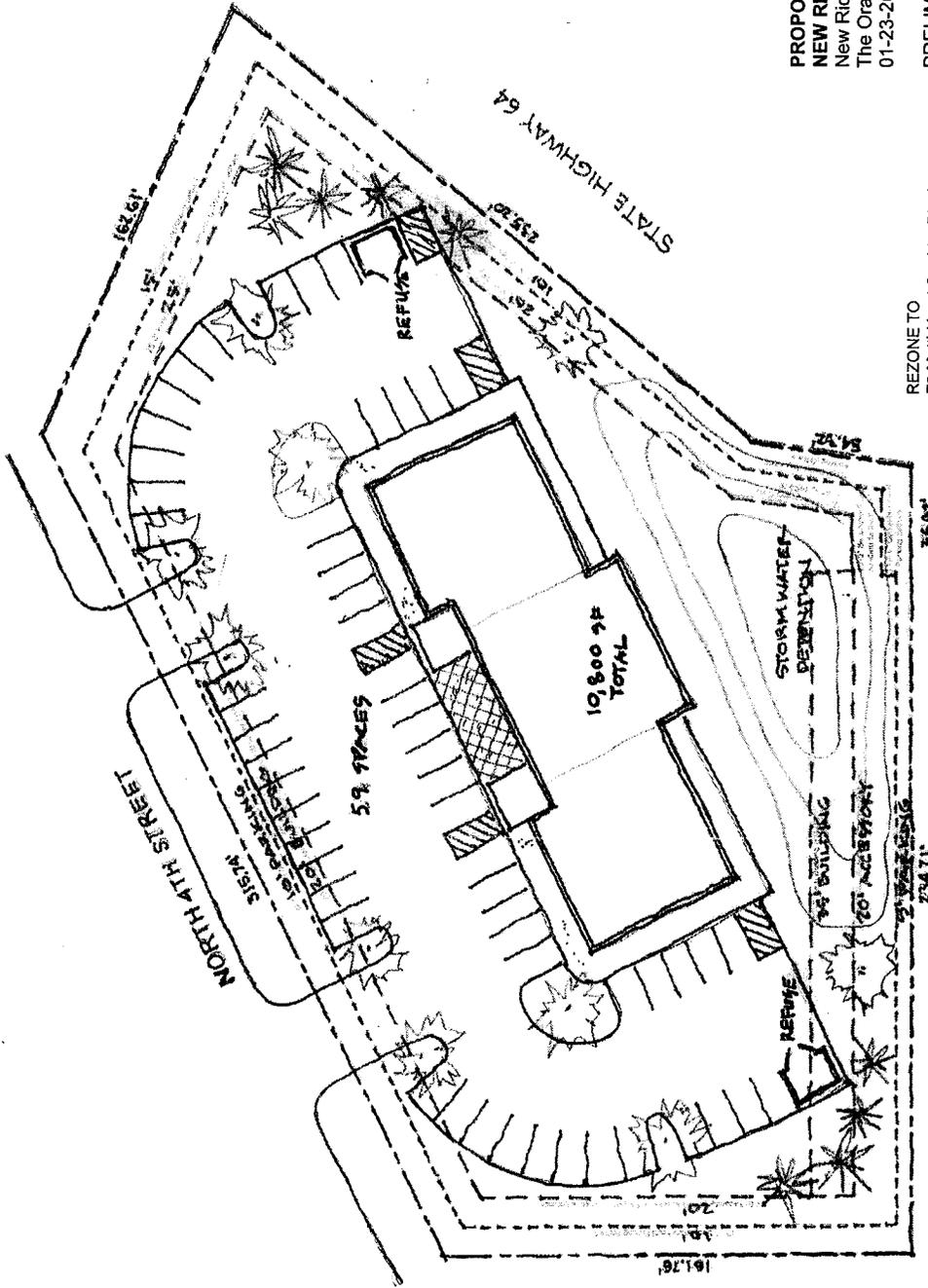
- FOUND SECTION CORNER MONUMENT OF RECORD
- ▲ FOUND 5/8" IRON REBAR WITH PLASTIC WISCONSIN DEPARTMENT OF TRANSPORTATION CAP
- SET 1-5/16" DIAMETER X 18" IRON PIPE, WEIGHING 1.68 LBS. PER LINEAR FOOT
- (R-) PREVIOUSLY RECORDED DIMENSIONING



SURVEYOR'S CERTIFICATE

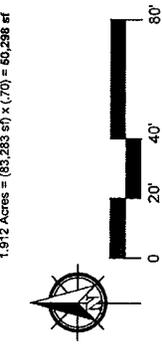
I, FRANCIS W. BLESKACEK, REGISTERED WISCONSIN LAND SURVEYOR, DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT I SURVEYED THE DESCRIBED AND MAPPED PROPERTY ACCORDING TO THE OFFICIAL RECORDS AND THAT THE ACCOMPANYING MAP IS A CORRECTLY DIMENSIONED REPRESENTATION TO SCALE OF THE BOUNDARIES.

Francis W. Bleskacek
 FRANCIS W. BLESKACEK, RLS REG. NO. 2418 DATE April 23, 2013



PROPOSED
NEW RICHMOND PROFESSIONAL OFFICE CENTER
 New Richmond Oral Surgery Partners LLC
 The Oral Surgery Center
 01-23-2019

PRELIMINARY SITE CONCEPT SKETCH
 1" = 40'-0"



REZONE TO
 Z3 Multi-Use / Corridor District
 70% Max. Lot Coverage

Lot Area
 1.912 Acres = (83,283 sf) x (.70) = 58,298 sf





252 1/543

252 1/543

35

190 56

177 187

162

844/595

209/134-143
DOT

2460/354

2460/354

1241

1245

1240

630

610

0 100 200 300ft

DISCLAIMER: This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn are the responsibility of the user.

Town of Star Prairie



156 East First Street
 New Richmond, WI 54017
 Ph 715-246-4268 Fax 715-246-7129
 www.newrichmondwi.gov

MEMORANDUM

TO: Plan Commission

FROM: Noah Wiedenfeld, Director of Planning

DATE: March 1, 2019

SUBJECT: Oevering Properties, LLC: Site Plan & Stormwater Review

PROJECT PROPOSAL

Oevering Properties, LLC seeks to construct an 11,423 square foot addition to their existing building located at 1433 Cernohous Avenue in the Business & Technical Park. The addition will be used primarily for warehousing and office space.

PROCESS

Oevering Properties, LLC has submitted an application for site plan and stormwater review, and paid the necessary review fee and escrow.

ACTION	DATE
Site Plan Application Received	Nov. 28, 2018
Development Review Committee Analysis	Jan. 3, 2019
Development Review Committee Analysis	Jan. 23, 2019
Plan Commission – Final Action	Mar. 5, 2019

Site plan applications do not require a Class 1 or Class 2 notice in the newspaper. The applicant has also submitted their building plans to the State of Wisconsin Department of Safety and Professional Services, because the building is more than 50,000 cubic feet in total volume, and received conditional approval. General warehousing uses are permitted in the Z7 Zoning District subject to an administrative permit. Given the size of the project, the application has been referred to the Plan Commission as a site plan review.

The table above shows the process for site plan and stormwater review, but it should also be noted that the Plan Commission and City Council completed other necessary actions related to this project in late 2018, including rezoning of the site, approval of a new certified survey map, and the sale of property to the applicant.

EXECUTIVE SUMMARY OF ANALYSIS (RECOMMENDATION)

The Development Review Committee recommends **approval** of the site plan and stormwater review application, subject to the following conditions:

1. Any existing trees or shrubs that are dead or unhealthy as determined by the City Forester shall be replaced in accordance with Section 121-55.
2. Landscaping improvements require a financial guarantee equal to 125 percent of the cost for labor and materials for the landscaping plan, and shall not be deemed complete until the City has verified survivability of all required plantings through two winter seasons, in compliance with Section 121-55. The financial guarantee shall be received by the City on or before the date on which the building permit application is submitted.
3. The entire property (both the existing parking lot and proposed additional parking stalls) shall have two lifts of asphalt prior to the issuance of a certificate of occupancy.
4. The applicant shall complete a sign permit application and receive the appropriate permit prior to the installation of signage. All signage must comply with Section 121-44 of the City Code of Ordinances.
5. All utility issues are subject to review and approval by the Electric Superintendent and the Director of Public Works.
6. All grading, drainage, and erosion control issues are subject to review and approval of the Public Works Director.
7. All costs associated with connecting to the City storm sewer shall be borne by the applicant. The stormwater management plan shall be reviewed and approved by the Director of Public Works prior to the issuance of the building permit. Per Section 109-289, a short-term and long-term maintenance and monitoring agreement shall also be provided and signed by the applicant prior to the issuance of the building permit.

DETAILED ANALYSIS

COMPREHENSIVE PLAN

The Future Land Use Plan in the City of New Richmond's 2040 Comprehensive Plan guides the community's land toward a desired land use pattern and identifies areas in the City for future growth. The proposed project is located on land designated as Business Park. Areas with this land use category include manufacturing, assembly, warehousing, laboratory, distribution, tech/flex, related office uses, and truck/transportation terminals. The project is consistent with the Comprehensive Plan.

ZONING

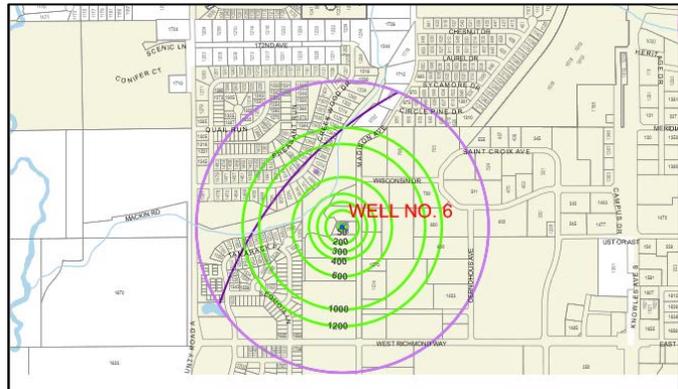
The property is zoned Z7 Specific Use/Industrial. The purpose of the Z7 Zoning District is to allow for continuation and expansion of industrial uses in specific areas of the City where they will have less conflict with other functions. The building function as determined by City staff is general warehousing, which is permitted administratively in the Z7 Zoning District subject to submittal of a building permit application.

CERTIFIED SURVEY MAP

A certified survey map for the site was approved by the Plan Commission and City Council in 2018. The CSM was officially recorded with St. Croix County.

WELLHEAD PROTECTION

The project is located in a wellhead protection district (Well No. 6), which is subject to land use and development restrictions because of its close proximity to the City's municipal wells and the corresponding high threat of contamination. The proposed project does not conflict with the prohibited uses identified in Section 121-60.C.3 of the City Code of Ordinances.



SURROUNDING USES

Surrounding uses include Hair Company & Spa and Fitzgerald Lawn Care to the south, Federal Foam Technologies to the north, and undeveloped property to the east and west. The proposed project is compatible with the existing surrounding uses, and is unlikely to have an adverse impact on the future development of the surrounding undeveloped property.

LOT OCCUPATION

Properties in the Z7 Zoning District have a minimum lot width of 80 feet, and a maximum lot coverage of 60%. The existing lot width is not changing as a result of the proposed project, and the proposed lot coverage is 59.6%, which complies with the City Code of Ordinances.

BUILDING CONFIGURATION

Principal buildings in the Z7 Zoning District may be up to a maximum of four stories in height. The proposed addition has a maximum height of 27 feet and complies with the City Code of Ordinances.

SETBACKS

The table below shows the applicable setbacks according to the City Code of Ordinances and the protective covenants for the property. The proposed project meets all minimum setbacks.

SETBACKS	PRINCIPAL FRONT	REAR	SIDE
Minimum Building	30'	25'	15'
Proposed Building Addition	NA	167.81'	82.5' (South) 133.25' (North)
Minimum Parking Lot	15'	5'	5'
Proposed Parking Lot	30'	116.25'	31.875'

ARCHITECTURAL DESIGN

The proposed addition's architectural design replicates that of the existing building (picture to the right). The exterior finish materials include lap siding, prefinished shakes, and cultured stone veneer. The color of the lap siding is not indicated on the submitted plans. Four overhead doors are proposed along the north building elevation. The proposed addition has a 3:12 roof pitch.



Per Section 121-49.G of the City Code of Ordinances, for non-residential uses, all sides of the principal and accessory structures are to have essentially the same or coordinated, harmonious exterior finish materials and treatment. Section 121-49.G also identifies the standards for exterior building finishes and limits roof slopes to a maximum of 1:12 slope unless otherwise approved by the Zoning Administrator. The proposed exterior finish materials, which will match the existing siding and trim colors, comply with the City Code of Ordinances. City staff support the proposed roof pitch.

LANDSCAPING

A landscaping plan was submitted by the applicant, as required per Section 121-55 of the City Code of Ordinances. Per Table 15 of the Zoning Ordinance, the applicant is required to provide at a minimum (whichever is greater) 1 new tree per 5,000 square feet of building area or 1 new tree per 100 linear feet of lot perimeter. Per Section 121-55.K, because the site is located where a Z7 district adjoins another district, the south property line shall include a row of plant materials for the purpose of providing additional screening. The landscaping plan submitted by the applicant consists of an additional 7 trees (Autumn Blaze Maple, Accolade Elm, and Swamp White Oak) along the south property line with a minimum of 3.5" caliper.

Any existing trees or shrubs that are dead or unhealthy as determined by the City Forester shall be replaced in accordance with Section 121-55.I. Landscaping improvements require a financial guarantee equal to 125 percent of the cost for labor and materials for the landscaping plan, and shall not be deemed complete until the City has verified survivability of all required plantings through two winter seasons, in compliance with Section 121-55.I.2. The financial guarantee shall be received by the City on or before the date on which the building permit application is submitted.

TRAFFIC IMPACT

The existing building has access to Cernohous Avenue. The proposed project does not include any new access points, directly impact traffic, or raise any concerns about the ability of local streets to handle current or future traffic volumes.

PARKING, DRIVEWAYS, & VEHICULAR CIRCULATION

The proposed project includes the construction of additional bituminous parking spaces, including 6-inch high barrier curb and gutter. Section 121-52.A.5 of the City Code of Ordinances requires all driveways and areas intended to be utilized for parking spaces to be constructed of

bituminous asphalt, concrete, or pavers, and for a 6-inch high, poured-in-place concrete curb to be provided at the periphery of all parking lots and internal access drives. The entire property (both the existing parking lot and proposed additional parking stalls) shall have two lifts of asphalt prior to the issuance of a certificate of occupancy.

The applicant's site plan indicates that there will be 49 parking stalls after completion of the project. Per Table 14 of the Zoning Ordinance, industrial uses in the Z7 Zoning District shall have a minimum of 1 parking stall per 2,000 square feet of building area, plus one parking stall per two employees of the longest shift. The building would have a total area of 22,847 square feet upon completion, as well as 25 total employees during the longest shift, for a total parking minimum requirement of 24 parking stalls. Thus, the proposed site plan exceeds the minimum parking requirement. The proposed driveway is 26' wide, which is the maximum width allowed for commercial uses without approval from the Director of Public Works.

BICYCLE & PEDESTRIAN ACCOMMODATIONS

No sidewalk or multi-purpose trail accommodations are required to be completed as part of this project, as no such extensions or connections are necessary at the project location as determined by the Director of Public Works.

SIGNAGE

No signage plan was submitted by the applicant, however signage is identified on the south and west building elevations. No specific type of signage or sign dimensions are indicated. The applicant shall complete a sign permit application and receive the appropriate permit prior to the installation of signage. All signage must comply with Section 121-44 of the City Code.

EXTERIOR LIGHTING

The proposed building addition includes fully shielded LED wall packs. A photometric plan was submitted by the applicant, and it complies with the lighting and glare restrictions identified in Section 121-51 of the City Code of Ordinances. The entire property (existing building and parking lot) also complies with these lighting requirements, as required by Section 121-51.C.1.

REFUSE & RECYCLING

No exterior refuse and recycling collection areas are identified. The submitted plans note that the refuse and recycling collection areas are located in the existing building.

OUTDOOR STORAGE

The site plan indicates a large outdoor storage space consisting of a gravel surface located to the north of the proposed building addition. Per Section 121-48 of the City Code of Ordinances, outdoor storage for non-residential uses shall be screened so as not to be visible from adjoining properties and public streets. Per Section 121-54 of the City Code of Ordinances, fence materials and design shall be compatible with other structures on the property and shall be maintained in a condition of reasonable repair. Fences for non-residential uses may be erected up to 8 feet in height. The site plan proposes an 8' high slatted fence with a gray color along the

north and west sides of the proposed outdoor storage space. A gate is also identified on the site plan, which affords reasonable and convenient access for public safety.

