



# Plan Commission Agenda

Tuesday, August 6, 2019 at 5:00 PM  
Council Chambers

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1. CALL TO ORDER	
2. ROLL CALL	
3. ADOPTION OF AGENDA	
4. APPROVAL OF MINUTES FROM THE PREVIOUS MEETING	
a. <a href="#">Minutes 07-02-19</a>	2
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7. SITE PLAN APPLICATION: NEW RICHMOND PROFESSIONAL OFFICE BUILDING	
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PLAN COMMISSION MEETING  
JULY 2, 2019 - 5:00 P.M.

Members Present: Jim Zajkowski, Mike Kastens, David Tyvoll and MaryKay Rice

Members Absent: Fred Horne, Jim Jackson and Michelle Scanlan

Jim Zajkowski called the meeting to order and roll call was taken.

David Tyvoll moved to adopt the agenda as presented, seconded by Mike Kastens and carried.

MaryKay Rice moved to approve the minutes from June 4, 2019, seconded by Mike Kastens and carried.

**Public Hearing – Willow River Bluffs First Addition Preliminary Plat**

Jim Zajkowski declared the Public Hearing open to discuss the application from Willow River Bluffs, LLC, for approval of the Preliminary Plat of Willow River Bluffs First Addition. Property is located to the south and west of the existing Willow River Bluffs development and described as Sec 4 T30N R18W SE SE Exc N 225' OF E 400' & Exc CSM 2/598 & Exc Pcl Desc in Doc 797287 & Exc PT SE SE Desc in Doc 811981 Annexed (08/01/05) FKA 026-1015-60 (54A) & Exc CSM 24-5620 Exc Willow River Bluffs. Noah Wiedenfeld explained the review process and next steps. Discussion followed. The Development Review Committee recommended approval of the Preliminary Plat as presented. The Public Hearing was declared closed. Mike Kastens moved to approve the Preliminary Plat of Willow River Bluffs First Addition as presented, seconded by David Tyvoll and carried.

**Certified Survey Map for Federal Foam Technologies**

Noah Wiedenfeld explained the CSM completed for Federal Foam located in the south industrial park. The Development Review Committee recommended approval of the CSM with the following conditions:

- 1) All utility issues are subject to review and approval of the Public Works Director and Electric Superintendent.
- 2) The CSM shall be revised to include an easement for drainage and utilities along the east property line of Lot 26 and the west property line of Lot 27, subject to review and approval by the Public Works Director and Electric Superintendent.

MaryKay Rice moved to approve the Certified Survey Map from Federal Foam with the conditions listed, seconded by Mike Kastens and carried.

**Communications and Miscellaneous**

The Dance Explosion building is up, enclosed and is expected to be finished in August.

Mike Kastens moved to adjourn the meeting, seconded by David Tyvoll and carried.

Meeting adjourned at 5:23 p.m.

Tanya Batchelor  
City Clerk



# MEMO

**Prepared for:** Plan Commission  
**Staff Contact:** Noah Wiedenfeld, Planning Director  
**Meeting:** Plan Commission - 06 Aug 2019  
**Subject:** Attachment Petition: 2036 STH 65

## **BACKGROUND INFORMATION:**

### **APPLICATION**

The owner of the parcel located at 2036 STH 65 (Parcel ID 038-1099-80-200) has completed a petition for attachment. The 29.66 acre Site is currently located in the Town of Star Prairie.

### **PROCESS**

The Site is located within the Urban Reserve Area of the Star Prairie/ New Richmond Cooperative Agreement, thus the petition is for attachment rather than annexation. When an application for attachment is received, the City Clerk shall notify the Town of Star Prairie, which then has 30 days to respond with any objections to the proposed attachment. Following the publication of a Class 2 Notice, a public hearing shall be held at the Plan Commission meeting and final action shall be taken by the City Council.

### **DETAILED ANALYSIS**

#### **COMPREHENSIVE PLAN**

The Future Land Use Plan found in the City of New Richmond's Comprehensive Plan guides the community's land toward a desired land use pattern and identifies areas in the City for future growth. The future land use of the Site is guided for Business Park. This land category includes areas for manufacturing, assembly, warehousing, laboratory, distribution, tech/flex, related office uses, and truck/transportation terminals. Areas in the City identified for Business Park are located on the north side of the City, near the airport, and on the south side of the City, west of STH 65. Each location is served by primary transportation arterials, and the north campus is conveniently served by the New Richmond Regional Airport. Attachment of the Site provides for future orderly growth of the City and is consistent with the Comprehensive Plan.

#### **ZONING**

The Site is currently zoned Rural Residential per the Official St. Croix County Zoning Map. Attachment of the Site occurs by adoption of an ordinance by the City Council that is subsequently recorded with the Secretary of State and St. Croix County. The attachment will be effective upon the date after the annexation ordinance is published. Per Section 121-36.G of the City Code of Ordinances, properties that are attached or annexed into the City of New Richmond are designated Z1 Agriculture/Preservation District by default, unless otherwise approved by the City Council. Based on the future land use guided by the City of New Richmond Comprehensive Plan, the Site shall be

designated as Z7 Specific Use/Industrial to allow for the planned future land use as guided by the Comprehensive Plan. The purpose of the Z7 Specific Use/Industrial Zoning District is to allow for continuation and expansion of industrial uses in specific areas of the City where they will have less conflict with other functions.

No application for development of the Site has been received by the City of New Richmond. Future land use, subdivision, and/or development of the Site shall be in accordance with the provisions of the City of New Richmond Zoning Ordinance and Subdivision Ordinance.

### **STAR PRAIRIE COOPERATIVE AGREEMENT**

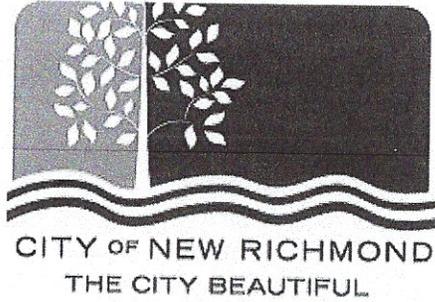
In 2012, the City of New Richmond and Town of Star Prairie approved a cooperative plan that establishes a permanent and perpetual boundary line between the City and the Town after the attachment of the Urban Reserve Area is complete. Attachment of property within the Urban Reserve Area from Star Prairie Township to the City of New Richmond is outlined in Section 3 of the Cooperative Agreement. A property owner may petition to the City Clerk requesting attachment of their property from Star Prairie Township to the City of New Richmond. The City Clerk shall provide written notice to the attachment request to Star Prairie Township, which then has 30 days from receipt of the notice to respond with any objections to the proposed attachment. The City of New Richmond may choose to accept the petition, accept the petition with conditions, or deny the petition. Attachments are effective on the date after the day of publication of the attachment ordinance adopted by the City Council. The City shall file and record the attachment ordinance and any other necessary documents with the appropriate entities, including but not limited to the secretary of state and the register of deeds.

The City shall have the right to automatically attach the remainder of the land area in the Urban Reserve Area to the City, with or without the consent of affected property owners, at such time as when 70% of the land area in the Urban Reserve Area has been attached to the City or been identified as Developed Parcels, and when 40 years have passed from the effective date of the Cooperative Agreement. Exhibit B (Base Map) of the Cooperative Agreement identify the Site as undeveloped, therefore the attachment of the Site shall be used in the calculations of parcels attached to the City of New Richmond in accordance with the terms of the Cooperative Agreement.

### **RECOMMENDATION:**

The Development Review Committee recommends **approval** of the petition for attachment, with the following condition:

1. The Site shall be zoned Z7 Specific Use/Industrial.



# PETITION FOR ATTACHMENT

## PURSUANT TO SECTION 66.0217(2) WISCONSIN STATUTES WHERE NO ELECTORS RESIDE IN TERRITORY

We, the undersigned, constituting all of the owners of the real property, and all of the electors residing in, the following territory of the town(s) of Star Prairie, St. Croix County, Wisconsin, lying contiguous to the City of New Richmond to annex the territory described below and shown on the attached scale map to the City of New Richmond, St. Croix, Wisconsin: (Please attach description)

We, the undersigned, elect that this annexation shall take effect to the full extent consistent with outstanding priorities of other annexation, incorporation or consolidation proceedings, if any.

Signature of Petitioners	Date	Owner/Elector	Parcel Number
1 <u>Gaylene Camacho</u>	<u>6.25.19</u>	Gaylene Camacho	038-1099-80-200

### ADDITIONAL INFORMATION NEEDED

Approximate Value: Land \$ 31,400 Improvements \$ 44,900

Tax ID 038-1099-80-200 Annual Town Property Taxes \$ 168.51

Number of Electors 0

Present Land Use: Undeveloped 95 % Commercial \_\_\_\_\_ % Industrial \_\_\_\_\_ %  
Residential 5 % Recreational % \_\_\_\_\_

Anticipated Land Use: Commercial \_\_\_\_\_ % Industrial 100 %  
Residential \_\_\_\_\_ % Recreational \_\_\_\_\_ %

Nature of land use adjacent to this property:

In the City? west: Agriculture

In the Town? South: Place of worship, Residential  
North: Agriculture, Small Business and Residence

Application must be submitted to the Clerk at least four weeks prior to the Plan Commission meeting. Application must include a metes and bounds description of the property to be annexed and a scale map of the area.

Normally meetings are held on the first Tuesday of the month at 5:00 p.m., but may be rescheduled.

Public Hearing is required. Requires a Class II Notice – Published 2 times at least 10 days before the meeting.

Plan Commission will make a recommendation to the Common Council. Then the Common Council will make the final decision at the next Council meeting.