UTILITIES

All utility issues are subject to review and approval by the Electric Superintendent and the Director of Public Works.

EASEMENTS

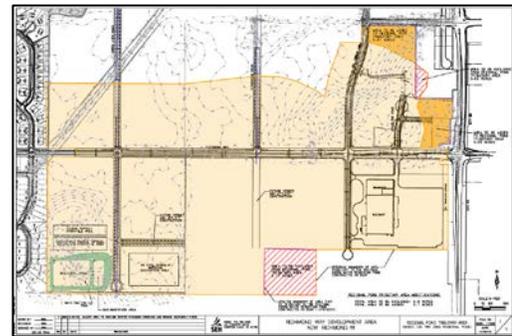
Per the certified survey map that was approved in December 2018, the site includes a 10' wide drainage and utility easement along the perimeter of the property, in accordance with Section 117-41 of the City Code of Ordinances.

GRADING, EROSION CONTROL, & STORMWATER

Per Section 109-285 of the City Code of Ordinances, the project is subject to construction site erosion control requirements because it disturbs more than 3,000 square feet of land. The project is also subject to post-construction stormwater management requirements, as it results in the addition of more than 20,000 square feet of new impervious surface. Therefore, the applicant is required to submit both a construction site erosion and sediment control plan and a stormwater management plan.

The applicant has submitted an erosion control plan, which consists of silt fencing along the west and south property lines, a vehicle tracking pad at the entrance of the project site, rip rap near curb cuts, and erosion control matting. The applicant has also submitted a grading plan, which indicates a grass swale on the west side of the proposed parking lot addition that drains to the southwest corner of the property. All grading, drainage, and erosion control issues are subject to review and approval of the Public Works Director.

The applicant has submitted a stormwater management plan in accordance with Section 109-288 of the City of Ordinances. The grading and erosion control plans indicate a 15" storm pipe connection to City storm sewer; no such city facilities currently exist. The site is located within a regional stormwater management plan area, which eliminates the need for individual on-site facilities, but a stormwater conveyance system is needed to carry runoff from the site to the regional pond. All costs associated with connecting to the City storm sewer shall be borne by the applicant. The stormwater management plan shall be reviewed and approved by the Director of Public Works prior to the issuance of the building permit. Per Section 109-289, a short-term and long-term maintenance and monitoring agreement shall also be provided and signed by the applicant prior to the issuance of the building permit.



Regional Pond Tributary Area



CITY OF NEW RICHMOND
THE CITY BEAUTIFUL

City of New Richmond
156 East First Street ❖ New Richmond, WI 54017
Phone: (715) 246-4268 ❖ Fax: (715) 246-7129

Rec# 68250
10/3/18
\$ 1500.00

CITY ORDINANCE SECTION 117 & 121
www.newrichmondwi.gov

- SITE PLAN/STORM WATER REVIEW FEE: \$250.00 ESCROW: \$1,500.00 *
- CONCEPT PLAN FEE: \$150.00 ESCROW: \$1,500.00
- CERTIFIED SURVEY MAP FEE: \$200.00, ESCROW: \$1,500.00
- AMENDED CERTIFIED SURVEY FEE: \$200.00 ESCROW: \$1,500.00

Application fees should be made payable to City of New Richmond upon submittal of completed application. Escrow funds will be drawn to cover project-related costs. Additional funds may be required; surplus funds will be returned.

Please complete the application by typing or printing in ink. Use additional paper if necessary.

1. Property Owner Information:

Company name: Overing Properties LLC
 Last name: _____ First name: _____
 Address: 1433 Cornhous Ave City/State/Zip: New Richmond WI 54017
 Phone number: 715. 243 0001 Email address: orange@overinghomes.com

2. Applicant Information: (if different from above)

Company name: Overing Same
 Last name: _____ First name: _____
 Address: _____ City/State/Zip: _____
 Phone number: _____ Email address: _____

3. Address(es) of Property Involved: (if different from above)

1433 Cornhous Ave Suite A New Richmond WI 54017

4. Zoning Designation: Z7

5. Statement of Intent: Briefly describe what will be done on or with the property: _____

Building Addition of same size

6. **Additional Required Information:**

- a. **Legal Description and PIN:** Provide the Parcel Identification Number(s) and the complete legal description(s) of the property involved.
- b. **Consultant Fees:** Whenever third party consultants are utilized in the preparation of application materials (e.g., a traffic study) or the City's review of an application (e.g., traffic study analysis), the applicant shall be responsible for paying the entirety of those costs.
- c. **Other Information:** In addition to a full size site plan and an 11" x 17" copy, topographic survey, landscape plan, grading and drainage plan, exterior building elevation drawings, and other information may also be required if deemed necessary by City Staff. Please refer to Sec. 121-31 for further information on Site Plans.

7. **Signature(s):** By signing below, you attest that the information above and attached is true and correct to the best of your knowledge.

Property Owner: Overwing Properties LLC Date: 9/19/18

Applicant: Orlando J Overwing Date: 9/19/18

Fee Paid: 250.00 Date: 10/3/18 Receipt # 68250

Escrow Paid: 1500.00 Date: 10/3/18 Receipt # 68250

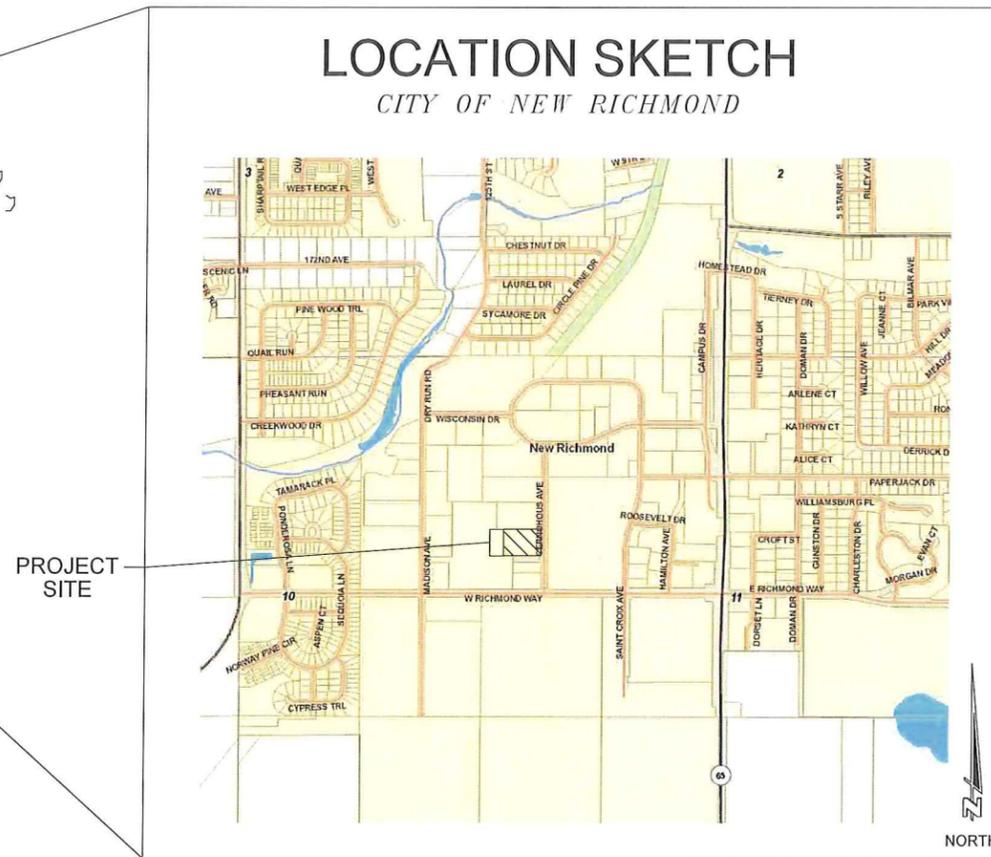
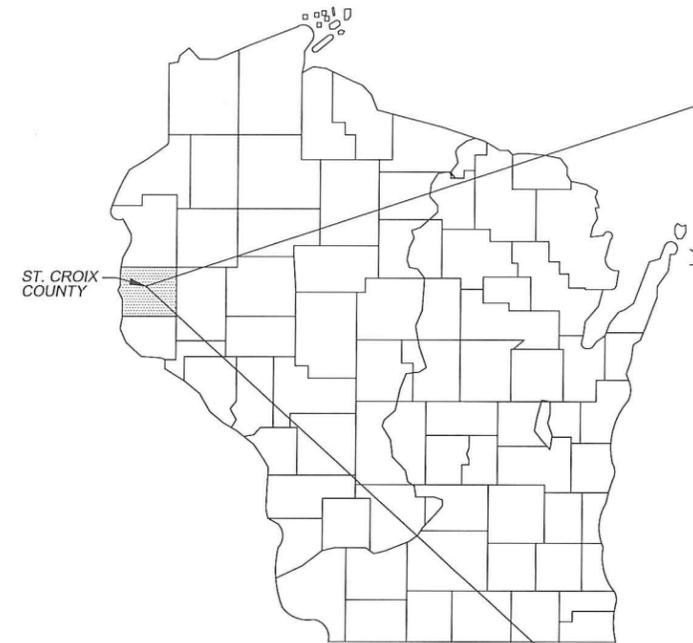
Zoning change applications must be received by the first Thursday of each month; applications received after this date cannot be heard at the Planning Commission meeting the following month.

OEVERING PROPERTIES, LLC.

(1433 CERNOHOUS ADDITION)

CITY OF NEW RICHMOND

ST. CROIX COUNTY, WISCONSIN



CONVENTIONAL SYMBOLS

	BOUNDARY PROPERTY LINE
	PROPOSED R.O.W.
	PROPOSED LOT LINES
	PROPOSED BIT
	PROPOSED GRAVEL
	PROPOSED CULVERT/PIPE
	DRAINAGE EASEMENT
	EXISTING TREELINE
	EXISTING FENCE
	SILT FENCE
	EROSION CONTROL MAT

LOCATION MAP

N.T.S.

CONTACTS	
DIGGERS HOTLINE 1-800-242-8511	OWNER
PROJECT ENGINEER/SURVEYOR AUTH CONSULTING & ASSOCIATES 715-381-5277	OEVERING PROPERTIES, LLC. 1433 CERNOHOUS AVE. NEW RICHMOND, WI 54017 715-684-4647
PROJECT ARCHITECT LARS ARCHITECTURAL SERVICES, LLC. 612-240-7009	

CONSTRUCTION NOTES

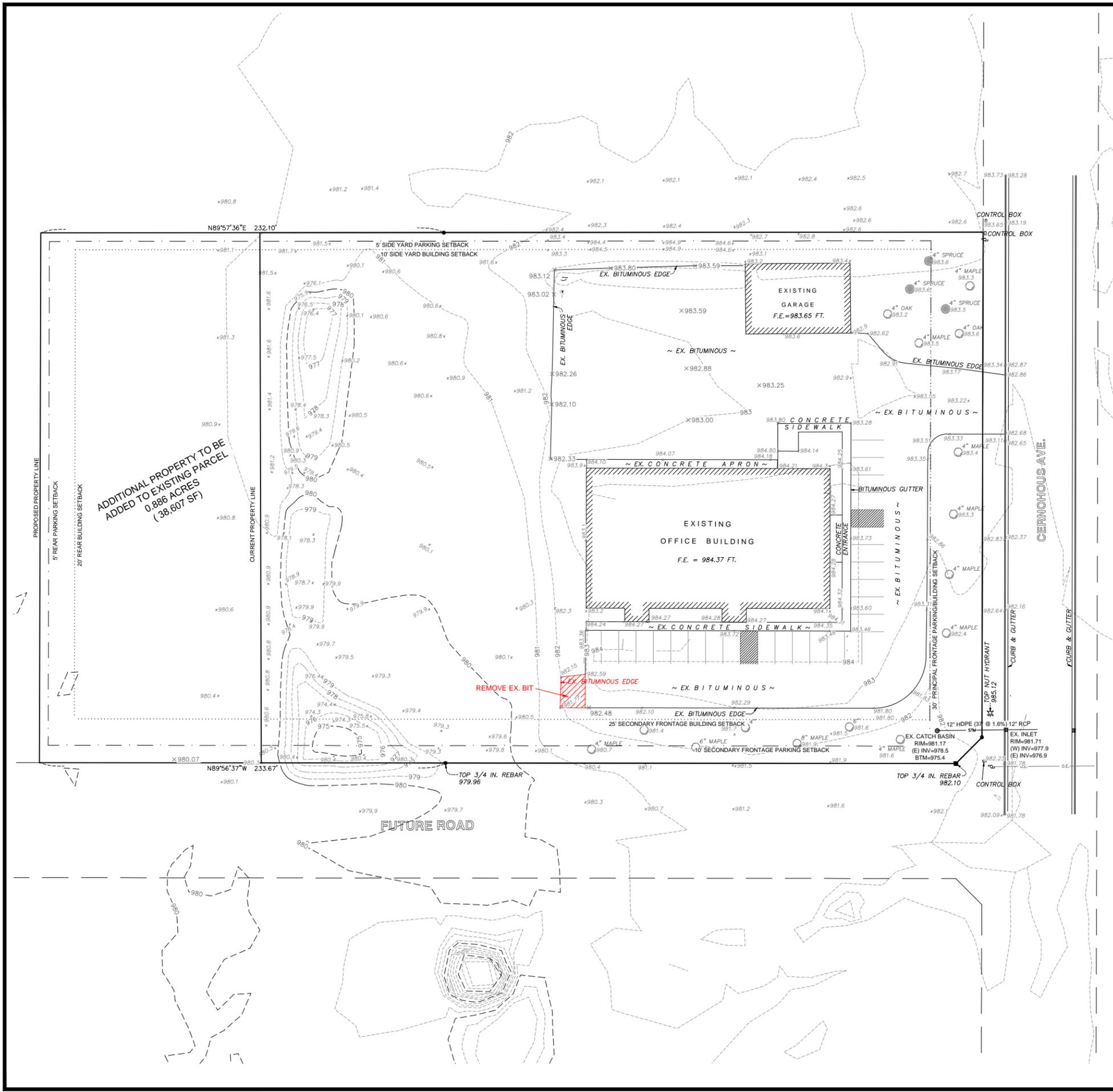
- CONTRACTOR SHALL NOTIFY UTILITIES AND HAVE ALL UTILITIES LOCATED PRIOR TO ANY EXCAVATION.
- CONTRACTOR SHALL SALVAGE AND REPLACE TOPSOIL IN ALL DISTURBED AREAS.
- NO TREES OR SHRUBS TO BE REMOVED WITHOUT THE PRIOR APPROVAL OF THE OWNER, UNLESS SHOWN ON PLANS.
- CONTRACTOR SHALL MAINTAIN TRAFFIC ACCESSIBILITY ALONG PROJECT.
- SALVAGED MATERIALS TO BECOME PROPERTY OF THE OWNER.
- CONTRACTOR SHALL MECHANICALLY COMPACT ALL TRENCHES UNDER ALL PAVED, CONCRETE, GRAVEL AND BUILDING PAD AREAS.
- ALL TOPSOIL, ORGANIC AND UNSUITABLE MATERIAL TO BE REMOVED BEFORE FILL MATERIAL IS PLACED. NO ORGANIC, UNSUITABLE OR FROZEN MATERIAL TO BE PLACED IN FILL AREAS. ALL FILL MATERIAL AND ENGINEERED FILL TO BE MECHANICALLY COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
- APRON ENDWALLS REQUIRED ON ALL ENDS OF STORM SEWER. PIPE LENGTHS INCLUDE APRON ENDWALLS.