I CERTIFY THAT I HAVE PAID THE \$250.00 NON-REFUNDABLE FILING FEE THAT WAS RECEIPTED AS # \_\_\_\_\_ DATED \_\_\_\_\_.

Check to Department of Administration for \$ \_\_\_\_\_

# Request for Annexation Review

Wisconsin Department of Administration

WI Dept. of Administration  
Municipal Boundary Review  
101 E. Wilson Street, 9<sup>th</sup> Floor  
Madison WI 53703  
608-264-6102 Fax: 608-264-6104  
[wimunicipalboundaryreview@wi.gov](mailto:wimunicipalboundaryreview@wi.gov)  
<http://doa.wi.gov/municipalboundaryreview/>

## Petitioner Information

Name: GAYLENE CAMACHO  
Address: 906 CHRISTENSEN AVE  
W ST PAUL, MN 55118  
Email: gaylene.camacho@gmail.com

Office use only:

Petitioners phone:

612 203 2449

Town clerk's phone:

715 246 9878

City/Village clerk's phone:

1. Town where property is located: STAR PRAIRIE
2. Petitioned City or Village: TOWN
3. County where property is located: ST CROIX
4. Population of the territory to be annexed: 0
5. Area (in acres) of the territory to be annexed: 29.66
6. Tax parcel number(s) of territory to be annexed (if the territory is part or all of an existing parcel): 038-1099-80-200

## Contact Information if different than petitioner:

Representative's Name and Address:

Surveyor or Engineering Firm's Name & Address:

Phone:

Phone:

E-mail:

E-mail:

## Required Items to be provided with submission (to be completed by petitioner):

1.  Legal Description meeting the requirements of [s.66.0217 \(1\) \(c\)](#) [see attached annexation guide]
2.  Map meeting the requirements of [s. 66.0217 \(1\) \(g\)](#) [see attached annexation guide]
3.  Signed Petition or Notice of Intent to Circulate is included
4. Indicate Statutory annexation method used:
  - Unanimous per [s. 66.0217 \(2\)](#), or
  - OR
  - Direct by one-half approval per [s. 66.0217 \(3\)](#)
5.  Check or money order covering review fee [see next page for fee calculation]

(2012)

## Annexation Review Fee Schedule

A Guide for Calculating the Fee Required by ss.16.53 (4) and 66.0217, Wis. Stats.

**Required Fees**

There is an initial filing fee and a variable review fee

\$350.<sup>00</sup> **Initial Filing Fee** (required with the first submittal of all petitions)  
\$200 – 2 acres or less  
\$350 – 2.01 acres or more

\$800.<sup>00</sup> **Review Fee** (required with all annexation submittals except those that consist ONLY of road right-of-way)  
\$200 – 2 acres or less  
\$600 – 2.01 to 10 acres  
\$800 – 10.01 to 50 acres  
\$1,000 – 50.01 to 100 acres  
\$1,400 – 100.01 to 200 acres  
\$2,000 – 200.01 to 500 acres  
\$4,000 – Over 500 acres

\$1150.<sup>00</sup> **TOTAL FEE DUE (Add the Filing Fee to the Review Fee)**  
*pd by CITY OF NEW RICHMOND*

**Attach** check or money order here, payable to: **Department of Administration**

**THE DEPARTMENT WILL NOT PROCESS  
AN ANNEXATION PETITION THAT IS NOT ACCOMPANIED  
BY THE REQUIRED FEE.**

**THE DEPARTMENT'S 20-DAY STATUTORY REVIEW PERIOD  
COMMENCES UPON RECEIPT OF THE PETITION AND REVIEW FEE**

Shaded Area for Office Use Only

Date fee received: \_\_\_\_\_

Payee: \_\_\_\_\_ Check Number: \_\_\_\_\_

Check Date: \_\_\_\_\_

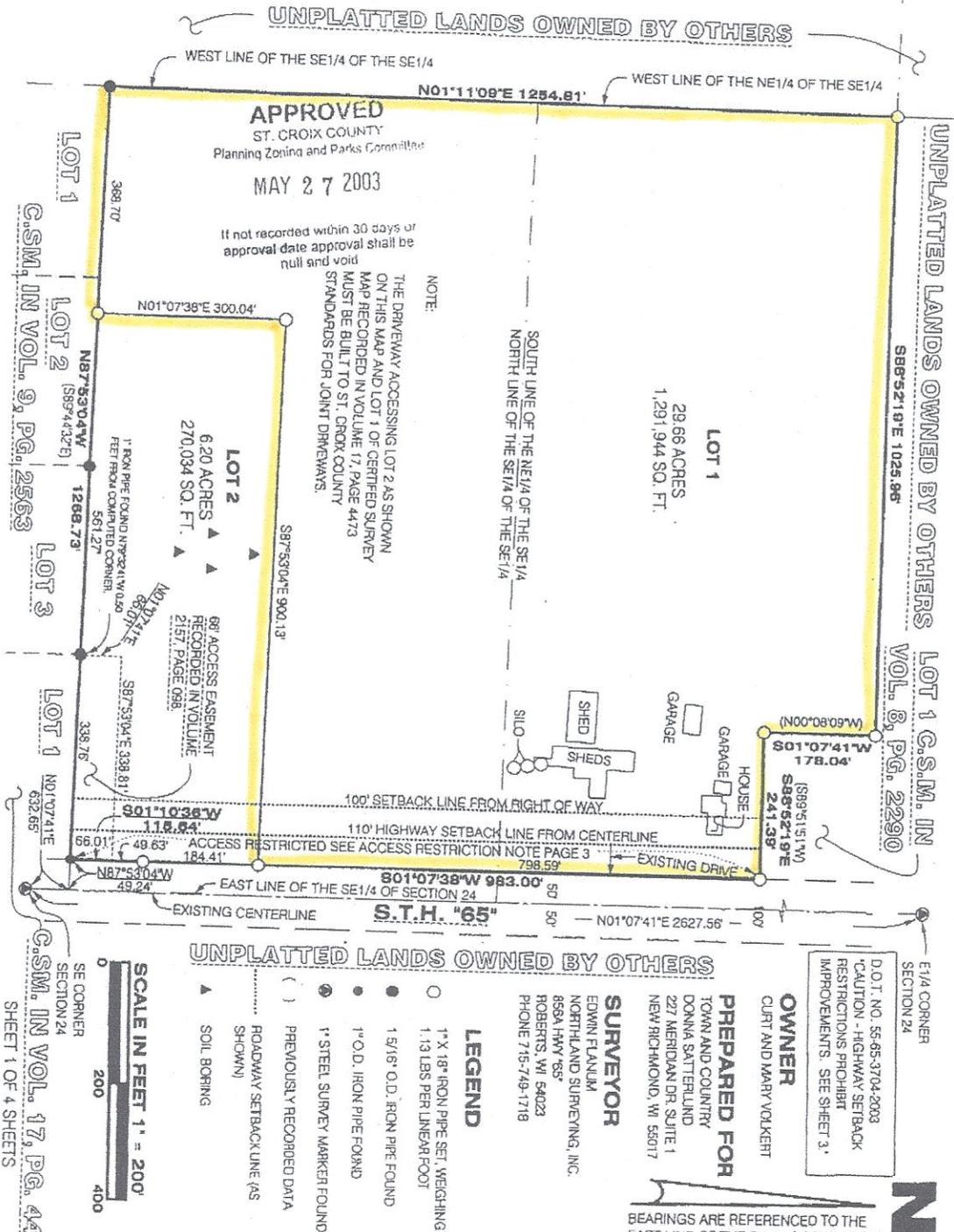
Amount: \_\_\_\_\_

722981

VOL 17 PAGE 4523  
 KATHLEEN H. WALSH  
 REGISTER OF DEEDS  
 ST. CROIX CO., WI  
 RECEIVED FOR RECORD  
 05/27/2003 02:50PM

CERTIFIED SURVEY MAP  
 REC FEE: 17.00  
 COPY FEE: 5.00  
 PAGES: 4

**CERTIFIED SURVEY MAP**  
 LOCATED IN PART OF THE SE1/4 OF THE SE1/4 AND  
 IN PART OF THE NE1/4 OF THE SE1/4 OF SECTION  
 24, T31N, R18W, TOWN OF STAR PRAIRIE, ST.  
 CROIX COUNTY, WISCONSIN.



**APPROVED**  
 ST. CROIX COUNTY  
 Planning Zoning and Parks Committee  
 MAY 27 2003

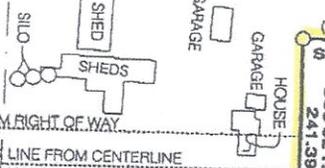
If not recorded within 30 days of  
 approval date approval shall be  
 null and void

NOTE:  
 THE DRIVEWAY ACCESSING LOT 2 AS SHOWN  
 ON THIS MAP AND LOT 1 OF CERTIFIED SURVEY  
 MAP RECORDED IN VOLUME 17, PAGE 4473  
 MUST BE BUILT TO ST. CROIX COUNTY  
 STANDARDS FOR JOINT DRIVEWAYS.

**LOT 2**  
 6.20 ACRES  
 270,034 SQ. FT.

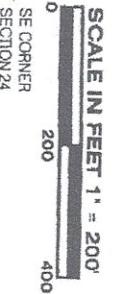
**LOT 1**  
 29.66 ACRES  
 1,291,944 SQ. FT.

8" ACCESS EASEMENT  
 RECORDED IN VOLUME  
 2157, PAGE 098



100' SETBACK LINE FROM RIGHT OF WAY  
 110' HIGHWAY SETBACK LINE FROM CENTERLINE  
 ACCESS RESTRICTED SEE ACCESS RESTRICTION NOTE PAGE 3  
 EXISTING DRIVE  
 EAST LINE OF THE SE1/4 OF SECTION 24  
**S.T.H. "65"**  
 EXISTING CENTERLINE

UNPLATTED LANDS OWNED BY OTHERS



SE CORNER SECTION 24  
 G.S.M. IN VOL. 17, PG. 4473  
 SHEET 1 OF 4 SHEETS

THIS INSTRUMENT DRAFTED BY MICHAEL ERICKSON JOB NO. 03-04 DATE: 2-24-03

D.O.T. NO. 55-65-3704-2003  
 CAUTION - HIGHWAY SETBACK  
 RESTRICTIONS PROHIBIT  
 IMPROVEMENTS. SEE SHEET 3.

**OWNER**  
 CURT AND MARY VOLKERT

**PREPARED FOR**  
 TOWN AND COUNTY  
 DONNA SATTERLUND  
 227 MERIDIAN DR. SUITE 1  
 NEW RICHMOND, WI 53017

**SURVEYOR**  
 EDWIN FLANKA  
 NORTHLAND SURVEYING, INC.  
 855A HWY 85  
 ROBERTS, WI 54023  
 PHONE 715-749-1718

**LEGEND**

- 1" X 18" IRON PIPE SET, WEIGHING 1.13 LBS PER LINEAR FOOT
- 1.5/16" O.D. IRON PIPE FOUND
- 1" O.D. IRON PIPE FOUND
- 1" STEEL SURVEY MARKER FOUND
- ( ) PREVIOUSLY RECORDED DATA
- ( ) ROADWAY SETBACK LINE (AS SHOWN)
- ▲ SOIL BORING

BEARINGS ARE REFERENCED TO THE EAST LINE OF THE SE1/4 OF SECTION 24, ASSUMED TO BEAR N01°07'41"E



# MEMO

**Prepared for:** Plan Commission  
**Staff Contact:** Noah Wiedenfeld, Planning Director  
**Meeting:** Plan Commission - 06 Aug 2019  
**Subject:** Conditional Use Permit Application: 1745 115th Street (Greg Anderson)

## **BACKGROUND INFORMATION:**

### **APPLICATION**

Greg Anderson has submitted a conditional use permit application to have two principal buildings on the same parcel at his property, located at 1745 115th Street. Per the application narrative, the Applicant seeks to have two residential dwelling units on the parcel with shared use of a well and septic.

### **PROCESS**

Conditional use permit applications are reviewed by the Development Review Committee and require a Class 2 Notice (two publications in newspaper). Final action is taken by the Plan Commission following a public hearing.

### **DETAILED ANALYSIS**

Per Section 121-32.D of the City Code of Ordinances, the Plan Commission shall consider possible adverse effects of the proposed conditional use. Its judgment shall be based upon, but not limited to, the seven factors listed below.

#### **1. Compliance with and effect upon the City Comprehensive Plan, including public facilities and capital improvement plans.**

The Future Land Use Plan of the City of New Richmond 2040 Comprehensive Plan guides the Site for parks and open space because of its proximity to the Willow River. Low density residential development was still deemed to be appropriate for the Site when the Applicant annexed the Site in March 2018 from the Town of Richmond to the City of New Richmond.

#### **2. The establishment, maintenance, or operation of the conditional use will promote and enhance the general public welfare and will not be detrimental to or endanger the public health, safety, morals, or comfort.**

The proposed second dwelling unit was originally intended to be an accessory structure, rather a dwelling unit. Thus, it was determined by the City of New Richmond Building Inspector in 2019 that the structure did not comply with the State Uniform Dwelling Code for one-family dwelling units. The Applicant shall apply for and receive all necessary building permits from the Building and Zoning Office before making improvements, as well as a certificate of occupancy prior to anyone occupying the structure so as not to endanger public safety.

**3. The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted.**

The 22-acre Site is fairly secluded. Property to the north and south of the Site are undeveloped. Property to the east and west of the Site are rural residential parcels in the Town of Richmond. The Doar Prairie Restoration and City of New Richmond Wastewater Treatment Plan are also in close proximity to the Site. Development of a second principal building on the Site is unlikely to be injurious to the use and enjoyment of other property in the immediate vicinity.

**4. The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.**

The private well and septic shall be reviewed by the Utilities Commission if the Site is subdivided in the future, and/or when the private well and septic fail. The proposed conditional use is unlikely to impede the development and improvement of surrounding properties.

**5. Adequate public facilities and services are available or can be reasonably provided to accommodate the proposed use.**

The New Richmond Utilities Commission approved a private well and septic to serve the Site, instead of public water and sewer, at their respective meeting held on August 1, 2018, as the cost of extending public water and sewer was determined to be cost prohibitive. Although the Site does not front a public street, an easement provides access to the existing driveway to the Wastewater Treatment Plant, which connects to 115th Street, both of which are maintained by the City of New Richmond. Adequate public facilities and services are available to the Site and can accommodate the proposed conditional use.

**6. The conditional use shall, in all other aspects, conform to the applicable regulations of the zoning district in which it is located.**

The Site is zoned Z1 Agriculture/Preservation District. Table 4 of the Zoning Ordinance identifies the standards for the Z1 Zoning District, including lot coverage and building configuration. One of the conditions of approval of the annexation of the Site in 2018 was to require a 50-foot minimum setback from all lot lines for principal and accessory structures that may be constructed on the Site. The Applicant shall comply with the 50-foot minimum building setback condition previously approved in 2018, as well as all other standards for the Z1 Zoning District.

**7. The conditional use and site conforms to standards in this Ordinance.**

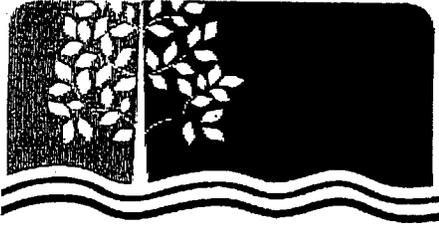
Single family detached homes are permitted in the Z1 Agriculture/Preservation District. Per Section 121-49.C of the City Code of Ordinances, no more than one principal building shall be located on a lot except as allowed by conditional use permit. The proposed dwelling units shall comply with all lot and building performance standards identified in the City Code of Ordinances. The Applicant shall pay all required impact fees as determined by the Building and Zoning Office in accordance with Section 117-16 prior to the issuance of a building permit.

**RECOMMENDATION:**

The Development Review Committee recommends approval of the conditional use permit application subject to the following conditions:

1. The Applicant shall apply for and receive all necessary building permits from the Building and Zoning Office before making improvements, as well as a certificate of occupancy prior to anyone occupying the structure so as not to endanger public safety.
2. The Applicant shall comply with the 50-foot minimum building setback condition previously approved in 2018, as well as all other standards for the Z1 Zoning District.

3. The proposed dwelling units shall comply with all lot and building performance standards identified in the City Code of Ordinances.
4. The Applicant shall pay all required impact fees as determined by the Building and Zoning Office in accordance with Section 117-16 prior to the issuance of a building permit.



CITY OF NEW RICHMOND  
THE CITY BEAUTIFUL

# CONDITIONAL USE APPLICATION

City of New Richmond  
156 East First Street ❖ New Richmond, WI 54017  
Phone: (715) 246-4268 ❖ Fax: (715) 246-7129

CITY ORDINANCE SECTION 121-32  
www.newrichmondwi.gov

**APPLICATION FEE: \$250      ESCROW \$500**

*Application fee should be made payable to City of New Richmond upon submittal of completed application. Escrow funds will be drawn to cover project-related costs. Additional funds may be required; surplus funds will be returned.*

Please complete the application by typing or printing in ink. Use additional paper if necessary.

**1. Property Owner Information:**

Company name: \_\_\_\_\_

Last name: Anderson First name: Greg

Address: 1745 115<sup>th</sup> St. City/State/Zip: New Richmond, WI 54017

Phone number: 715-529-7063 Email address: greg.anderson.me@gmail.com

**2. Applicant Information: (if different from above)**

Company name: \_\_\_\_\_

Last name: \_\_\_\_\_ First name: \_\_\_\_\_

Address: \_\_\_\_\_ City/State/Zip: \_\_\_\_\_

Phone number: \_\_\_\_\_ Email address: \_\_\_\_\_

**3. Address(es) of Property Involved: (if different from above)**

**4. Zoning Designation:** \_\_\_\_\_

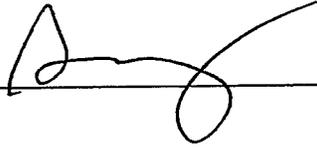
**5. Comprehensive Plan Designation:** \_\_\_\_\_

**6. Statement of Intent:** Briefly describe what will be done on or with the property requiring the conditional use approval.

*See attached*

**7. Additional Required Information:**

- a. **Legal Description and PIN:** Provide the Parcel Identification Number(s) and the complete legal description(s) of the property involved.
  - b. **Consultant Fees:** Whenever third party consultants are utilized in the preparation of application materials (e.g., a traffic study) or the City's review of an application (e.g. traffic study analysis), the applicant shall be responsible for paying the entirety of those costs.
  - c. **Proposed Plans:** In addition to a scaled site plan, the following documentation may be requested: a landscape plan, grading and drainage plan, photometric plan, traffic study, and exterior building elevation drawings showing building materials may also be required if deemed necessary by City Staff. Plans for residential applications may be on 8½"x 11" or 11"x 17" paper; full size plans and digital copies must be submitted for commercial applications.
  - d. **Written Narrative:** The written narrative should thoroughly address the following general items in addition to any specific requirements pertaining to the proposed use, which Section 121-259 (Conditional Uses) of the City Code directs the City Council to evaluate during consideration of conditional use applications:
    - 1) The proposed use is not in conflict with the Comprehensive Plan;
    - 2) The proposed use is not in conflict with any Regulating Maps or other adopted plans;
    - 3) The proposed use is not in conflict with any City Ordinance requirements;
    - 4) The proposed use will not create an excessive burden on parks, streets and other public facilities; and
    - 5) The proposed use will not be injurious to the surrounding neighborhood, will not negatively impact traffic or property values, and will not otherwise harm the public health, safety, and general welfare.
8. **Signature(s):** By signing below, you attest that the information above and attached is true and correct to the best of your knowledge.