SHEET INDEX

SHEET	SHEET DESCRIPTION
C1.0	TITLE SHEET
C2.0	EXISTING SITE AND DEMO PLAN
C3.0	SITE & UTILITY PLAN
C4.0	GRADING PLAN
C4.1	ENLARGED GRADING PLAN
C5.0	EROSION CONTROL PLAN
C6.0-C6.1	DETAILS

PROJECT:	OEVERING PROPERTIES, LLC. 1433 CERNOHOUS AVENUE (ADDITION) CITY OF NEW RICHMOND, ST. CROIX COUNTY, WI
SHEET NO.:	C1.0
TITLE SHEET	
CORPORATE OFFICE:	405 Technology Drive East Suite A Menomonic, WI 54951 Tel 715-282-4490 auticonsulting.com
BRANCH OFFICE:	2820 Police Street Suite 101 Hudson, WI 54016 Tel 715-381-5277 auticonsulting.com
DRAWING PHASE:	OWNER REVIEW AGENCY REVIEW FOR CONSTRUCTION AS-BUILT DOCUMENT
DRAWN BY:	JMS
CHECKED BY:	MDH
DATE:	08/29/18
DWG FILE:	5307-006-C1.0-Title
REF FILE:	5307-006-18
JOB NUMBER:	5307-006
ADDITIONAL ACREAGE:	MDH 09/18/18
RELEASED FOR REVIEW:	MDH 09/04/18
REVISION DESCRIPTION:	NAME: DATE:



LEGEND

EXISTING 5FT CONTOURS	EXISTING SIGN
EXISTING 1FT CONTOURS	EXISTING LIGHT POLE
PROPERTY BOUNDARY LINE	EXISTING GAS VALVE
EXISTING CURB	EXISTING PROPERTY IRONS
BUILDING SETBACK	EXISTING TELEPHONE PEDESTAL
PARKING SETBACK	EXISTING STORM INLET
EXISTING UNDERGROUND TELEPHONE	EXISTING SANITARY SEWER MANHOLE
EXISTING GAS LINE	EXISTING SANITARY STORM MANHOLE
EXISTING STORM SEWER	DEMO EXISTING BITUMINOUS
EXISTING SANITARY SEWER	
EXISTING WATERMAIN (APPROXIMATE)	

EXISTING SITE CONDITION NOTE

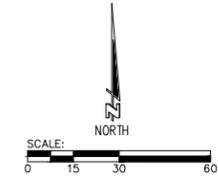
EXISTING CONDITIONS SHOWN ARE BASED ON TOPOGRAPHY INFORMATION COMPLETED BY WIND ROSE LAND SURVEYORS IN MAY 2016. SUPPLEMENTAL INFORMATION PROVIDED BY ST. CROIX COUNTY LIDAR DATA AND ADDITIONAL FIELD SHOTS ALONG THE RECENTLY PAVED AREA NORTH OF THE EXISTING OFFICE BUILDING. CONTRACTOR TO FIELD VERIFY ALL EXISTING SITE CONDITIONS FOR ACCURACY PRIOR TO ANY DEMOLITION, EXCAVATION, OR CONSTRUCTION ACTIVITIES COMMENCING.

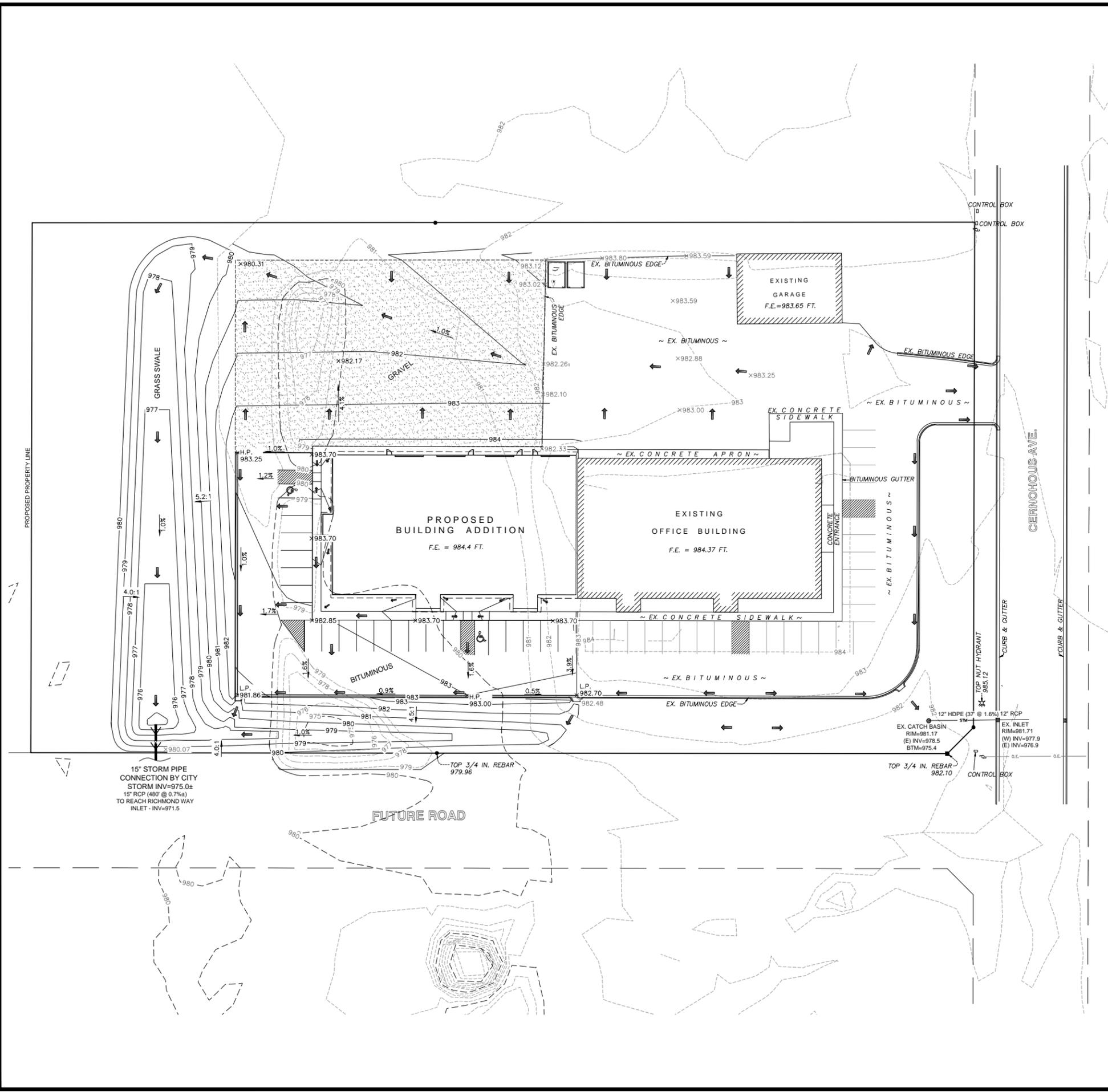
PROJECT:	OVERVIEW PROPERTIES, LLC. 1433 CERNOEH AVENUE (ADDITION) CITY OF NEW RICHMOND, ST. CROIX COUNTY, WI	DATE:	11/06/18
DRAWING PHASE:	AS-BUILT DOCUMENT	JOB NUMBER:	5307-006
BRANCH OFFICE:	2829 Palms Street Suite 101 Madison, WI 53718 Tel 715-981-8277	EX PROPERTY LINE CORRECTION	MDH 09/18/18
CORPORATE OFFICE:	408 Technology Drive East Suite 101 Menomonie, WI 54751 Tel 715-282-8490	ADDITIONAL ACREAGE	MDH 09/18/18
BRANCH OFFICE:	2829 Palms Street Suite 101 Madison, WI 53718 Tel 715-981-8277	RELEASED FOR REVIEW	MDH 09/04/18
CORPORATE OFFICE:	408 Technology Drive East Suite 101 Menomonie, WI 54751 Tel 715-282-8490	AS-BUILT DOCUMENT	NAME:

Auth Consulting/associates
S&L Land Surveying a division of A/C/a

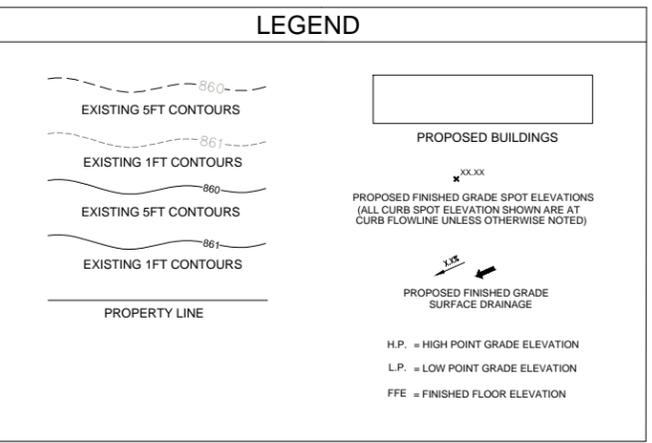
EX. CONDITIONS AND DEMOLITION PLAN

SHEET NO. **C2.0**





- ### GRADING NOTES
- CONTRACTOR SHALL NOTIFY UTILITIES AND HAVE ALL UTILITIES LOCATED PRIOR TO ANY CONSTRUCTION, EXCAVATION OR DEMOLITION ACTIVITIES COMMENCING.
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 - 1.0% (MIN.) SLOPE REQUIRED ON ALL CONSTRUCTED DITCH BOTTOMS, UNLESS NOTED OTHERWISE.
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DRAWING PHASE:	DRAWN BY: JMS	CHECKED BY: MDH	DATE: 08/29/18	DWG FILE: 5307-006-C40-GRAD	REF FILE: 5307-006-18	JOB NUMBER: 5307-006	DATE: 09/04/18
OWNER REVIEW	AGENCY REVIEW	FOR CONSTRUCTION	AS-BUILT DOCUMENT	ADDITIONAL ACREAGE	RELEASED FOR REVIEW	REVISION DESCRIPTION:	NAME:
X	X	X	X	X	X	X	X

BRANCH OFFICE
2829 Faber Street
Suite 101
Madison, WI 53716
Tel 715-981-8277

CORPORATE OFFICE
408 Technology Drive East
Suite 101
Menomonie, WI 54751
Tel 715-282-8490

authconsulting.com

Authconsulting/associates

S&L Land Surveying a division of A/Ca

PROJECT: **OEVEERING PROPERTIES, LLC.**

1433 CERNOHOUS AVENUE (ADDITION)

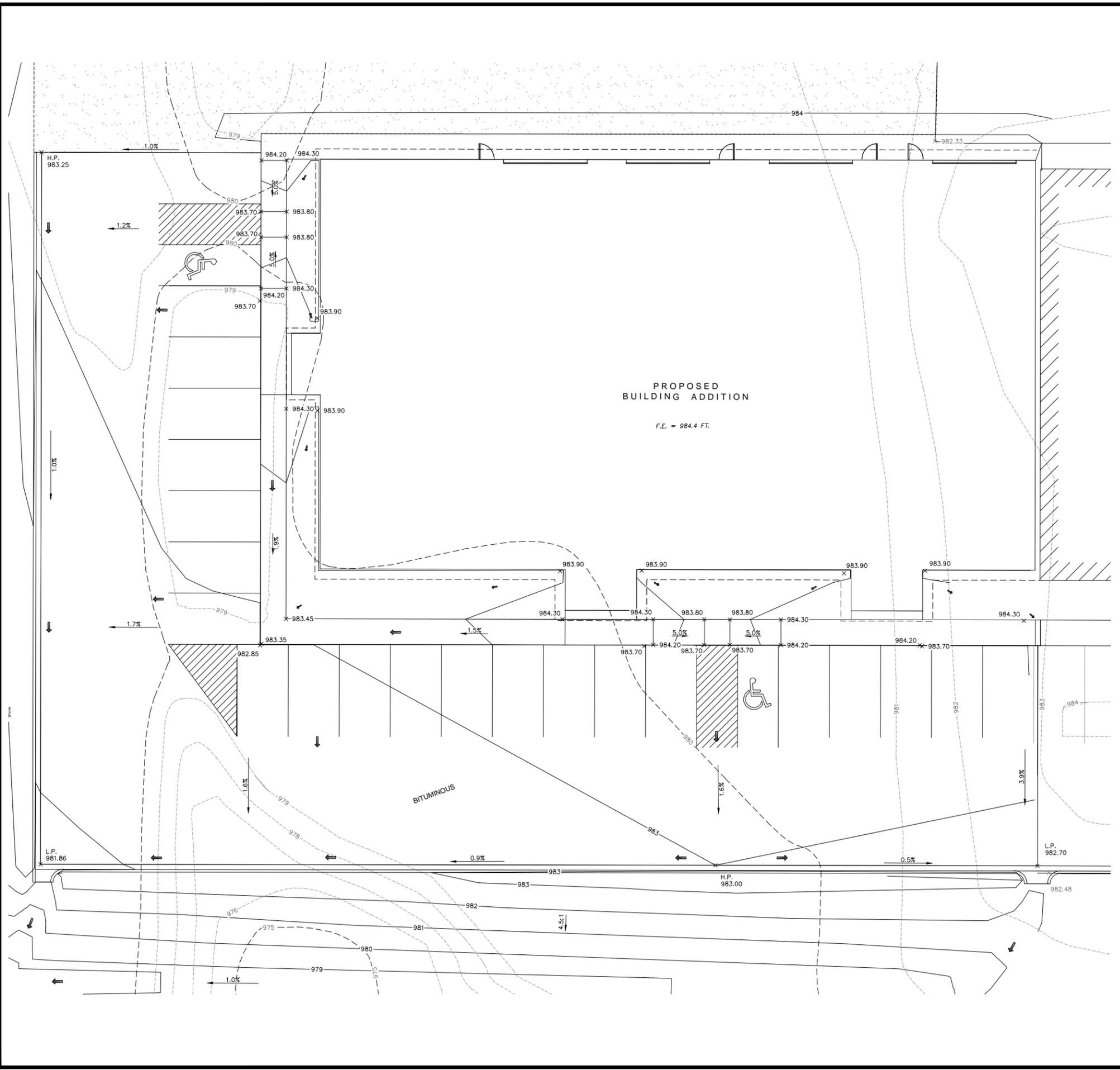
CITY OF NEW RICHMOND, ST. CROIX COUNTY, WI

GRADING PLAN

SCALE: 0 15 30 60

NORTH

SHEET NO. **C4.0**



GRADING NOTES

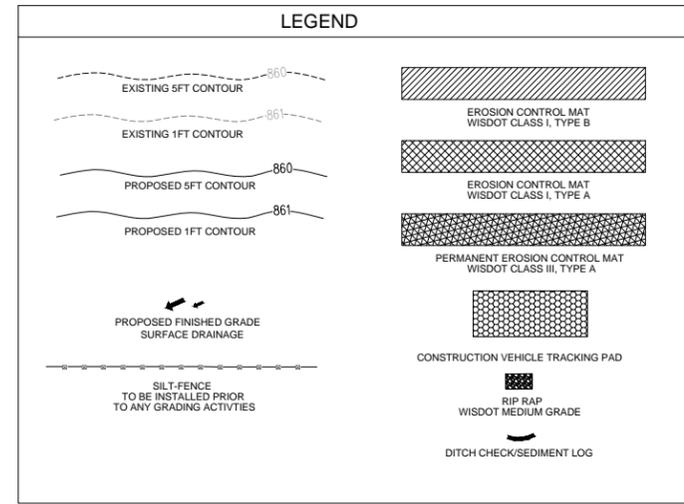
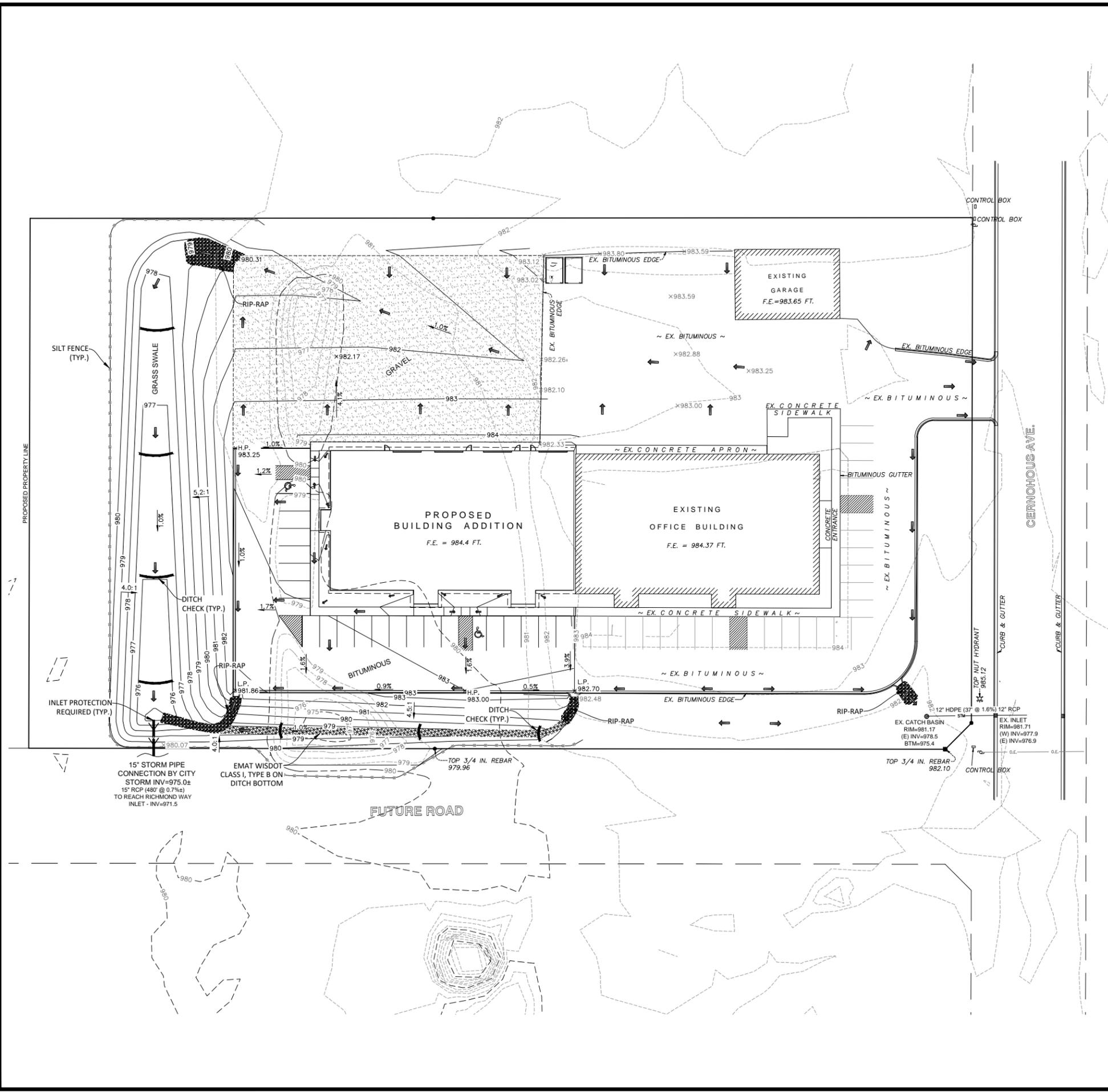
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LEGEND