Property Owner: 

Date: 25 June 2019

Applicant: \_\_\_\_\_

Date: \_\_\_\_\_

Fee Paid: \$250      Date: 6/26/19      Receipt # 69767

Escrow Paid: \$500      Date: 6/26/19      Receipt # 69767

**Applications for conditional use approval must be received by the first Thursday of each month; applications received after this date cannot be heard at the Planning Commission meeting the following month.**

To whom it may concern:

The following statement of intent is regarding the property at 1745 115<sup>th</sup> St, New Richmond, PINs 261134600000 and 026101510055, with the attached legal description.

Our proposed use is not in conflict with the Comprehensive Plan, Regulating Maps or other adopted plans or city ordinance requirements, does not create an excessive burden on parks, streets and other public facilities, will not be injurious to the surrounding neighborhood, will not negatively impact traffic or property values and will not otherwise harm the public health, safety and general welfare.

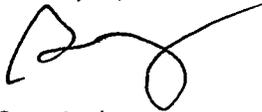
Our proposed use is to have two dwellings on this parcel, with shared use of a well and septic.

The property is a secluded, private parcel of 27 acres that shares access to 115<sup>th</sup> street with the City Water Treatment plant and Doar Prairie Savana. It currently has a well and septic system that exceeds the requirements for our future home. We will be building a 3-bedroom home for use of our family that includes 3 boys (a college-sophomore, a high-school senior and a high-school junior).

There is an existing shed on the property that utilizes the existing well and septic. While mostly storage area, the shed also has living quarters that includes bedroom, bathroom and shower room. The purpose of having this would be to allow our boys (at the appropriate age) ability to "live-at-home" while also having the independence of being on their own. Our two high-school boys would live with us in the home but our college-aged son would be able to room in the shed during his summer breaks. We would also be able to use this space for visiting family and friends, if needed.

Our well and septic capabilities exceed our use requirements, as well as exceed code for a much larger home than we will be building. Neither system would be used more or less than if all of us were living under one roof.

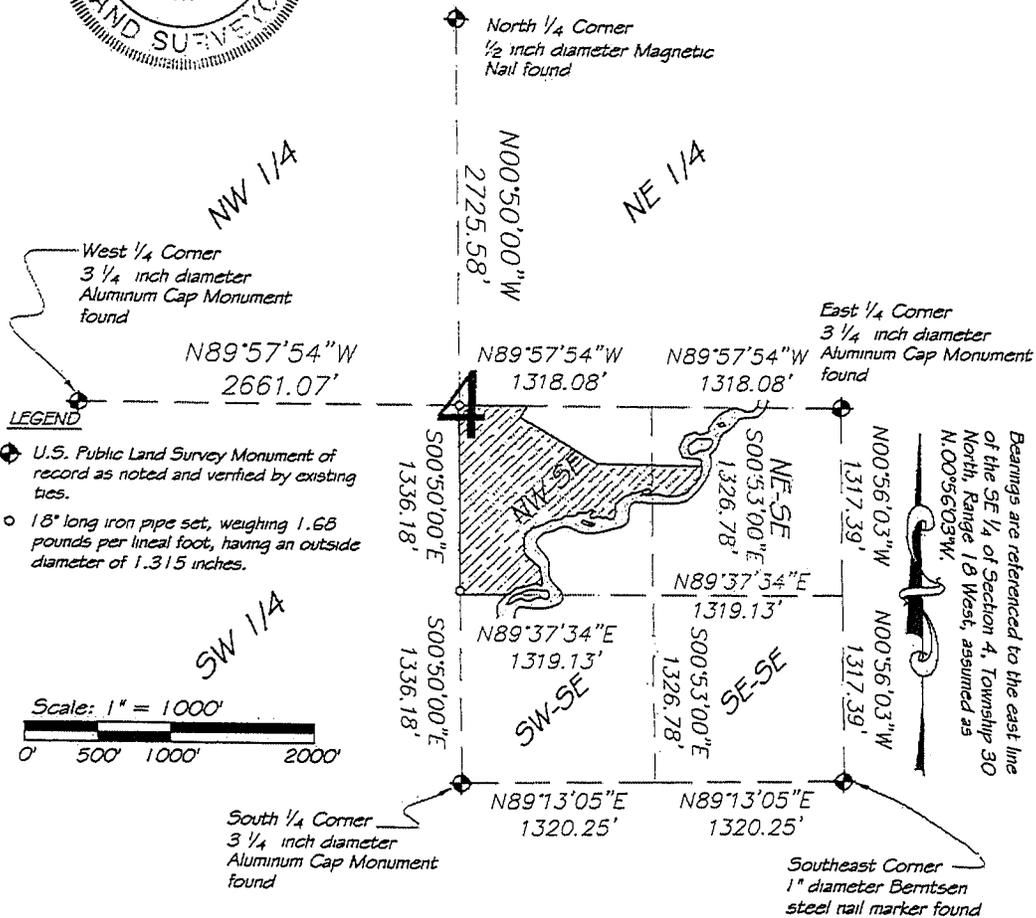
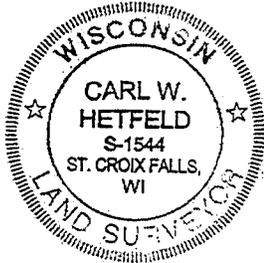
Thank you,

A handwritten signature in black ink, appearing to read 'Greg Anderson', with a long, sweeping horizontal stroke extending to the right.

Greg Anderson

# Certified Survey Map

located in the Northwest 1/4 of the Southeast 1/4  
and in the Northeast 1/4 of the Southeast 1/4,  
Section 4, Township 30 North, Range 18 West,  
Town of Richmond, St. Croix County, Wisconsin



## Certified Survey Map

located in the Northwest 1/4 of the Southeast 1/4  
and in the Northeast 1/4 of the Southeast 1/4,  
Section 4, Township 30 North, Range 18 West,  
Town of Richmond, St. Croix County, Wisconsin

### Surveyor's Certificate:

I, Carl W. Hetfeld, Professional Land Surveyor, hereby certify that I have surveyed, divided and mapped part of the Northwest 1/4 of the Southeast 1/4 and part of the Northeast 1/4 of the Southeast 1/4 of Section 4, Township 30 North, Range 18 West, Town of Richmond, St. Croix County, Wisconsin described as follows:

- Commencing at the North 1/4 Corner of said Section 4;
- thence S.00°50'00"E., along the west line of the Northeast 1/4 of said Section 4, 2725.58 feet to the northwest corner of said Northwest 1/4 of the Southeast 1/4 of said Section 4, being the point of beginning;
- thence S.89°57'54"E., along the north line of said Northwest 1/4 of the Southeast 1/4, 464.49 feet;
- thence Southwesterly, 96.34 feet along the arc of a curve, said curve being concave to the northwest, having a radius of 628.30 feet, a central angle of 08°47'08", the long chord of which bears S.27°21'04"W., 96.25 feet to the end of said curve;
- thence S.58°52'47"E., 618.07 feet;
- thence S.89°01'01"E., 687.02 feet to the beginning of a line meandering the westerly shore of the WILLOW RIVER;
- thence S.69°24'59"W., along said meander line, 1255.31 feet;
- thence S.23°22'10"W., along said meander line, 518.72 feet to the south line of said Northwest 1/4 of the Southeast 1/4 and the end of said meander line;
- thence S.89°37'34"W., along the south line of said Northwest 1/4 of the Southeast 1/4, 235.95 feet to the southwest corner of said Northwest 1/4 of the Southeast 1/4;
- thence N.00°50'00"W., along the west line of said Northwest 1/4 of the Southeast 1/4, 1336.18 feet to the point of beginning.

Including all lands lying between said meander line and the ordinary high water mark of the WILLOW RIVER, said lands being bounded on the north by line bearing S.89°01'01"E., 34 feet, more or less, from the beginning of said meander line to the ordinary high water mark of the WILLOW RIVER and bounded on the south by a line bearing N.89°37'34"E. along the south line of said Northwest 1/4 of the Southeast 1/4, 83 feet, more or less, from the end of said meander line to the ordinary high water mark of the WILLOW RIVER.

The above described land is subject to right of way for 175<sup>th</sup> Avenue and/or 115<sup>th</sup> Street as shown on Sheet 1 of 4 Sheets and Sheet 2 of 4 Sheets of this Certified Survey Map.

That I have made this survey, land division, and map by the direction of Gregory M. Anderson, owner of said land.

That said map is a correct representation of the exterior boundaries of the lands surveyed and the subdivision made thereof.

That I have fully complied with the provisions of Section 236.34 of the Wisconsin Statutes, A-E 7 of the Wisconsin Administrative Code, St. Croix County Subdivision Ordinance—Chapter 13 and the Subdivision Regulations of the Town of Richmond in surveying and mapping the same.