	EXISTING 5FT CONTOURS		PROPOSED BUILDINGS
	EXISTING 1FT CONTOURS		PROPOSED FINISHED GRADE SPOT ELEVATIONS (ALL CURB SPOT ELEVATION SHOWN ARE AT CURB FLOWLINE UNLESS OTHERWISE NOTED)
	EXISTING 5FT CONTOURS		PROPOSED FINISHED GRADE SURFACE DRAINAGE
	EXISTING 1FT CONTOURS		
	PROPERTY LINE		

H.P. = HIGH POINT GRADE ELEVATION
L.P. = LOW POINT GRADE ELEVATION
FFE = FINISHED FLOOR ELEVATION

DRAWING PHASE:		BRANN BY: JMS	DATE: 08/29/18	DWG FILE: 5307-006-C40-GRAD	REF FILE: 5307-006-18	JOB NUMBER: 5307-006
OWNER REVIEW	AGENCY REVIEW	BID DOCUMENT	FOR CONSTRUCTION	AS-BUILT DOCUMENT	ADDITIONAL ACREAGE	RELEASED FOR REVIEW
X	X				MDH	MDH
CORPORATE OFFICE		BRANCH OFFICE		PROJECT: OEVEVER PROPERTIES, LLC. 1433 CERNOHOUS AVENUE (ADDITION) CITY OF NEW RICHMOND, ST. CROIX COUNTY, WI ENLARGED GRADING PLAN		
408 Technology Drive East Suite 101 Menomonie, WI 54751 Tel 715-282-8490		2829 Faber Street Suite 101 Eau Claire, WI 54601 Tel 715-891-8277		 Auth Consulting/associates S&L Land Surveying a division of A/C/a		
SHEET NO. C4.1		SCALE: 0 5 10 20		DATE: 09/18/18		



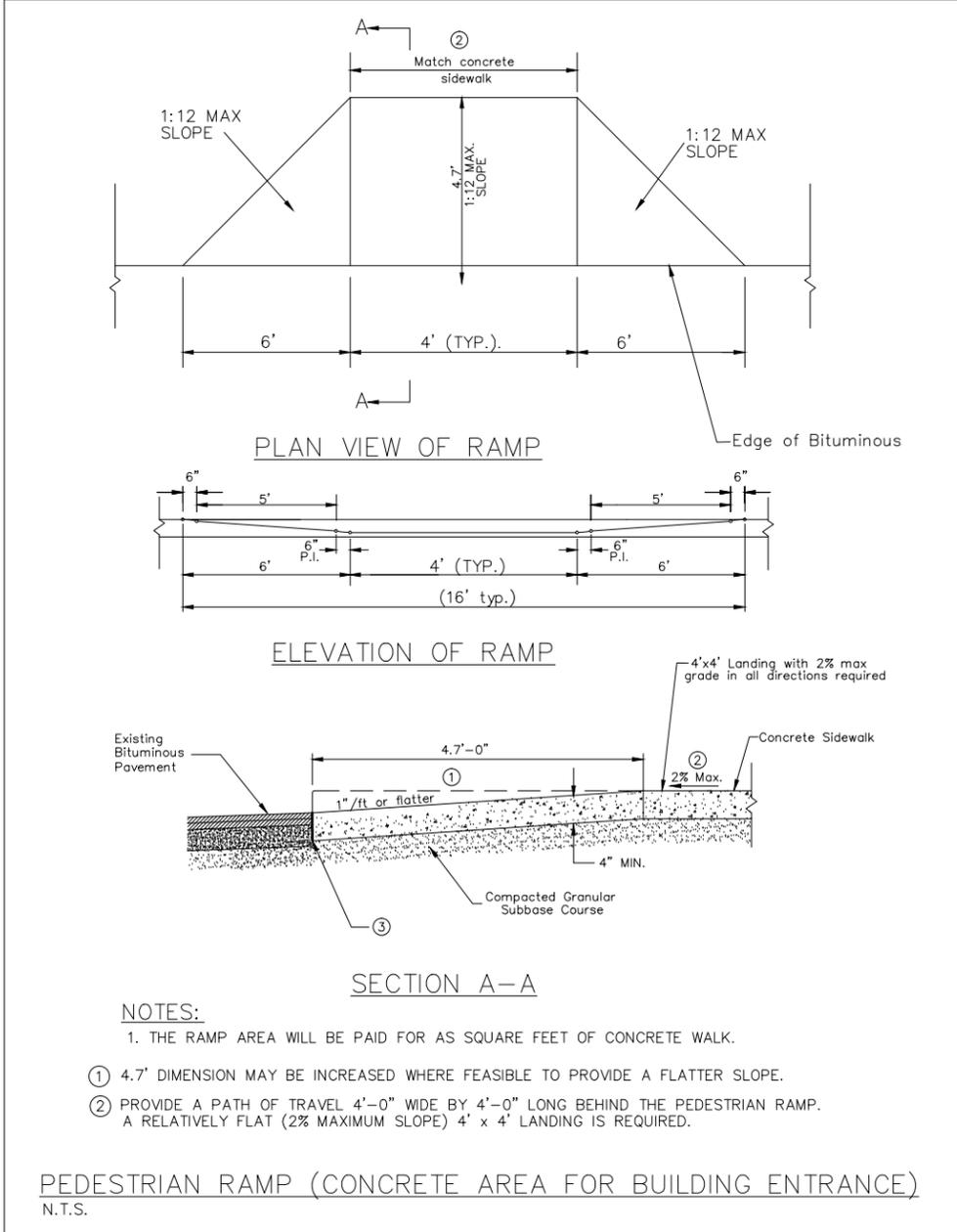
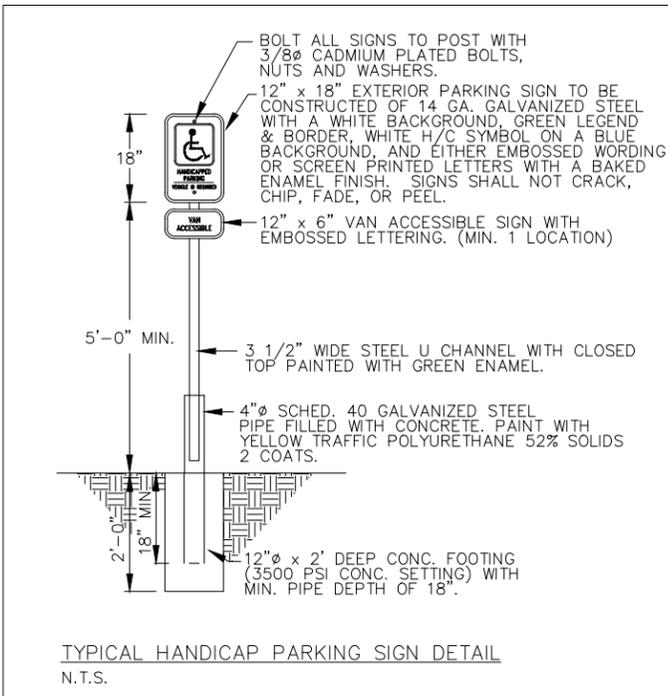
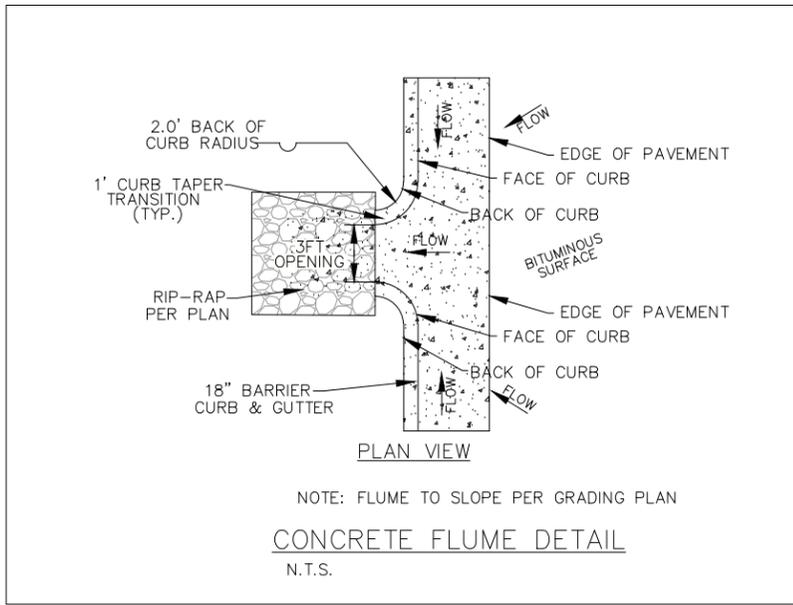
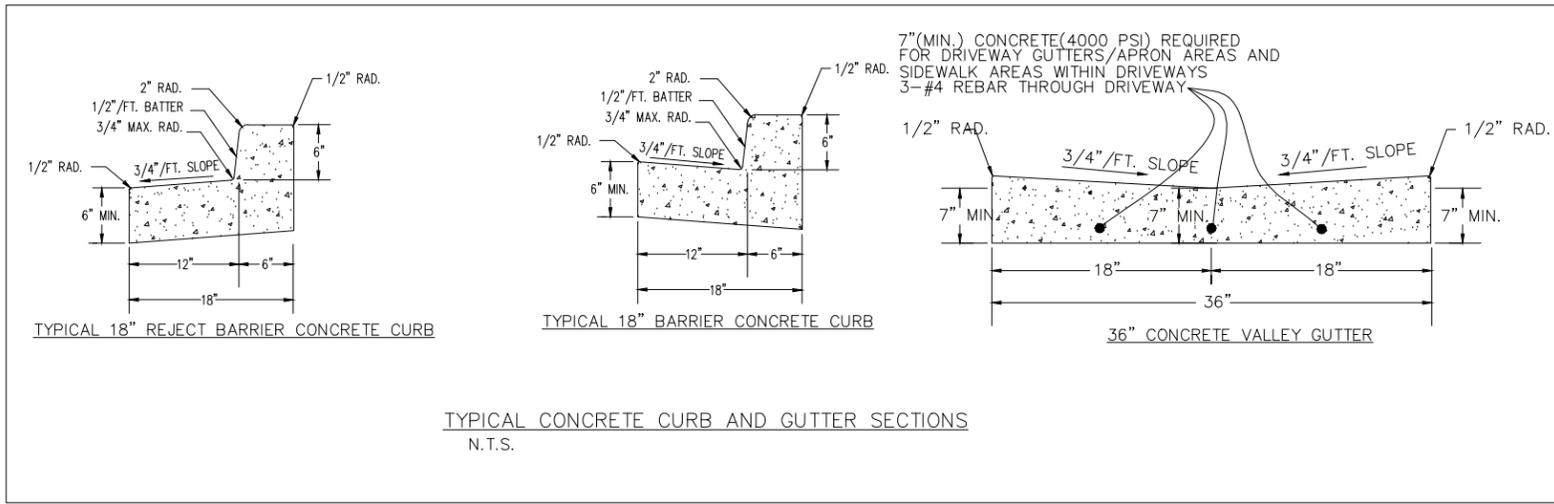
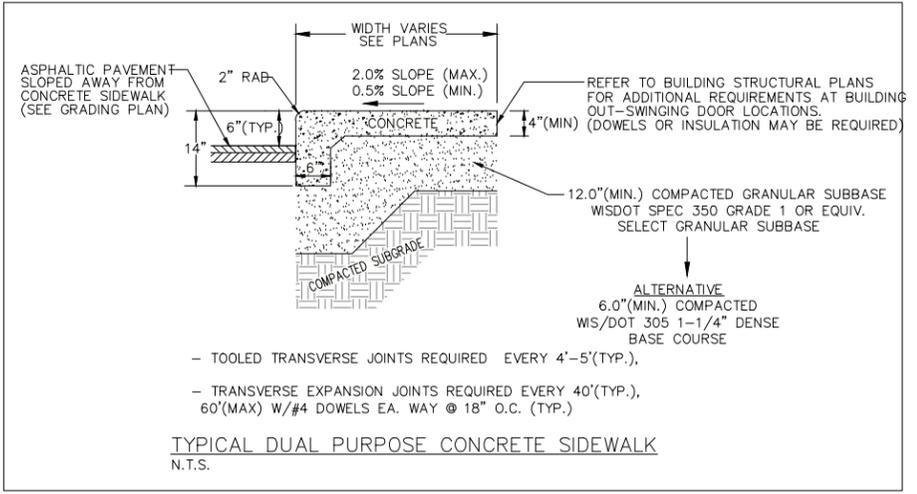
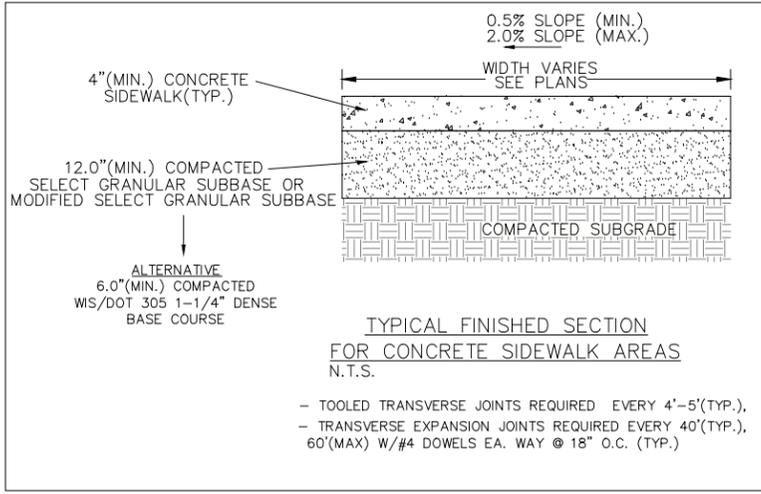
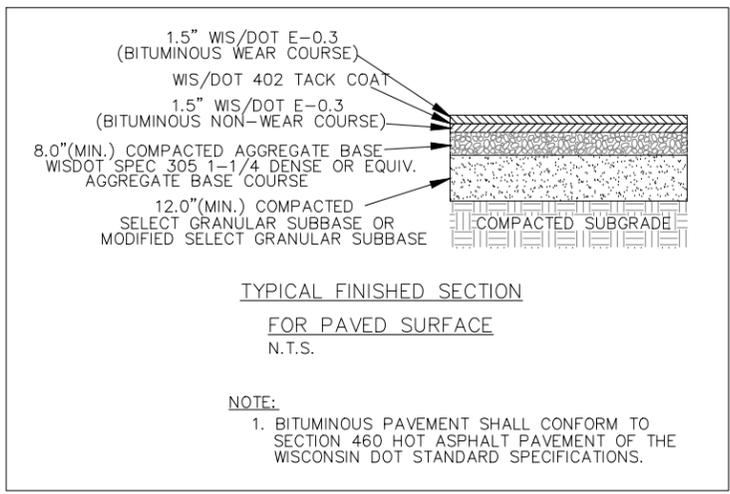
- ### EROSION CONTROL NOTES
1. EROSION CONTROL DEVICES SHALL BE IN PLACE BEFORE BEGINNING ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ACTIVITIES AND CONTINUOUSLY MAINTAINED.
 2. INSTALL CONSTRUCTION VEHICULAR TRACKING PAD AT ENTRANCE/EXIT OF PROJECT SITE. SEE DETAIL SHEETS FOR INSTALLATION REQUIREMENTS.
 3. INSTALL SILT FENCE AS SHOWN ON PLAN OR AS DIRECTED BY THE ENGINEER. SEE DETAIL SHEETS FOR SILT FENCE INSTALLATION. SILT FENCE SHALL BE MAINTAINED IN ACCORDANCE WITH SECTION 628 EROSION CONTROL OF THE WISCONSIN DOT STANDARD SPECIFICATIONS
 4. INSTALL SEDIMENT LOGS AT ALL DITCH SHEETS AND ANY OTHER LOCATIONS SHOWN ON PLAN OR AS DIRECTED BY THE ENGINEER. SEE DETAIL SHEETS FOR SEDIMENT LOG INSTALLATION.
 5. ALL DITCH CHECKS ARE TO BE SEDIMENT LOGS. SEE DETAIL SHEETS FOR SEDIMENT LOG INSTALLATION.
 6. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY AFTER FINAL GRADE IS ESTABLISHED IN ANY PARTICULAR AREA.
 7. RIP-RAP TO BE WISDOT MEDIUM GRADE, OR APPROVED EQUAL, 24" (MIN.) DEPTH WITH GEOTEXTILE FABRIC AT 90° TO DIRECTION OF FLOW.
 8. PERMANENT EROSION MAT SHALL BE WISCONSIN DOT CLASS III, TYPE A. SEE DETAIL SHEETS FOR INSTALLATION.
 9. ALL DISTURBED SLOPES IN EXCESS OF 4:1 SHALL BE SEEDED AND PROTECTED WITH EROSION MAT (WISDOT CLASS I TYPE A) OR SHALL BE SODDED AND STAKED OR HYDROSEEDDED AS AN ALTERNATIVE.
 10. SEED MIXTURE FOR CONSTRUCTED BIO-FILTRATION BASINS SHALL BE WISDOT SEED MIX #80, UNLESS OTHERWISE NOTED ON LANDSCAPE PLAN. SEE DETAIL SHEETS FOR SEED MIXTURE.
 11. TEMPORARY SEED SHOULD BE APPLIED, IF CONSTRUCTION EXTENDS PAST SEPTEMBER 1ST. OF ANNUAL RYEGRASS AND OATS AT THE RATE OF 5 POUNDS PER 1000 S.F. OF AREA AND LEFT OVER WINTER. PERMANENT SEEDING SHALL BE COMPLETED THE FOLLOWING SPRING. IF TEMPORARY SEEDING CANNOT BE COMPLETED BEFORE WINTER FREEZE UP THEN ALL DISTURBED AREAS SHALL BE MULCHED AT A RATE OF 3 TONS PER ACRE AND ANCHORED ACCORDING TO THE WDNR TECHNICAL STANDARD-(1058) "MULCHING FOR CONSTRUCTION SITES." PERMANENT SEEDING SHALL BE COMPLETED THE FOLLOWING SPRING.
 12. ALL EROSION CONTROL MEASURES SHALL BE LEFT IN PLACE AND MAINTAINED UNTIL RESTORATION ON SITE HAS BEEN ESTABLISHED (A MINIMUM OF 70% VEGETATION TYP.).
 13. ANY SOIL STOCKPILES WHICH ARE LEFT MORE THAN 7 DAYS MUST BE PROTECTED BY SEEDING AND MULCHING, EROSION MAT, SILT FENCING, COVERING OR OTHER APPROVED METHODS. THIS DOES NOT INCLUDE FILL OR TOPSOIL PILES THAT ARE IN ACTIVE USE.
 14. SITE WATERING SHALL TAKE PLACE AS CONSTRUCTION AND WEATHER CONDITIONS WARRANT TO MINIMIZE DUST POLLUTION FROM LEAVING THE SITE.
 15. SITE MONITORING OF EROSION AND SEDIMENT CONTROL PRACTICES FOR MAINTENANCE NEEDS SHALL BE COMPLETED AT THE INTERVALS SPECIFIED UNTIL THE SITE IS STABILIZED. SITE MONITORING SHALL OCCUR AT LEAST WEEKLY OR WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. A RAINFALL EVENT SHALL BE CONSIDERED TO BE THE TOTAL AMOUNT OF RAINFALL RECORDED IN ANY CONTINUOUS 24 HOUR PERIOD. MONITORING RECORDS SHALL BE KEPT AND CONTAIN, AT A MINIMUM, THE CONDITION OF THE EROSION AND SEDIMENT CONTROL PRACTICES AT THE INTERVALS SPECIFIED AND A DESCRIPTION OF THE MAINTENANCE CONDUCTED TO REPAIR OR REPLACE EROSION AND SEDIMENT CONTROL PRACTICES.
 16. OFF-SITE SEDIMENT DEPOSITION RESULTING FROM THE FAILURE OF AN EROSION OR SEDIMENT CONTROL PRACTICE SHALL BE CLEANED UP WITHIN 24 HOURS. OFF-SITE SEDIMENT DEPOSITION RESULTING FROM CONSTRUCTION ACTIVITY, THAT CREATES A NUISANCE, SHALL BE CLEANED UP BY THE END OF THE WORK DAY. IF THE FAILURE OF EROSION OR SEDIMENT CONTROL PRACTICES RESULT IN AN IMMEDIATE THREAT OF SEDIMENT ENTERING PUBLIC SEWERS OR THE WATERS OF THE STATE, PROCEDURES SHALL BE IMPLEMENTED IMMEDIATELY TO REPAIR OR REPLACE THE PRACTICES. SCRAPING OF THE STREET SHALL BE COMPLETED WITHIN 4 HOURS AND STREET SWEEPING WITHIN 24 HOURS.
 17. THE ENGINEERED SOILS AND UNDERDRAINS IN THE BIOFILTRATION AREAS MUST BE PROTECTED FROM SEDIMENT AT ALL TIMES THROUGHOUT CONSTRUCTION. IT IS RECOMMENDED THAT THE INSTALLATION OF ALL ENGINEERED SOILS AND UNDERDRAINS ARE INSTALLED/CONSTRUCTED AFTER ALL UPSTREAM CONTRIBUTING DRAINAGE AREAS ARE PAVED AND FULLY RESTORED.

PROJECT:	OEVEVER PROPERTIES, LLC. 1433 CERNOHOUS AVENUE (ADDITION) CITY OF NEW RICHMOND, ST. CROIX COUNTY, WI
DRAWING PHASE:	BRANCH BY: JMS OWNER REVIEW AGENCY REVIEW BID DOCUMENT FOR CONSTRUCTION AS-BUILT DOCUMENT
CHECKED BY:	MDH
DATE:	08/29/18
DWG FILE:	5307-006-C5.0-EROS
REF FILE:	5307-006-18
JOB NUMBER:	5307-006
DATE:	09/18/18
NAME:	

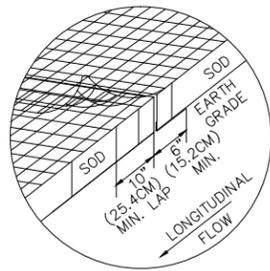
Auth Consulting/associates
 S&L Land Surveying a division of A/C/a

PROJECT: OEVEVER PROPERTIES, LLC.
 1433 CERNOHOUS AVENUE (ADDITION)
 CITY OF NEW RICHMOND, ST. CROIX COUNTY, WI
 EROSION CONTROL

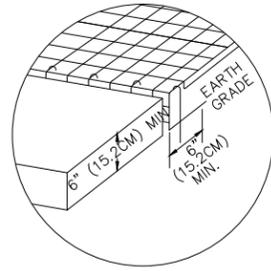
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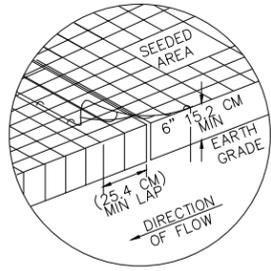
PROJECT:	OEVEERING PROPERTIES, LLC. 1433 CERNOHOUS AVENUE (ADDITION) CITY OF NEW RICHMOND, ST. CROIX COUNTY, WI	DATE:	09/18/18
SHEET NO.	C6.0	NAME:	
DRAWING PHASE:	BRANCH BY: JMS CHECKED BY: MDH DATE: 08/29/18 AGENCY REVIEW BID DOCUMENT FOR CONSTRUCTION AS-BUILT DOCUMENT	REVISION DESCRIPTION:	MDH 09/18/18 MDH 09/04/18 ADDITIONAL ACREAGE RELEASED FOR REVIEW JOB NUMBER: 5307-006 JOB NUMBER: 5307-006
BRANCH OFFICE:	2820 Pine Street Suite 100 Fond du Lac, WI 54016 Tel 715-891-8277	CORPORATE OFFICE:	408 Technology Drive East Suite 100 Menomonee, WI 54751 Tel 715-282-8490
A.C/a		Auth Consulting/associates S&L Land Surveying a division of A-C/a	



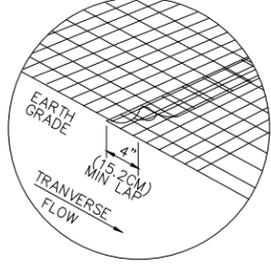
JUNCTION SLOT
SOD ONLY
DETAIL A
N.T.S.



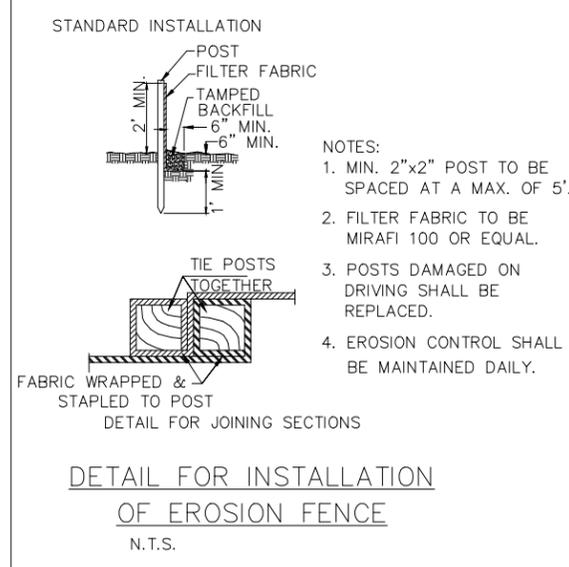
ANCHOR SLOT
AT BEGINNING AND END OF EROSION MAT
DETAIL B
N.T.S.



JUNCTION SLOT
SEED ONLY
DETAIL C
N.T.S.



LAP JOINT
SEED AND SOD
DETAIL D
N.T.S.



GENERAL NOTES EROSION MAT

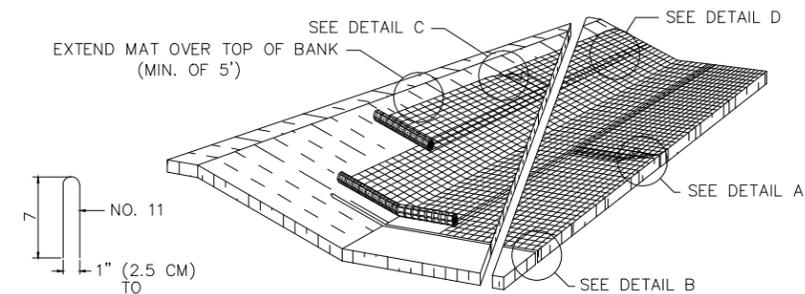
DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.

LAP JOINTS SHALL NOT BE PLACED IN THE BOTTOM OF V-SHAPED DITCHES.

JUNCTION SLOTS ON ADJACENT STRIPS OF MATTING SHALL BE STAGGERED A MINIMUM OF 4 FEET (1.219 m) APART.

EDGES OF THE EROSION MAT SHALL IMPRESSED IN THE SOIL.

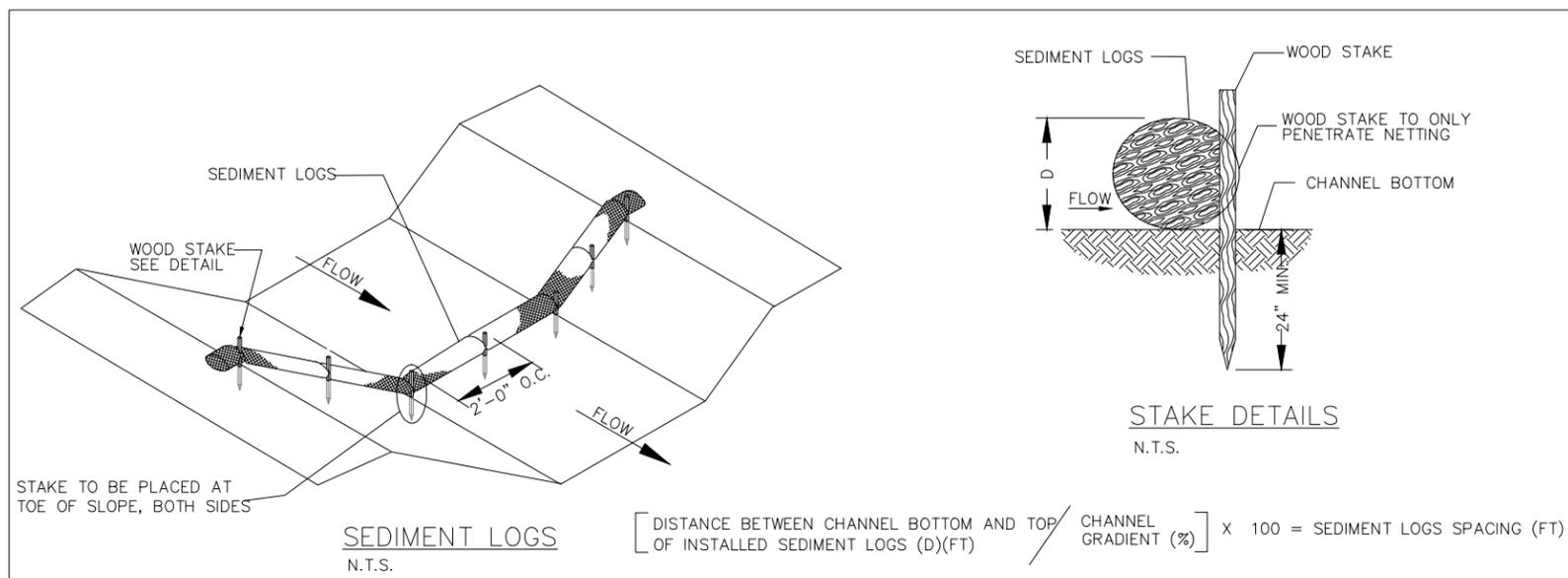
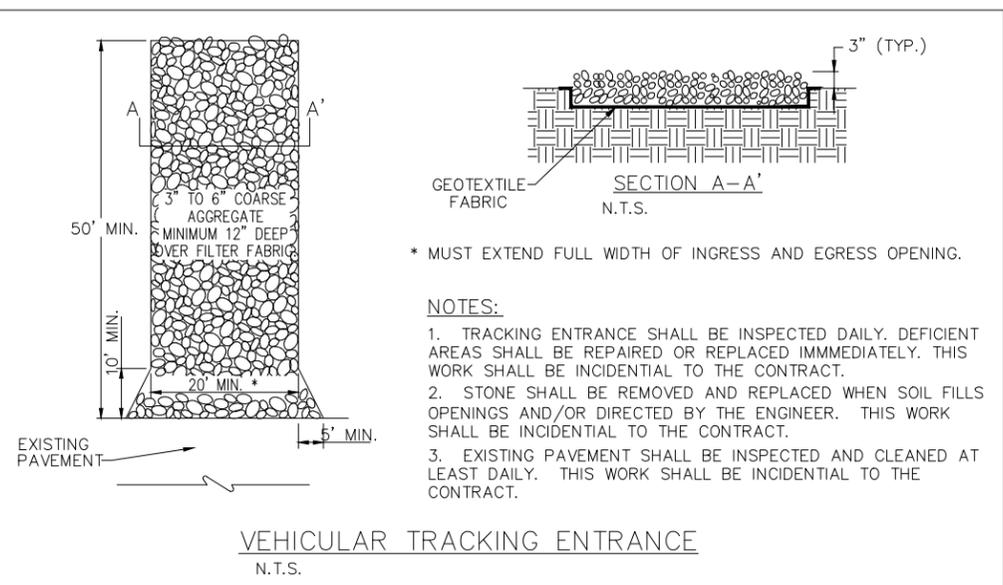
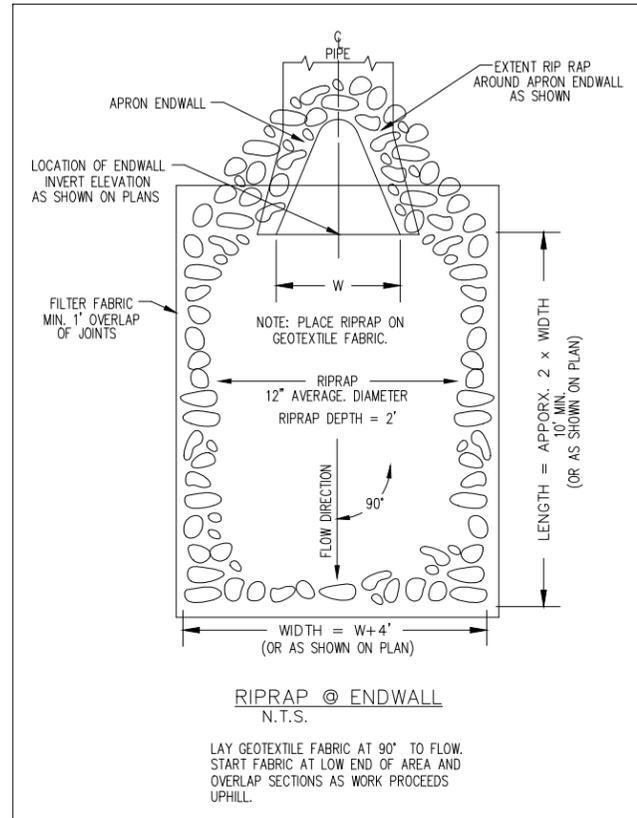
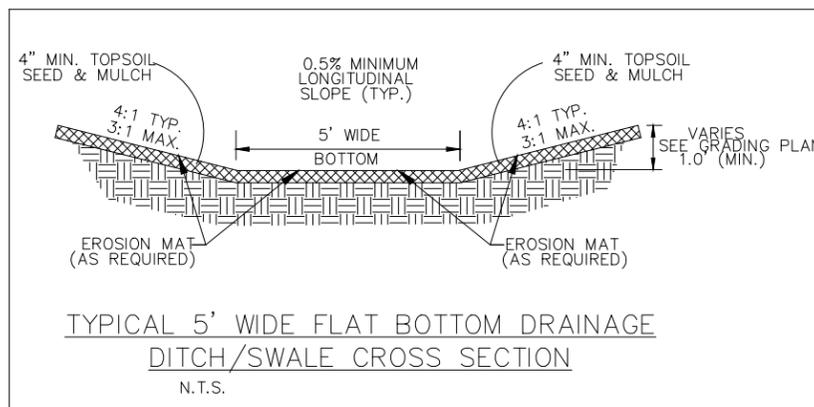
EROSION MAT OVER SEEDING JUNCTION OR ANCHOR SLOTS SHALL BE AT MINIMUM INTERVALS OF 50 FEET. STAPLE INSTALLATION AND PATTERNS SHALL COMPLY WITH EROSION MAT MANUFACTURER'S SPECIFICATIONS.