\_\_\_\_\_  
Carl W. Hetfeld, P.L.S. No. 1544  
December 18, 2017



STATE OF WISCONSIN )  
ST. CROIX COUNTY )

I, Denise Anderson, being the duly elected, qualified and acting treasurer of the county of St. Croix, do hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or special assessments as of \_\_\_\_\_ 20 \_\_\_\_\_ affecting the lands included in this Certified Survey Map.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Denise Anderson, St. Croix County Treasurer



# MEMO

**Prepared for:** Plan Commission  
**Staff Contact:** Noah Wiedenfeld, Planning Director  
**Meeting:** Plan Commission - 06 Aug 2019  
**Subject:** Site Plan Application: New Richmond Professional Office Building

## **BACKGROUND INFORMATION:**

### **PROJECT PROPOSAL**

New Richmond Professional Partners, LLC seeks to construct an 11,257 square foot professional office building on an undeveloped, 1.9-acre parcel (Site) located near the intersection of North Fourth Street and State Highway 64. The facility would include three tenant spaces: an oral surgery office, pediatric dental, and a third tenant yet to be determined.

### **PROCESS**

Per Table 3 of the Zoning Ordinance, an office building is an allowed use in the Z3 Zoning District. The project has been reviewed by the Development Review Committee, and will be reviewed by the Plan Commission on August 6, 2019 for final action. The Site was previously rezoned in March 2019 in anticipation of this proposed project. The proposed building is greater than 50,000 cubic feet in total volume, so plans must be reviewed by the State of Wisconsin, rather than the local building inspector.

### **DETAILED ANALYSIS**

**COMPREHENSIVE PLAN**The Future Land Use Plan found in the City of New Richmond's Comprehensive Plan guides the community's land toward a desired land use pattern and identifies areas in the City for future growth. The future land use of the Site is guided for Mixed-Use Corridor. This land use category includes a mixture of regional commercial, retail, office, lodging, and multi-family residential uses in a mixture of building forms, oriented either vertically or horizontally. The proposed development is consistent with the Comprehensive Plan.

### **ZONING**

The purpose of the Z3 Multi-Use/Corridor District is to provide a mixture of regional commercial, retail, office, lodging, and residential uses in a mixture of building forms. Office buildings are allowed uses in the Z3 Multi-Use/Corridor District per Table 3 of the Zoning Ordinance. As was noted earlier in the memo, the Site was rezoned from Z4 General Urban District to Z3 Multi-Use/Corridor District in March 2019. The Z3 Multi-Use/Corridor District is an appropriate zoning designation for the proposed use.

### **SURROUNDING USES**

The properties in the surrounding area also share a Z3 Multi-Use/Corridor District zoning designation. Surrounding uses include the St. Croix County Health Center (northwest of Site), single-family and

twin homes (west), and a mobile home park (located to the south of the site on the opposite side of STH 64). The proposed development is compatible with the surrounding land uses.

### **LOT OCCUPATION**

Per Table 6 of the Zoning Ordinance, the minimum lot width for the proposed development is 80 feet, and the maximum lot coverage is 70%. The Site exceeds the minimum lot width requirement, and the proposed development would result in a 44.86% total impervious area following construction, which complies with the maximum lot coverage requirement.

### **BUILDING CONFIGURATION**

Per Table 6 of the Zoning Ordinance, the maximum principal building height is 4 stories. The proposed principal building is one story, approximately 18 feet in height from grade to roofline, which meets the principal building configuration requirements.

### **SETBACKS**

The site plan meets all minimum setback requirements for the Z3 Multi-Use/Corridor District, as identified in Table 6 of the Zoning Ordinance.

### **ARCHITECTURAL DESIGN**

Per Section 121-49.G of the City Code of Ordinances, buildings in all zoning districts shall maintain a high standard of architectural and aesthetic compatibility with surrounding properties to ensure that they will not adversely impact the property values of the adjacent properties or adversely impact the community's public, health, safety, and general welfare.

The building elevations include a high quality architectural design consisting of two colors of face brick, composite wall paneling, awnings above the front entrance and rear (southeast) windows, and dark bronze aluminum windows. The rooftop HVAC units are screened to blend into the overall design. The applicant has provided photo examples and product information with their application materials. All of the proposed exterior building materials are acceptable per Section 121-49.G of the City Code of Ordinances, and all sides of the principal building have a coordinated and harmonious appearance that will visually enhance the STH 64 corridor.

### **LANDSCAPING**

Per Table 15 of the Zoning Ordinance, minimum landscape standards for non-residential uses in the Z3 Multi-Use/Corridor Zoning District are prescribed on a per lot basis. For the purposes of the proposed development, the minimum landscape requirements would equate to 2 shade trees and 22 shrubs in the front yard, and 4 shade trees in the rear yard. The applicant's landscaping plan exceeds the minimum standards, proposing a total of 10 trees (2 each of Autumn Blaze Maple, Greenspire Linden, Swamp White Oak, and Hackberry) and a total of 137 perennials, grasses, and vines to be planted around the perimeter of the principal building and in the parking lot landscape islands.

Per Section 121-55.I of the City Code, landscaping shall be kept in healthy condition, free of invasive plants and weeds, in perpetuity. Landscaping improvements require a financial guarantee equal to 125 percent of the cost for labor and materials for the landscaping plan, and shall not be deemed complete until the City has verified survivability of all required plantings through two winter seasons, defined as the period of October 31 through April 30. The financial guarantee shall be received by the City on or before the date on which the building permit application is submitted.

### **TRAFFIC IMPACT**

The proposed development is likely to increase vehicular traffic on North Fourth Street, but does not raise concerns about the ability of the street to handle additional traffic volume. In regards to the intersection of North Fourth Street and STH 64, any future modifications by the Wisconsin

Department of Transportation will be determined and driven by daily traffic counts, vehicular crash data, and highway improvement funding. For informational purposes, the most recent WisDOT traffic count in 2018 for STH 64 near the Site was 8,400 automobiles per day.

As a possible addition, the site plan also identifies two future electric vehicle charging stations, to be coordinated with the owner and architect. According to the U.S. Department of Energy, the nearest public charging stations are in Hudson, WI and Taylors Falls, MN.

## **DRIVEWAYS**

Per Section 121-52 of the City Code of Ordinances, driveways and vehicle entrances to parking lots shall be no wider than 26 feet for commercial uses at the lot line. The Director of Public Works may approve wider driveways or additional turn lanes to accommodate larger vehicles or high traffic areas. The proposed driveway is 27 feet in width, which has been determined to be acceptable by the Director of Public Works.

## **PARKING**

The applicant is proposing off-street parking constructed of bituminous asphalt with a poured-in-place, 6"-high concrete curb at the periphery of the parking lot, which is consistent with Section 121-52 of the City Code of Ordinances. The proposed parking lot dimensions comply with the minimum stall and aisle standards identified in Table 13 of the Zoning Ordinance. Table 14 of the Zoning Ordinance requires an office in the Z3 Zoning District to provide a minimum of 3 parking stalls per 1,000 square feet of building area, which equates to 33 parking stalls. The applicant's site plan far exceeds the minimum parking requirement by providing 59 parking stalls, including 3 handicap accessible parking stalls, which meets the minimum requirements provided by the 2010 Americans with Disabilities Act Standards for Accessible Design.

## **VEHICULAR CIRCULATION**

The applicant has provided a vehicular circulation exhibit tailored specifically to show that the New Richmond Fire & Rescue Department's ladder truck can adequately navigate the private driveway and access the principal building in the event of an emergency. The vehicular circulation exhibit has been reviewed by the Fire Chief and determined to be acceptable.

## **BICYCLIST AND PEDESTRIAN ACCOMMODATIONS**

Per Section 121-49.F of the City Code of Ordinances, the applicant shall be required to construct trail and sidewalk improvements in the public right-of-way, at their expense, when needed to extend or complete a trail or sidewalk connection. No bicycle or pedestrian accommodations presently existing along this portion of North Fourth Street, nor are such improvements identified in the City of New Richmond's 2018 Bicycle and Pedestrian Master Plan. Therefore, no sidewalk or trail connection shall be required.

## **SIGNAGE**

The applicant identifies one pylon (ground) sign to be located near the northeast corner of the parcel, to the east of the stormwater pond. Page A2.1 states the plans for the pylon sign will be submitted by the sign designer under a separate permit application. The building elevations also show preliminary wall signs on the front and rear facades of the building. The approximate area, quantity, and location of the wall signs shall be provided by the applicant prior to the issuance of the building permit, or be submitted at a later date under a separate application. All signs shall comply with Section 121-44 of the City Code of Ordinances.

## **EXTERIOR LIGHTING**

The applicant has provided a photometric plan for the development which complies with Section 121-51 of the City Code of Ordinances. The site will have four, twenty-five-foot tall pole-mounted LED lights in the parking lot. Any stray light that crosses property boundaries is less than one footcandle in light intensity, which is consistent with Section 30 Article III (Outdoor Lighting) of the City Code of Ordinances.

## **REFUSE & RECYCLING**

Per Section 121-48.A of the City Code of Ordinances, loading areas and trash/refuse collection areas shall be screened from view from the front of the lot, public rights-of-way and adjacent properties, and located on the lot according to District standards. The site plan identifies a refuse enclosure approximately 15' x 13' in size. The enclosure will be approximately 7 feet in height and be constructed of prefinished PVC panels with prefinished aluminum corner posts. The proposed refuse and recycling enclosure complies with the Zoning Ordinance.

## **UTILITIES**

Municipal utilities are available at the property, including water and sanitary sewer. Electricity will be provided by Xcel Energy, as it was determined by the Development Review Committee that New Richmond Utilities cannot currently provide the electrical services required for the project. Comments related to water and sanitary sewer were provided to the applicant on July 19, 2019 and are listed below. All comments shall be addressed as a condition of approval of the application prior to the issuance of a building permit. All utility issues are subject to review and approval by the Director of Public Works.