DETAIL OF
TYPICAL STAPLE

- * 6" (15.2 CM MIN. FOR LOOSE SOILS)
- 12" (30.5 CM MIN FOR LOOSE SOILS)
- 8" (20.3 CM MIN WHERE BOTH SOD AND MATS ARE BEING USED)

EROSION CONTROL MAT
N.T.S.



PROJECT:	OEVEERING PROPERTIES, LLC. 1433 CERNOHOUS AVENUE (ADDITION) CITY OF NEW RICHMOND, ST. CROIX COUNTY, WI
SHEET NO.	C6.1
DRAWING PHASE:	BRANCH BY: JMS CHECKED BY: MDH DATE: 08/29/18 AGENCY REVIEW X BID DOCUMENT DWG FILE: 5307-006-C70-0408 FOR CONSTRUCTION REF FILE: 5307-006-18 AS-BUILT DOCUMENT JOB NUMBER: 5307-006
ADDITIONAL AGENCY REVIEW	MDH 09/18/18 MDH 09/04/18 NAME: DATE:
<p>authconsulting/associates S&L Land Surveying a division of A-C/a</p>	
<p>BRANCH OFFICE: 2820 Ridge Street, Suite 100, Madison, WI 53705, Tel 715-881-8277</p> <p>CORPORATE OFFICE: 608 Technology Drive East, Suite 100, Menomonie, WI 54751, Tel 715-282-8490</p> <p>authconsulting.com</p>	

STORMWATER MANAGEMENT PLAN

OEVERING COMMERCIAL

City of New Richmond, St Croix County, Wisconsin

02/8/2019

ACA JOB NUMBER 5307-006

Prepared For:

Oevering Properties, LLC
1433 Cerenohous Ave # A
New Richmond, WI 54017

Prepared by:

■ ***Auth•Consulting & Associates - AC/a***

Planning, Engineering, Building Design & Surveying

2920 Enloe Street, Suite 101, Hudson WI 54016

Hudson Office: 715-381-5277

Corporate Office: 715-232-8490

www.authconsulting.com

S&N Land Surveying & Nelsen Land Surveying- Divisions of AC/a

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Appendix

- Appendix A – Location Map
- Appendix B – Soils Map- USDA/Soil Borings
- Appendix C- Rate Modeling- Hydrocad©

Figure

- Figure 1 – Predeveloped Drainage Map
- Figure 2 – Post Developed Drainage Map



SUMMARY

Overview

The purpose of this report is to provide an analysis of the stormwater management plan for a building expansion for Oevering Investments in the City of New Richmond.

Land Disturbing Activity

The project will involve grading the site for construction of a building addition, including new parking and drives, and stormwater management features.

Construction Standards-Best Management Practices (BMPs)

The site will utilize temporary BMPs consisting of a tracking pad, silt fence (or compost filter socks), ermat, and seeding/mulching- see erosion control plan for location of BMPs.

Post Construction Standards

On-site stormwater features consist of grass swale pretreatment and a dry detention basin utilized for partial rate control. Site drainage ultimately discharges to a City owned regional infiltration/detention pond.

Construction Timeline & Sequencing

Pending the permitting review process, construction on the facility is anticipated to begin in early Spring of 2019 and site stabilization is expected in Summer of 2019.

Contacts

Owner/Developer:

Oevering Properties, LLC
1433 Cerenohous Ave # A
New Richmond, WI 54017

Engineer:

Auth Consulting/associates
2920 Enloe Street, Suite 101
Hudson, WI 54016
715-381-5277

BMP Installation Contractor:

To be determined

Long Term Maintenance Responsibility:

Same as Owner

SITE ANALYSIS & SCREENING

Prior to finalizing the plan, preliminary analysis evaluated the following:

Soils Map Review

USDA soils maps indicate that the property consists of type B soils - see Appendix B for descriptions and soils map.

Topographic Analysis

Topography is St Croix County Lidar for overall drainage areas and Wind Rose shot in for the on-site areas. A merged surface was utilized.

Wetland Delineation

The site has no wetland or wetland indicator soils based on the surface water viewer website.

Endangered Resources/Historical Sites

NHI site review indicates protected endangered species. DNR is reviewing to determine if any concerns.

Waterway/Floodplain

No waterway or floodplain within the project boundaries.

Site Soil Testing

None required for the project.

STORMWATER MANAGEMENT TECHNICAL BASIS

Summary of Required Standards

Site is directed to regional ponding, owned and maintained by the City of New Richmond.

Appendix A

Location Map



Surface Water Data Viewer Map



- Legend**
- PNW-ASNRI Sensitive Areas of Lakes
 - PNW-ASNRI Wild and Scenic Rivers
 - PNW-ASNRI Outstanding and Exceptional Streams
 - PNW-ASNRI Trout Streams
 - PNW-ASNRI Wild Rice Streams
 - PNW-ASNRI Outstanding and Exceptional Lakes
 - PNW-ASNRI Special Area Management Plan Streams
 - PNW-ASNRI Special Wetlands Inventory Study Streams
 - PNW-ASNRI Coastal Wisconsin Wetlands Streams
 - PNW-ASNRI Special Area Management Plan Areas
 - PNW-ASNRI Special Wetlands Inventory Study Areas
 - PNW-ASNRI Coastal Wisconsin Wetlands Areas
 - PNW-ASNRI Wild Rice Areas
 - PNW-ASNRI Trout Spring Ponds
 - PNW-ASNRI State Natural Areas
 - PNW-PREF Other Public Rights Features
 - PNW Musky Streams
 - PNW Sturgeon Streams
 - PNW Musky Areas
 - PNW Sturgeon Areas
 - PNW Walleye Areas

Notes

DISCLAIMER: The information shown on these maps has been obtained from various sources, and are of varying age, reliability and resolution. These maps are not intended to be used for navigation, nor are these maps an authoritative source of information about legal land ownership or public access. No warranty, expressed or implied, is made regarding accuracy, applicability for a particular use, completeness, or legality of the information depicted on this map. For more information, see the DNR Legal Notices web page: <http://dnr.wis.gov/legal/>



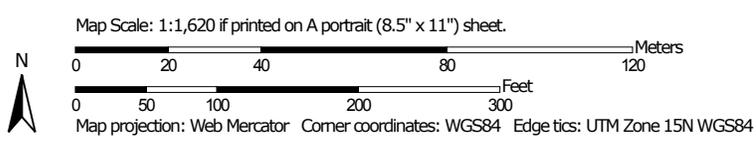
NAD_1983_HARN_Wisconsin_TM
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Appendix B
Soils Map- USDA/Soil Borings

Hydrologic Soil Group—St. Croix County, Wisconsin



Soil Map may not be valid at this scale.



MAP LEGEND

	Area of Interest (AOI)		C
	Area of Interest (AOI)		C/D
Soils			D
Soil Rating Polygons			Not rated or not available
	A		Water Features
	A/D		Streams and Canals
	B		Transportation
	B/D		+++ Rails
	C		Interstate Highways
	C/D		US Routes
	D		Major Roads
	Not rated or not available		Local Roads
Soil Rating Lines			Background
	A		Aerial Photography
	A/D		
	B		
	B/D		
	C		
	C/D		
	D		
	Not rated or not available		
Soil Rating Points			
	A		
	A/D		
	B		
	B/D		

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:15,800.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: St. Croix County, Wisconsin
 Survey Area Data: Version 14, Sep 12, 2018

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: May 9, 2013—Jun 6, 2016

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
DaA	Dakota loam, 0 to 2 percent slopes	B	1.6	10.8%
SIA	Sattre silt loam, 0 to 2 percent slopes	B	12.8	89.2%
Totals for Area of Interest			14.4	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Rating Options

Aggregation Method: Dominant Condition

Figure 1
Predeveloped Drainage Map



PROPOSED PROPERTY LINE

AREA B
188305 SF

11492 SF

8266 SF

18259 SF

2427 SF

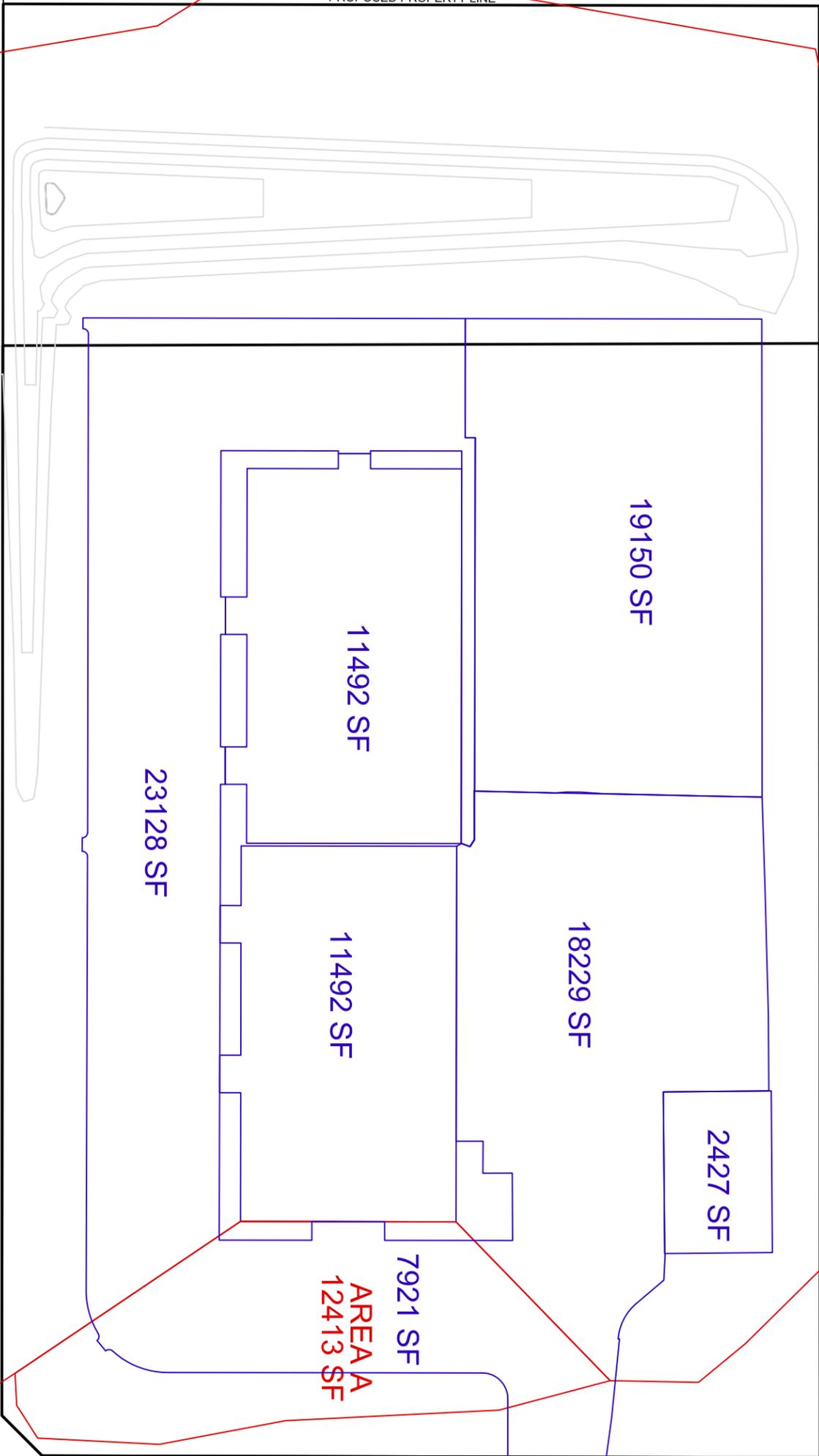
7809 SF

AREA A
12413 SF

882 SF

Figure 2
Post Developed Drainage Map

PROPOSED PROPERTY LINE



19150 SF

18229 SF

2427 SF

11492 SF

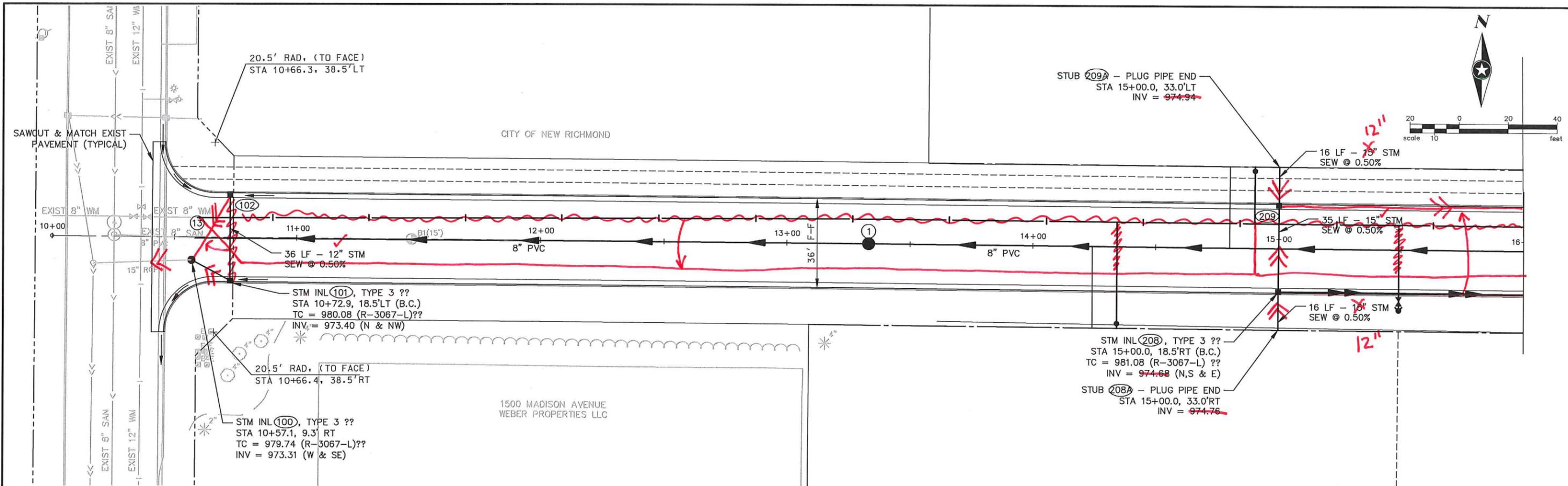
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23128 SF

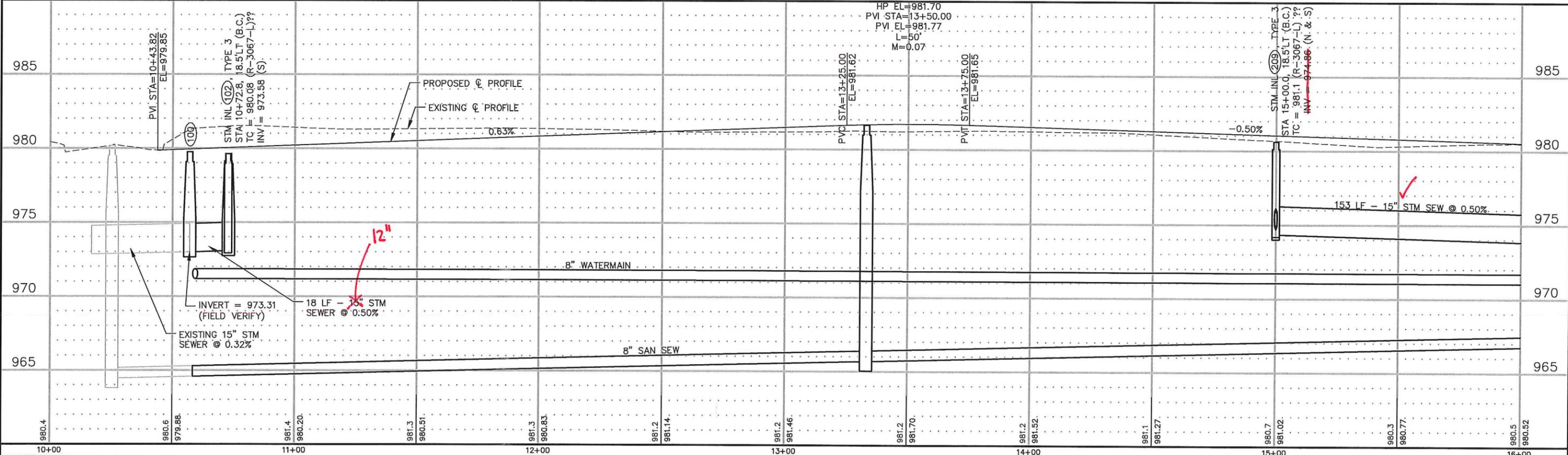
7921 SF

AREA A
12413 SF

AREA B
188305 SF



MADISON-CERNOHOUS CONNECTION STREET



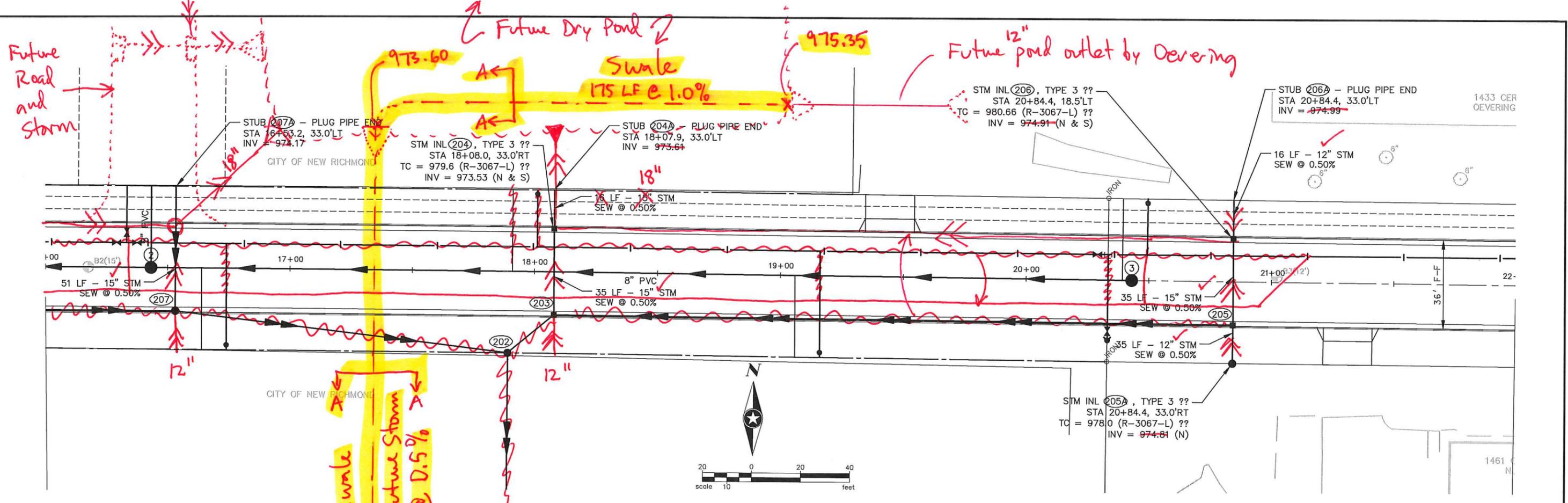
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DESIGNER: RER									
CHECKED BY: DFS									
DESIGN TEAM	NO.	BY	DATE	REVISIONS					

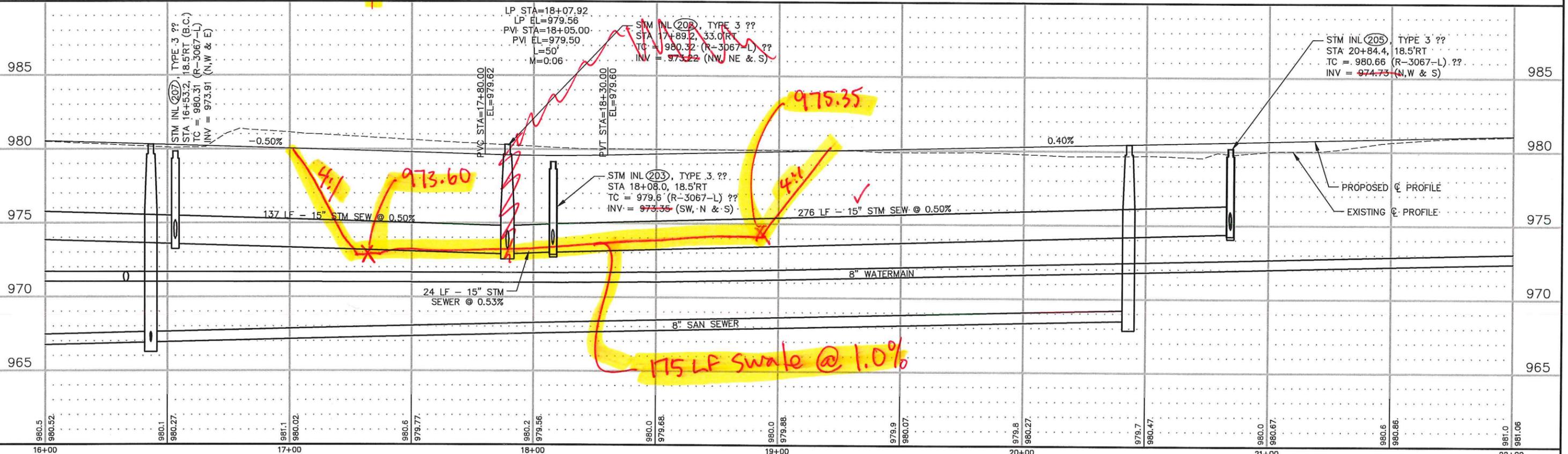
PHONE: 715.246.9906
156 HIGH STREET
SUITE 300
NEW RICHMOND, WI 54017
www.sehinc.com

2017 STREET AND UTILITY IMPROVEMENTS
NEW RICHMOND, WISCONSIN

STREET AND STORM SEWER PLAN AND PROFILE MADISON-CERNOHOUS CONNECTION	FILE NO. NEWRI-139237 DATE 02-08-2017
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MADISON-CERNOHOUS CONNECTION STREET



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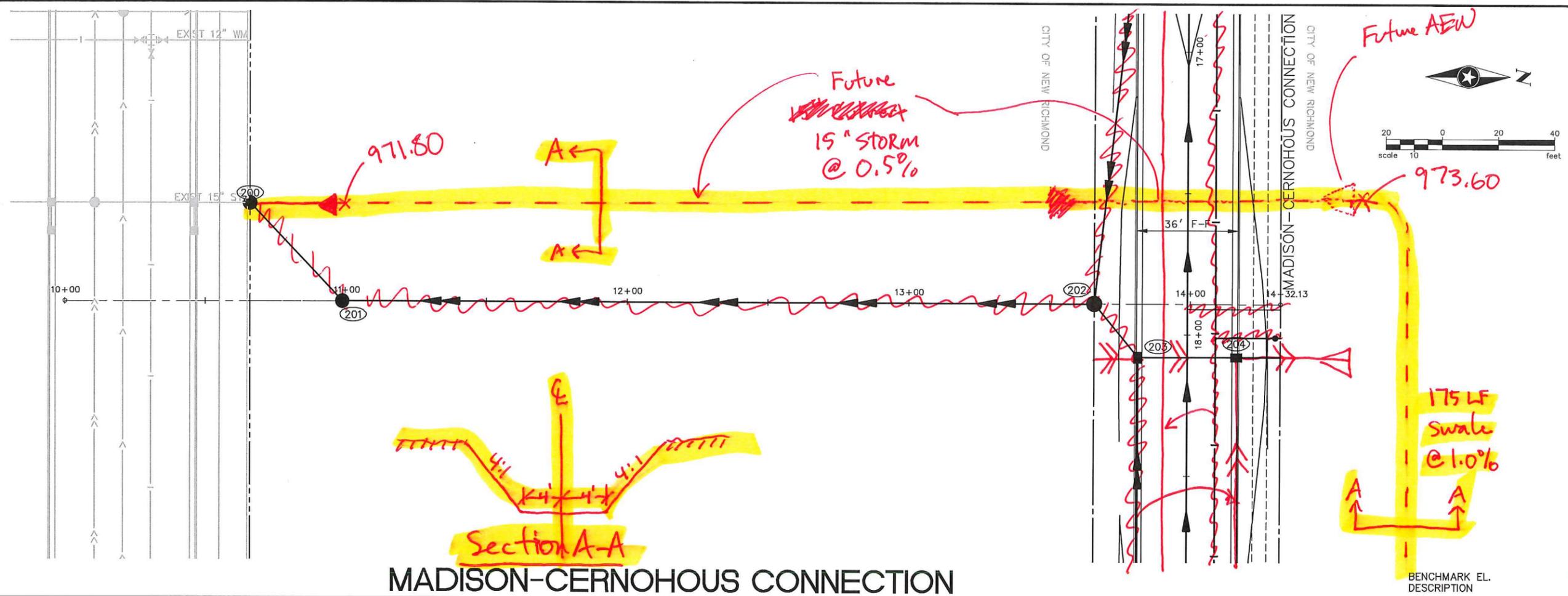
DESIGNED BY: SJL	NO.	BY	DATE	REVISIONS
CHECKED BY: RER				
DESIGN TEAM: DFS				

SEH
 PHONE: 715.246.9906
 156 HIGH STREET
 SUITE 300
 NEW RICHMOND, WI 54017
 www.sehinc.com

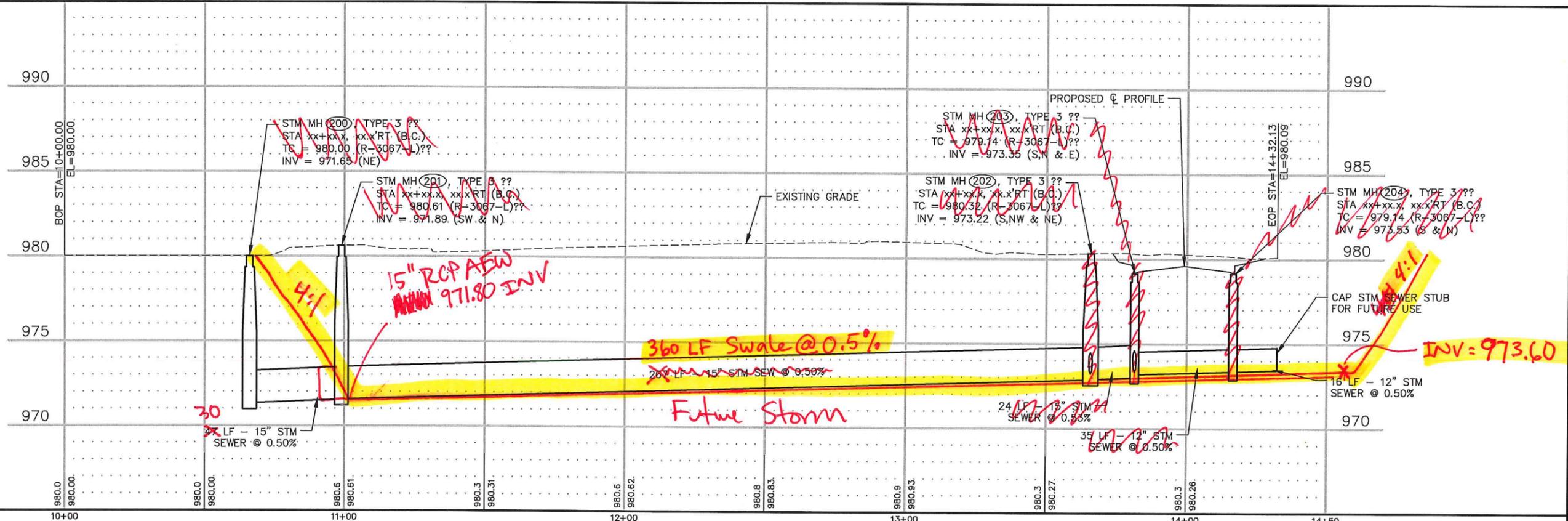
2017 STREET AND UTILITY IMPROVEMENTS
 NEW RICHMOND, WISCONSIN

STREET AND STORM SEWER
 PLAN AND PROFILE
 MADISON-CERNOHOUS CONNECTION

FILE NO. NEWRI-139237
 DATE 02-08-2017



MADISON-CERNOHOUS CONNECTION



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DESIGNER:	RER			
CHECKED BY:	DFS			
DESIGN TEAM				
NO.	BY	DATE	REVISIONS	

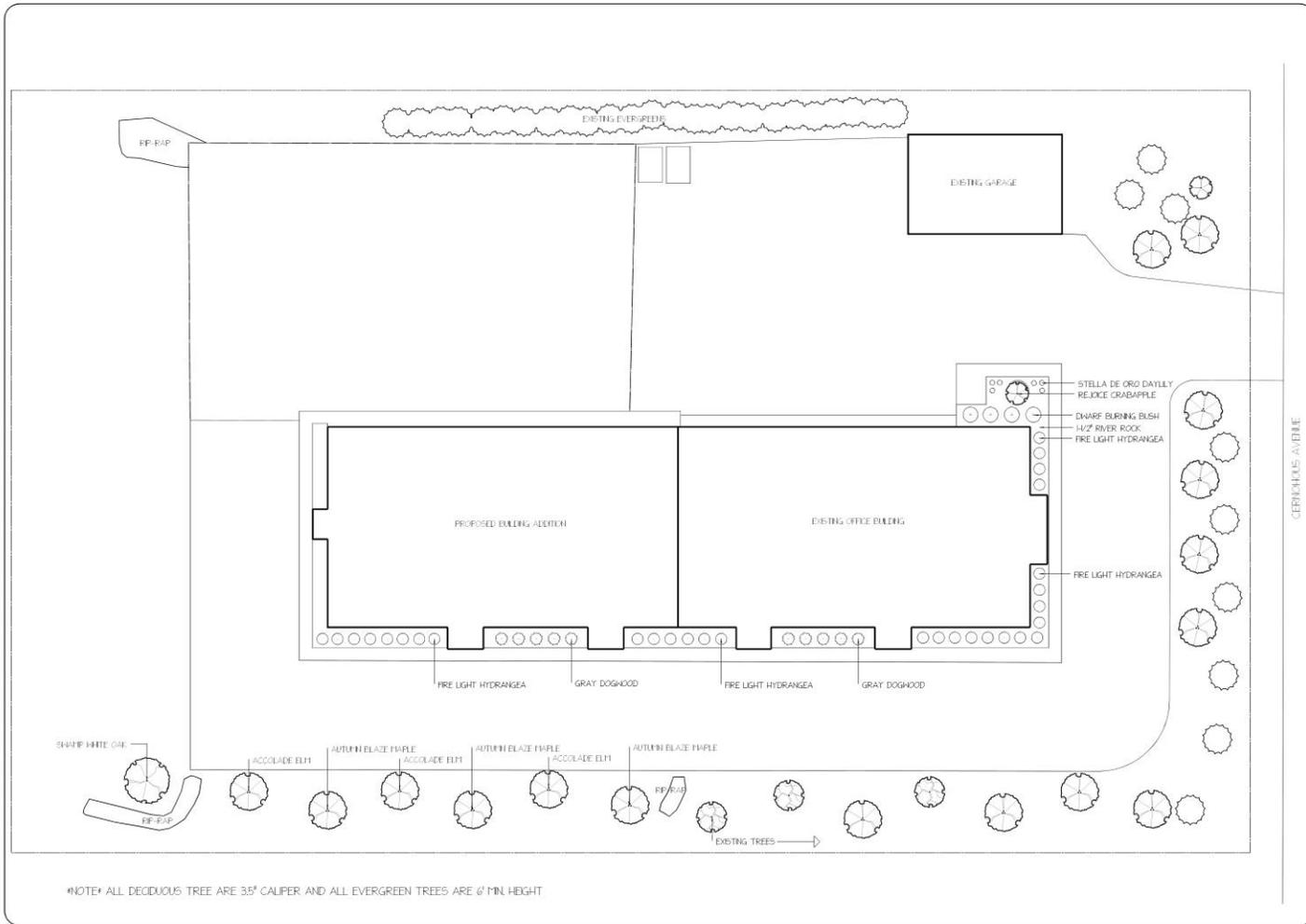
SEH
 PHONE: 715.246.9906
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**2017 STREET AND UTILITY IMPROVEMENTS
 NEW RICHMOND, WISCONSIN**