1. Sheet C1.5: Revise the plans to call out the watermain material as DIP Class 52, with a minimum 8' depth of bury.
2. Sheet C1.5: Call out two additional 45 degree bends on the relocated watermain.
3. Sheet C1.5: Call out joint restraint at all 45 degree bends, as well as the service tee, and provide a detail.
4. Sheet C1.5: Add a hydrant near the western connection of the relocated watermain to allow for flushing and adequate fire protection.
5. Sheet C1.5: The City suggests that the water service lateral be installed to a point underneath the building footprint, a restrained 90 degree joint installed, and rodding installed with the pipe vertically through the floor for connection to the internal plumbing system.
6. Sheet C1.5: It is the City's opinion that new gate valves will be needed on either end of the relocated watermain in order to accomplish the bacteriological and pressure testing of the new watermain. If the valves are not to be installed, the designer needs to submit a plan detailing the proposed procedure for performing these tests, and how to address a failed pressure test.
7. Sheet C1.8: Revise the detail for Gate Valve & Box to include blocking beneath the valve.
8. The developer must obtain a watermain extension permit approval from DNR prior to starting work on the watermain relocation.

## **EASEMENTS**

A preliminary map of survey was completed with the application, and will be recorded with the St. Croix County Register of Deeds as part of the approval of this site plan and stormwater review. A drainage and utility easement is provided along the perimeter of the property, in accordance with Section 117-41 of the City Code of Ordinances, and a 35-foot drainage/utility/trail easement is provided along the south lot line.

### **GRADING, EROSION CONTROL, & STORMWATER**

Per Section 109-285 of the City Code of Ordinances, the project is subject to construction site erosion control requirements because it disturbs more than 3,000 square feet of land. The project is also subject to post-construction stormwater management requirements, as it results in the addition of more than 20,000 square feet of new impervious surface. The applicant is therefore required to submit both a construction site erosion and sediment control plan and a stormwater management plan. Per Section 109-289, short-term and long-term maintenance and monitoring agreements shall also be signed by the applicant. The stormwater plans submitted by the applicant were reviewed by the Development Review Committee as well as engineering consultant, SEH, Inc. Comments were provided to the applicant on July 19, 2019 and are listed below. All comments shall be addressed as a condition of approval of the application prior to the issuance of a building permit. All grading, erosion control, and stormwater issues are subject to review and approval by the Director of Public Works.

1. The report indicates that the west pond is a wet pond, but the plans do not reflect this. No safety shelf is provided. No wet pool liner is provided. The wet pool depth (2 feet) is not sufficient to prevent resuspension of sediment.
2. The report indicates that four catch basins have two foot sumps, but the plans do not reflect this.
3. The report indicates that the east pond provides an effective infiltration area of more than 2% of the total site area. The City's engineering consultant does not concur, since the effective infiltration area appears to be 108 square feet or just 0.1% of the 1.89 acre parcel.
4. The HydroCAD modeling of the east pond has several errors. The void storage in the engineered soil is not accounted for. The underdrain is not accounted for. Exfiltration is not accounted for. The outlet devices are improperly routed (for example, the culvert does not control flow to the emergency overflow).
5. The WinSLAMM modeling of the east pond has an error. The plans show the underdrain elevated slightly from the bottom of the engineered soils whereas the model shows it at the base.
6. The WinSLAMM modeling of the west pond has several errors. The plans show the outlet to be elevated two feet from the base of the pond whereas the model shows it elevated three feet. The plans show the emergency overflow to be elevated four feet from the base of the pond whereas the model shows it elevated five feet.
7. The plans show the emergency outlet from the east pond at nearly the highest point of the embankment. It's recommended that this be relocated to the northwest corner of the pond to reduce the chances of catastrophic embankment failure.

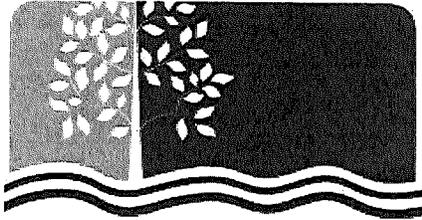
8. The plans show the outlet from Inlet #4 entering the east pond at an angle. I recommend making this outlet perpendicular to the slope.
9. The plans show the outlet from the west pond entering the east pond without outlet protection.

**RECOMMENDATION:**

The Development Review Committee recommends **approval** of the site plan and stormwater application, subject to the following conditions:

1. Landscaping improvements require a financial guarantee equal to 125 percent of the cost for labor and materials for the landscaping plan, and shall not be deemed complete until the City has verified survivability of all required plantings through two winter seasons, defined as the period of October 31 through April 30. The financial guarantee shall be received by the City on or before the date on which the building permit application is submitted.
2. All signs shall comply with Section 121-44 of the City Code of Ordinances.
3. All utility issues are subject to review and approval by the Director of Public Works.
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15. The report indicates that the east pond provides an effective infiltration area of more than 2% of the total site area. The City's engineering consultant does not concur, since the effective infiltration area appears to be 108 square feet or just 0.1% of the 1.89 acre parcel.
16. The HydroCAD modeling of the east pond has several errors. The void storage in the engineered soil is not accounted for. The underdrain is not accounted for. Exfiltration is not accounted for. The outlet devices are improperly routed (for example, the culvert does not control flow to the emergency overflow).
17. The WinSLAMM modeling of the east pond has an error. The plans show the underdrain elevated slightly from the bottom of the engineered soils whereas the model shows it at the base.
18. The WinSLAMM modeling of the west pond has several errors. The plans show the outlet to be elevated two feet from the base of the pond whereas the model shows it elevated three feet. The plans show the emergency overflow to be elevated four feet from the base of the pond whereas the model shows it elevated five feet.
19. The plans show the emergency outlet from the east pond at nearly the highest point of the embankment. It's recommended that this be relocated to the northwest corner of the pond to reduce the chances of catastrophic embankment failure.
20. The plans show the outlet from Inlet #4 entering the east pond at an angle. I recommend making this outlet perpendicular to the slope.
21. The plans show the outlet from the west pond entering the east pond without outlet protection.



CITY OF NEW RICHMOND  
THE CITY BEAUTIFUL

**City of New Richmond**  
156 East First Street ❖ New Richmond, WI 54017  
Phone: (715) 246-4268 ❖ Fax: (715) 246-7129

CITY ORDINANCE SECTION 117 & 121  
www.newrichmondwi.gov

- SITE PLAN/STORM WATER REVIEW FEE: \$250.00 ESCROW: \$1,500.00
- CONCEPT PLAN FEE: \$150.00 ESCROW: \$1,500.00
- CERTIFIED SURVEY MAP FEE: \$200.00 ESCROW: \$1,500.00
- AMENDED CERTIFIED SURVEY FEE: \$200.00 ESCROW: \$1,500.00

*Application fees should be made payable to City of New Richmond upon submittal of completed application. Escrow funds will be drawn to cover project-related costs. Additional funds may be required; surplus funds will be returned.*

Please complete the application by typing or printing in ink. Use additional paper if necessary.

**1. Property Owner Information:**

Company name: New Richmond Professional Partners, LLC

Last name: Brown First name: Regan

Address: 8401 Seasons Parkway City/State/Zip: Woodbury, MN 55125

Phone number: 651-233-2140 Email address: dr.brown@theoralsurgerycenter.com

**2. Applicant Information: (if different from above)**

Company name: \_\_\_\_\_

Last name: \_\_\_\_\_ First name: \_\_\_\_\_

Address: \_\_\_\_\_ City/State/Zip: \_\_\_\_\_

Phone number: \_\_\_\_\_ Email address: \_\_\_\_\_

**3. Address(es) of Property Involved: (if different from above)**

North 4th Street, New Richmond, WI 54017

**4. Zoning Designation: Z3 Multi-Use Corridor District**

**5. Statement of Intent:** Briefly describe what will be done on or with the property: \_\_\_\_\_  
Construction of a new 11,257 sf professional office building with site work, parking, landscaping  
and storm water retention.



# NEW RICHMOND PROFESSIONAL OFFICE BUILDING

NORTH 4TH STREET  
NEW RICHMOND, WISCONSIN



## PROJECT TEAM:

**OWNER:**  
NEW RICHMOND PROFESSIONAL PARTNERS, LLC  
8401 SEASONS PARKWAY  
WOODBURY, MINNESOTA 55125  
TEL. 651-233-2142  
CONTACT: MELISSA OLSON  
EMAIL: MOLSON@THEORAL

ST. CROIX KIDS PEDIATRIC DENTISTRY  
400 2ND STREET SOUTH, #250  
HUDSON, WI 54016  
TEL. 715-808-0460

**ARCHITECT:**  
JAMES A. STRAPKO, ARCHITECT, LTD.  
4157 MINNEHAHA AVENUE  
MINNEAPOLIS, MINNESOTA 55406  
TEL. 612-729-4112  
FAX 612-729-4831  
CONTACT: DIANE STRAPKO OR  
NATHAN RAUNER  
DPS@STRAPKO.COM  
NAR@STRAPKO.COM

**STRUCTURAL ENGINEER:**  
WENZEL ENGINEERING, INC.  
10100 MORGAN AVENUE SOUTH  
BLOOMINGTON, MINNESOTA 55431  
TEL. 952-888-6516  
FAX 952-888-2587  
CONTACT: STEVE RIVARD  
EMAIL: SRIVARD@WENZELENGINEERING.COM

**DESIGN-BUILD MEP ENGINEER**  
TIMPER ASSOCIATES ENGINEERS, LLC  
E5056 970TH AVE.  
WHEELER, WISCONSIN 54772  
TEL. 715-632-2523  
CONTACT: NAT TIMPER  
EMAIL: NTIMPER@TIMPERASSOCIATES.COM

**SURVEYOR: (UNDER SEPARATE CONTRACT)**  
AYRES ASSOCIATES  
3433 OAKWOOD HILLS PARKWAY  
EAU CLAIRE, WISCONSIN 54701-7698  
TEL. 715-834-3161  
CONTACT: JERRY RIPLEY  
EMAIL: RIPLEYJ@AYRESASSOCIATES.COM

**CIVIL ENGINEER: (UNDER SEPARATE CONTRACT)**  
CEDAR CORPORATION  
605 WILSON AVENUE  
MENOMONIE, WISCONSIN 54751  
TEL. 715-235-9081  
FAX 715-235-2727  
CONTACT: DENNIS BLAU  
EMAIL: DENNIS.BLAU@CEDARCORP.COM

## SHEET INDEX:

SHEET NUMBER	SHEET NAME
T1.0	TITLE SHEET

**ARCHITECTURAL**  
T1.0 TITLE SHEET

**CIVIL**  
C1.1 EXISTING CONDITIONS PLAN  
C1.2 SITE PLAN  
C1.3 GRADING PLAN  
C1.4 EROSION CONTROL PLAN  
C1.5 UTILITY PLAN  
C1.6 LANDSCAPE PLAN  
C1.7 SITE DETAILS  
C1.8 SITE DETAILS  
C1.9 SITE DETAILS  
1 of 1 AUTOTURN - FIRE DEPT. ACCESS PLAN

**MEP**  
E1 SITE LIGHTING PHOTOMETRIC ANALYSIS

**ARCHITECTURAL**  
A1.1a BUILDING PLAN, ROOF PLAN  
A1.1b PARTIAL BUILDING PLAN - COMMON AREAS & OMS SUITE  
A1.1c PARTIAL BUILDING PLAN - PEDIATRIC DENTAL SUITE  
A2.1 EXTERIOR ELEVATIONS REFUSE ENCLOSURE, SITE SIGNAGE  
A3.1 BUILDING SECTIONS

**ISSUED SEPARATELY**  
**SURVEYOR**  
1 of 1 MAP OF SURVEY



4157 MINNEHAHA AVENUE  
MINNEAPOLIS, MN 55406  
TEL 612-729-4112  
FAX 612-729-4831



*James A. Strapko*  
Exp. Date 7-31-2020

NEW RICHMOND PROFESSIONAL PARTNERS, LLC  
NORTH 4TH STREET  
NEW RICHMOND, WI

## WISCONSIN ENERGY CODE:

**WI COMMERCIAL ENERGY CODE - 2015 IECC WITH ASHRAE**  
THE FOLLOWING AREAS OF THE BUILDING ENVELOPE SHALL BE SEALED IN A PERMANENT MANNER TO MINIMIZE AIR LEAKAGE AT ALL EDGES, JOINTS, OPENINGS AND PENETRATIONS OF BOTH THE WEATHER-RESISTANT BARRIER ON THE EXTERIOR SIDE AND THE VAPOR RETARDER ON THE INTERIOR SIDE OF THE ASSEMBLY:

- JOINTS AROUND FENESTRATION AND DOOR FRAMES.
- JUNCTIONS BETWEEN WALLS AND FOUNDATIONS, BETWEEN WALLS AT BUILDING CORNERS, BETWEEN WALLS AND STRUCTURAL FLOORS OR ROOFS, AND BETWEEN WALLS AND ROOF OR WALL PANELS.
- OPENINGS AT PENETRATIONS OF UTILITY SERVICES THROUGH WALLS, ROOFS, AND FLOORS.
- SITE-BUILT FENESTRATION AND DOORS.
- BUILDING ASSEMBLIES USED AS DUCTS OR PLENUMS.
- JOINTS, SEAMS, AND PENETRATIONS OF VAPOR RETARDERS.
- ACROSS CONSTRUCTION, CONTROL, AND EXPANSION JOINTS.
- ACROSS JUNCTIONS BETWEEN DIFFERENT BUILDING ASSEMBLIES.
- AROUND ALL OTHER PENETRATIONS THROUGH THE BUILDING ENVELOPE.

### BUILDING ENVELOPE PRESCRIPTIVE APPROACH COMPLIANCE

2015 IECC  
 • 2009 IECC TABLES 502.2(1) & 502.1.2 FOR OPAQUE ASSEMBLIES FOR THE BUILDING ENVELOPE  
 • 2015 IECC VERSION FOR LIGHTING WITH WI AMMENDMENTS

ASHRAE 90.1-2013  
 • TABLES 5.5 FOR BUILDING ENVELOPE  
 • CHAPTER 6 FOR LIGHTING WITH WI AMMENDMENTS

### 2015 IECC CHAPTER 5

CLIMATE ZONE: 6  
**ROOFS**  
 • INSUL. ENTIRELY ABOVE DECK R-20ci  
**WALLS, ABOVE GRADE**  
 • METAL FRAMED R-13 + R-7.5ci  
**WALLS, BELOW GRADE**  
 • BELOW GRADE WALL R-7.5ci  
**FLOORS**  
 • STEEL / WOOD JOIST FRAMING R-30  
**SLAB-ON-GRADE FLOORS**  
 • UNHEATED R-10 for 24 in. below  
 • HEATED R-15 for 24 in. below

## PROJECT DATA:

**SCOPE OF WORK**  
NEW CONSTRUCTION FOR A PROFESSIONAL OFFICE BUILDING.

<b>PROJECT</b>	
PROPOSED GROSS BUILDING AREA:	11,257 SQ. FT.
<b>PROPOSED GROSS FLOOR AREA:</b>	
TENANT 1 - ORAL SURGERY OFFICE	3,752 SQ. FT.
TENANT 2 - PEDIATRIC DENTAL	3,752 SQ. FT.
TENANT 3 - TO BE DETERMINED	1,898 SQ. FT.
COMMON AREAS	1,225 SQ. FT.
<b>PROPOSED OCCUPANCY TYPE:</b>	B
<b>CONSTRUCTION TYPE:</b>	IIIB
<b>AUTOMATIC SPRINKLER SYSTEM:</b>	YES
<b>FIRE ALARM SYSTEM:</b>	YES
<b>PROPOSED HEIGHT:</b>	1 STORY, 30 FEET



## LOCATION MAP

NOT TO SCALE

PRELIMINARY - NOT FOR CONSTRUCTION

PROJ. NO: 00-2019-01

DRAWN BY: NAR

CHECKED BY: JAS

ISSUE SCHEDULE

NO.	DESCRIPTION	DATE
1	Site Plan Review	7-03-2019

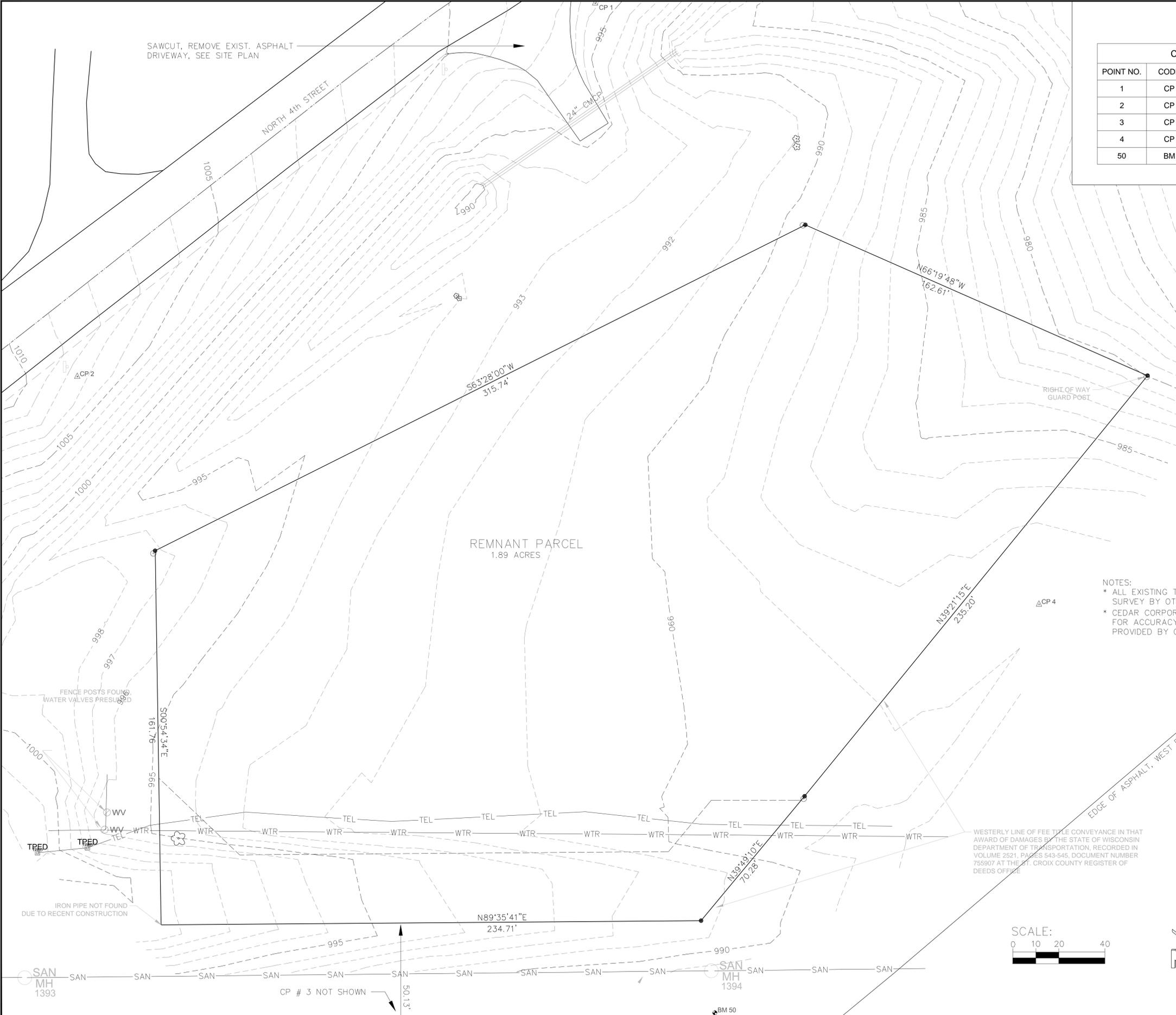
REVISION SCHEDULE

DESCRIPTION	DATE
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TITLE SHEET