**STREET AND STORM SEWER
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 MADISON-CERNOHOUS CONNECTION**

FILE NO.
NEWRI-139237

DATE
02-08-2017

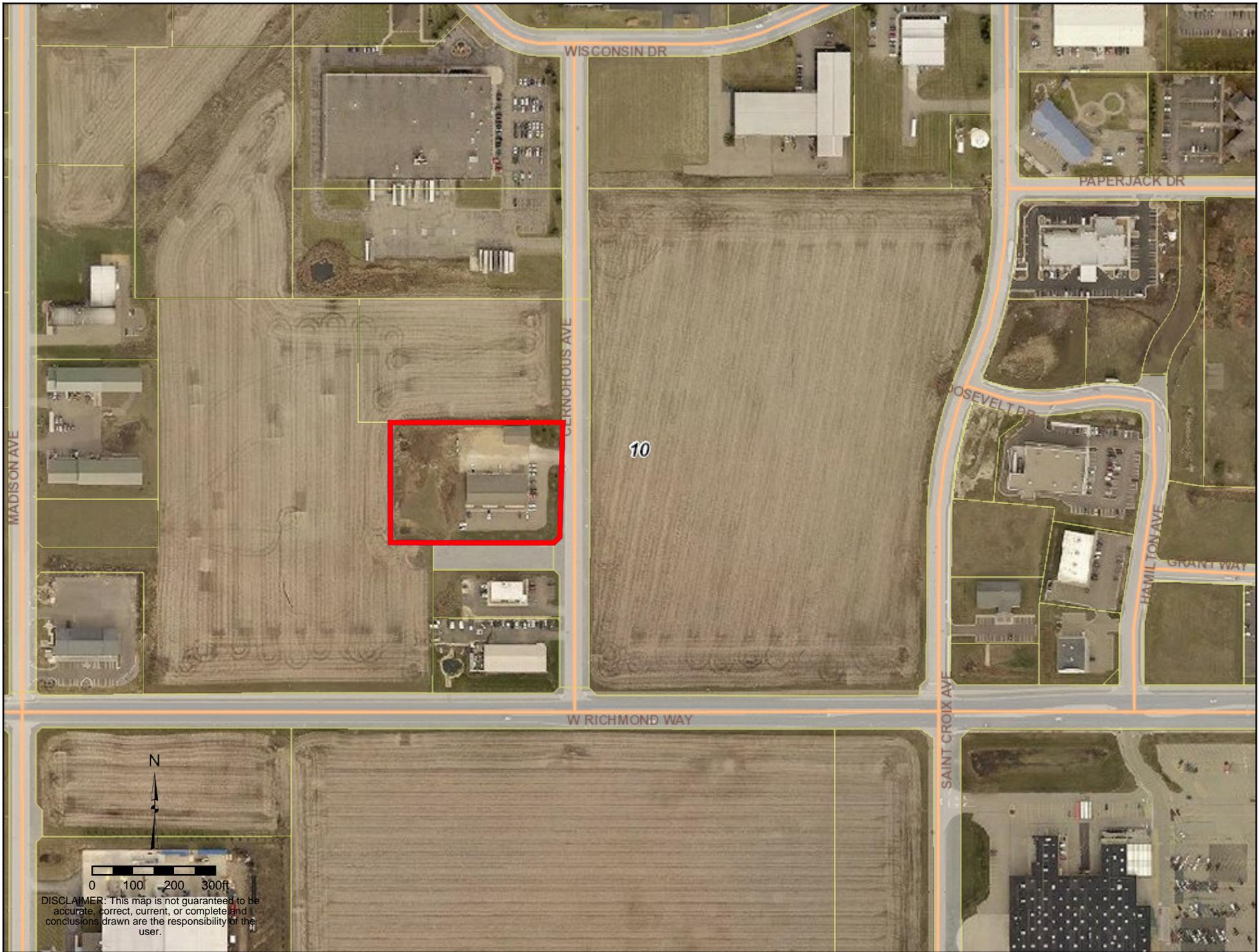


WR Willow River
COMPANY
 Landscaping & Tree Farm
 850 KELLY RD. HUDSON, WI 54006



1488 CERENKOWS AVE
 HOUSTON, TX 77058
 TEL: 281-291-1111
 FAX: 281-291-1112

OVERRING HOMES
 1488 CERENKOWS AVE
 HOUSTON, TX 77058
 TEL: 281-291-1111
 FAX: 281-291-1112



WISCONSIN DR

PAPERJACK DR

GERNOHOUS AVE

10

ROOSEVELT DR

HAMILTON AVE

GRANT WAY

W RICHMOND WAY

SAINT CROIX AVE

MADISON AVE



0 100 200 300ft

DISCLAIMER: This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn are the responsibility of the user.



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MEMORANDUM

TO: Plan Commission

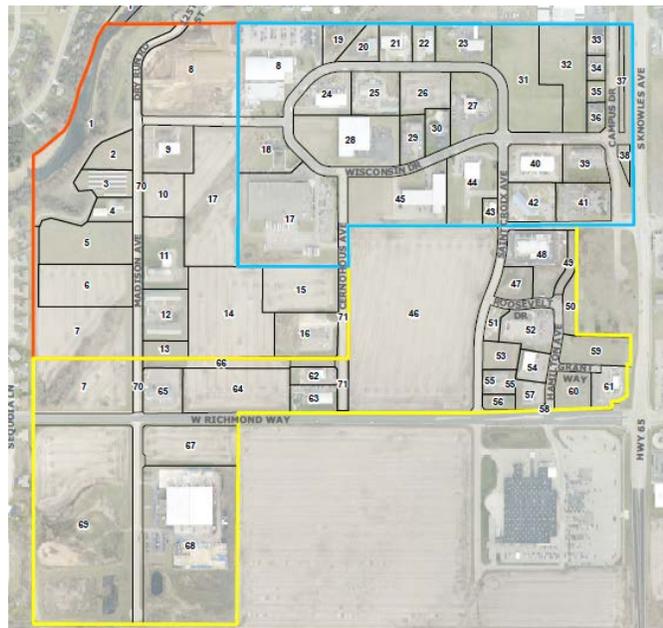
FROM: Noah Wiedenfeld, Director of Planning

DATE: March 1, 2019

SUBJECT: Termination of Covenants in Business & Technical Park

BACKGROUND

City staff are beginning the process of terminating the protective covenants in the City of New Richmond Business and Technical Park. There are three sets of covenants currently in effect, which impose conditions and restrictions regarding setbacks, parking, landscaping, outdoor storage, construction standards, etc. The covenants are no longer deemed necessary given the new (existing) zoning ordinance which went into effect in 2015, as many of these standards now apply to all development projects in the city. In some cases, the zoning ordinance is even more restrictive than the covenants. There are some instances however when the covenants have been a deterrent to development projects, and have caused confusion with architects and engineers working on various projects. Simply put, the covenants in the Business and Technical Park no longer serve the purpose that they once did, and are now an unnecessary burden from an administrative and regulatory perspective.



PROCESS

Each set of covenants has its own process for termination, as shown in the table below.

COVENANTS	DATE ESTABLISHED	REQUIREMENT FOR TERMINATION
Set 1	1983	Consent of the owners of 75% of the lots and not less than 60% of the property owners, and resolution passed by Forward New Richmond and the City Council
Set 2	2002	Consent of the owners of 75% of the lots and not less than 60% of the property owners, and resolution passed by Forward New Richmond and the City Council
Richmond Way	2006	80% of voting power of the Plan Commission

City staff mailed letters to all property owners in the Business and Technical Park on February 15. Since then, City staff have followed up with several phone calls and email correspondence with business owners, and have already received signatures from almost 20 property owners in favor of repealing the covenants. Forward New Richmond voted unanimously in favor of terminating Sets 1 & 2 at their meeting on February 26.

Repeal of the Richmond Way Protective Covenants requires only a vote by the Plan Commission. At the Plan Commission meeting on March 5, City staff will provide an overview of some of the differences between the protective covenants and the zoning ordinance.

RECOMMENDATION

The Plan Commission should consider a formal motion to terminate the Richmond Way Protective Covenants in the Business & Technical Park. The corresponding termination documents have been prepared by the City Attorney and are included in the agenda packet.

**TERMINATION OF
DEVELOPMENT COVENANTS AND
GUIDELINES**

Document Number

Return to:
Eckberg Lammers, P.C.
430 Second Street
Hudson, WI 54016

Part of 261-11070-45-020 ; part
of 026-103-20-000; part of 026-
1033-30-000

Parcel Identification No.

Being a part of the Southeast ¼ of the Northeast ¼, the Southwest ¼ of the Northeast ¼, the Southeast ¼ of the Northwest ¼, and the Northeast ¼ of the Southwest ¼, all in Section 10, Town 30 North, Range 18 West, City of New Richmond, St. Croix County, Wisconsin, more particularly described as follows:

Commencing at the East ¼ corner of said Section 10; Thence N89°56'37"W 1035.32 feet; Thence N00°03'23"E 108.00 feet to the point of beginning; Thence S81°45'57"W 97.10 feet; Thence N89°56'37"W 791.03 feet; Thence S84°06'54"W 96.53 feet; Thence N89°56'37"W 767.58 feet; Thence S00°00'14"E 386.00 feet; Thence N89°56'37"W 1208.00 feet to the west line of the Northeast ¼ of the Southwest ¼ of said Section 10; Thence in a northerly direction along said west line N00°00'14"W 686.00 feet; Thence S89°56'37"E 2057.34 feet; Thence N00°08'29"E 935.82 feet; Thence S89°52'18"E 983.77 feet; Thence S67°41'54"E 87.44 feet; Thence S89°52'18"E 439.31 feet; Thence S00°14'23"W 696.10 feet; Thence S88°32'39"E 357.88 feet to the westerly right of way line of S.T.H. 65; Thence along said right of way line S00°01'47"E 189.59 feet; Thence S89°58'13"W 23.10 feet; Thence S00°01'47"E 242.63 feet; Thence S89 58'13"W 100.00 feet; Thence S00°01'47"E 39.69 feet; Thence N89°56'37"W 836.87 feet to the point of beginning. Described land contains 3,059,723 square feet (70.24 acres).

TERMINATION OF DEVELOPMENT COVENANTS AND GUIDELINES

THIS TERMINATION OF DEVELOPMENT COVENANTS AND GUIDELINES (this “Termination”) is made by the Plan Commission of the City of New Richmond, effective as of _____, 2019 (the “Effective Date”).

RECITALS

WHEREAS, the Richmond Way Development Covenants and Guidelines was recorded on November 2, 2006 in the office of the St. Croix County Register of Deeds as Document No. 837982 (the “Covenants”) against the real property legally described on the attached Exhibit A (the “Property”) by the City, as the declarant; and

WHEREAS, the Covenants are no longer required pursuant to any regulatory requirement; and

WHEREAS, Section 5.1 of the Covenants provides the Covenants may be terminated by 80% of the voting power of the Architectural Review Board, which board is n/k/a the Plan Commission (the “Plan Commission”); and

WHEREAS, the City, as the declarant, now desires to terminate the Covenants and has requested the Plan Commission to review and consider termination of the Covenants; and

WHEREAS, the Plan Commission has reviewed the City’s request, as the declarant, to terminate the Covenants and agrees the Covenants should be terminated.

NOW, THEREFORE, the Plan Commission and the City, in consideration of the foregoing, do hereby declare:

1. Recitals. The above-stated recitals are true and correct and incorporated herein.
2. Termination. The Covenants and all of the terms, conditions, and provisions as set forth therein are hereby terminated, released, and discharged in their entirety; shall have no further force or effect on and after the Effective Date; and no longer burden or encumber title to the Property.

[Signature page follows.]

IN WITNESS WHEREOF, the undersigned, constituting all of the members of the Plan Commission, have executed this Termination effective as of the Effective Date set forth above.

PLAN COMMISSION:

Fred Horne

STATE OF WISCONSIN)
) ss.
COUNTY OF ST. CROIX)

The foregoing instrument was acknowledged before me this ____ day of _____, 2019, by Fred Horne.

Notary Public
My commission expires: _____

Jim Zajkowski

STATE OF WISCONSIN)
) ss.
COUNTY OF ST. CROIX)

The foregoing instrument was acknowledged before me this ____ day of _____, 2019, by Jim Zajkowski.

Notary Public
My commission expires: _____

Mike Kastens

STATE OF WISCONSIN)
) ss.
COUNTY OF ST. CROIX)

The foregoing instrument was acknowledged before me this ____ day of _____, 2019, by Mike Kastens.

Notary Public
My commission expires: _____

MaryKay Rice

STATE OF WISCONSIN)
) ss.
COUNTY OF ST. CROIX)

The foregoing instrument was acknowledged before me this ____ day of _____, 2019, by MaryKay Rice.

Notary Public
My commission expires: _____

Michelle Scanlan

STATE OF WISCONSIN)
) ss.
COUNTY OF ST. CROIX)

The foregoing instrument was acknowledged before me this ____ day of _____, 2019, by Michelle Scanlan.

Notary Public
My commission expires: _____

David Wilford

STATE OF WISCONSIN)
) ss.
COUNTY OF ST. CROIX)

The foregoing instrument was acknowledged before me this ____ day of _____, 2019, by David Wilford.

Notary Public
My commission expires: _____

EXHIBIT A

LEGAL DESCRIPTION

Being a part of the Southeast $\frac{1}{4}$ of the Northeast $\frac{1}{4}$, the Southwest $\frac{1}{4}$ of the Northeast $\frac{1}{4}$, the Southeast $\frac{1}{4}$ of the Northwest $\frac{1}{4}$, and the Northeast $\frac{1}{4}$ of the Southwest $\frac{1}{4}$, all in Section 10, Town 30 North, Range 18 West, City of New Richmond, St. Croix County, Wisconsin, more particularly described as follows:

Commencing at the East $\frac{1}{4}$ corner of said Section 10; Thence N89°56'37"W 1035.32 feet; Thence N00°03'23"E 108.00 feet to the point of beginning; Thence S81°45'57"W 97.10 feet; Thence N89°56'37"W 791.03 feet; Thence S84°06'54"W 96.53 feet; Thence N89°56'37"W 767.58 feet; Thence S00°00'14"E 386.00 feet; Thence N89°56'37"W 1208.00 feet to the west line of the Northeast $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of said Section 10; Thence in a northerly direction along said west line N00°00'14"W 686.00 feet; Thence S89°56'37"E 2057.34 feet; Thence N00°08'29"E 935.82 feet; Thence S89°52'18"E 983.77 feet; Thence S67°41'54"E 87.44 feet; Thence S89°52'18"E 439.31 feet; Thence S00°14'23"W 696.10 feet; Thence S88°32'39"E 357.88 feet to the westerly right of way line of S.T.H. 65; Thence along said right of way line S00°01'47"E 189.59 feet; Thence S89°58'13"W 23.10 feet; Thence S00°01'47"E 242.63 feet; Thence S89 58'13"W 100.00 feet; Thence S00°01'47"E 39.69 feet; Thence N89°56'37"W 836.87 feet to the point of beginning. Described land contains 3,059,723 square feet (70.24 acres).