# T1.0

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SAWCUT, REMOVE EXIST. ASPHALT DRIVEWAY, SEE SITE PLAN

REMNANT PARCEL  
1.89 ACRES

CONTROL / BENCHMARK POINT DATA

POINT NO.	CODE	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	CP	399206.03	562303.43	996.33	120 SPIKE
2	CP	399044.47	562078.36	1007.70	120 SPIKE
3	CP	398757.96	562221.27	991.05	120 SPIKE
4	CP	398945.90	562496.37	988.97	120 SPIKE
50	BM			990.65	SPIKE IN PP

LEGEND

- ⊙ww WATER VALVE
- ⊔ SIGN
- ⊓ TPED TELEPHONE PED
- ⊗ DECIDUOUS TREE W/ SIZE
- T — UNDERGROUND TELEPHONE
- W — UNDERGROUND WATER LINE
- SAN — UNDERGROUND SANITARY
- — PROPERTY LINE (APPROXIMATE)
- — EXISTING CENTERLINE
- CONTROL POINT (SEE TABLE)
- BENCHMARK (SEE TABLE)
- ⊓ FOUND IRON PIPE (W/ DESC)

NOTES:  
 \* ALL EXISTING TOPOGRAPHIC MAP & SURVEY BY OTHER.  
 \* CEDAR CORPORATION IS NOT RESPONSIBLE FOR ACCURACY ON INFORMATION PROVIDED BY OTHERS.

NOTE:  
 ANY DEPICTION OF THE PROPERTY LINES, RIGHT OF WAY LINES, OR EASEMENT LINES WITHIN THIS DOCUMENT ARE FOR GENERAL USE ONLY AND SHOULD NOT BE RELIED UPON FOR ANY PURPOSE OTHER THAN GENERAL INFORMATION. IF ACTUAL PROPERTY BOUNDARY LINES, RIGHT OF WAY LINES, OR EASEMENT LINES ARE NECESSARY, THAT LEVEL OF SERVICE MAY REQUIRE ADDITIONAL RESEARCH, FIELD WORK, COMPUTATIONS, AND PREPARATION OF A SURVEY DRAWING TO BE FILED OF RECORD.

CIVIL DRAWING INDEX

C1.1	EXISTING SITE CONDITIONS
C1.2	SITE PLAN
C1.3	GRADING PLAN
C1.4	EROSION CONTROL PLAN
C1.5	UTILITY PLAN
C1.6	LANDSCAPE PLAN
C1.7	SITE DETAILS
C1.8	SITE DETAILS
C1.9	SITE DETAILS



EXISTING SITE CONDITIONS

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CHECKED BY R K
DATE JULY 1, 2019
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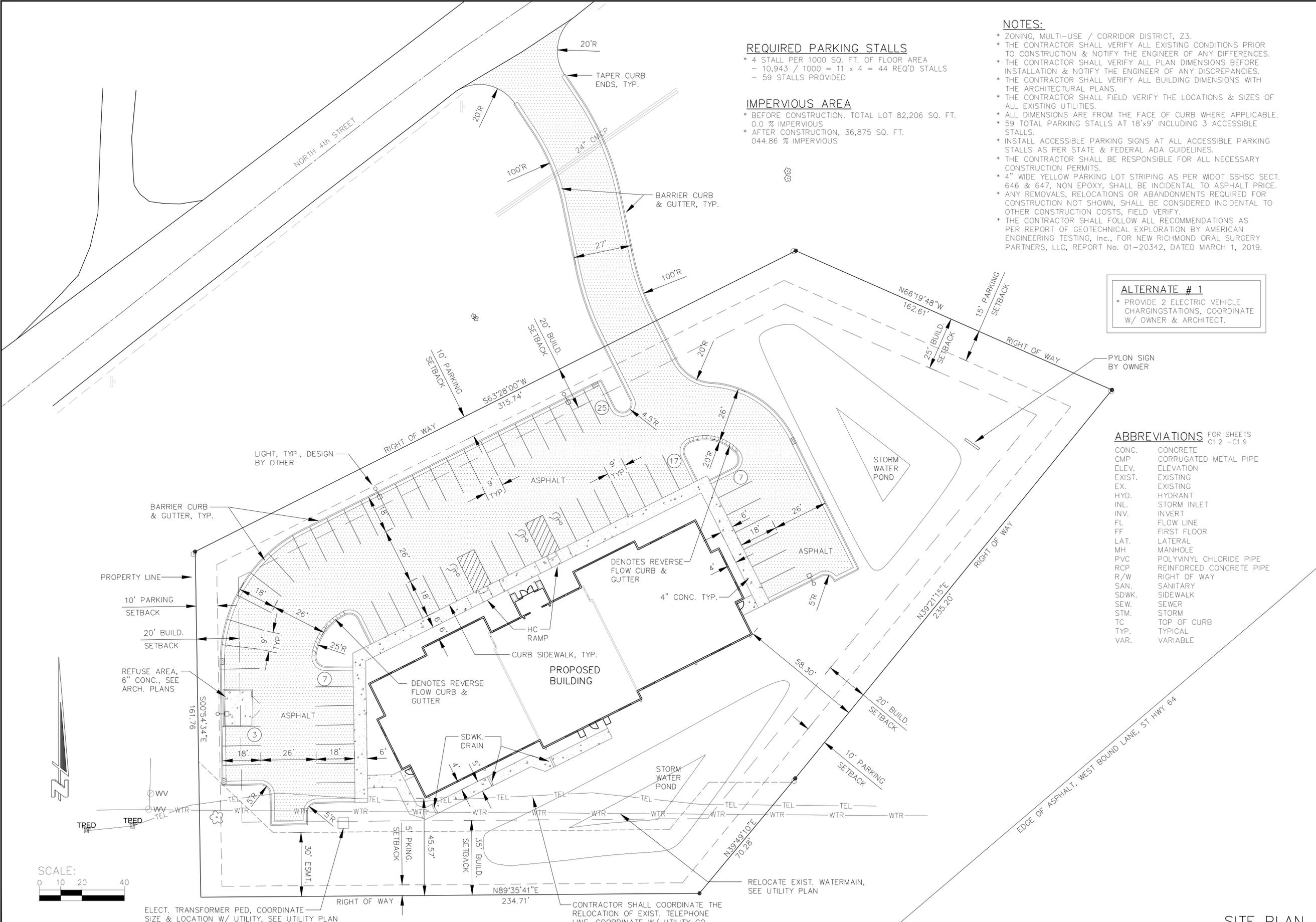
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SHEET NO.  
**C1.1**

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**REQUIRED PARKING STALLS**  
 \* 4 STALL PER 1000 SQ. FT. OF FLOOR AREA  
 - 10,943 / 1000 = 11 x 4 = 44 REQ'D STALLS  
 - 59 STALLS PROVIDED

**IMPERVIOUS AREA**  
 \* BEFORE CONSTRUCTION, TOTAL LOT 82,206 SQ. FT.  
 0.0 % IMPERVIOUS  
 \* AFTER CONSTRUCTION, 36,875 SQ. FT.  
 044.86 % IMPERVIOUS

**NOTES:**

- \* ZONING, MULTI-USE / CORRIDOR DISTRICT, Z3.
- \* THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION & NOTIFY THE ENGINEER OF ANY DIFFERENCES.
- \* THE CONTRACTOR SHALL VERIFY ALL PLAN DIMENSIONS BEFORE INSTALLATION & NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- \* THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS WITH THE ARCHITECTURAL PLANS.
- \* THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS & SIZES OF ALL EXISTING UTILITIES.
- \* ALL DIMENSIONS ARE FROM THE FACE OF CURB WHERE APPLICABLE.
- \* 59 TOTAL PARKING STALLS AT 18'x9' INCLUDING 3 ACCESSIBLE STALLS.
- \* INSTALL ACCESSIBLE PARKING SIGNS AT ALL ACCESSIBLE PARKING STALLS AS PER STATE & FEDERAL ADA GUIDELINES.
- \* THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY CONSTRUCTION PERMITS.
- \* 4" WIDE YELLOW PARKING LOT STRIPING AS PER WDOT SSHSC SECT. 646 & 647, NON EPOXY, SHALL BE INCIDENTAL TO ASPHALT PRICE.
- \* ANY REMOVALS, RELOCATIONS OR ABANDONMENTS REQUIRED FOR CONSTRUCTION NOT SHOWN, SHALL BE CONSIDERED INCIDENTAL TO OTHER CONSTRUCTION COSTS, FIELD VERIFY.
- \* THE CONTRACTOR SHALL FOLLOW ALL RECOMMENDATIONS AS PER REPORT OF GEOTECHNICAL EXPLORATION BY AMERICAN ENGINEERING TESTING, Inc., FOR NEW RICHMOND ORAL SURGERY PARTNERS, LLC, REPORT No. 01-20342, DATED MARCH 1, 2019.

**ALTERNATE # 1**  
 \* PROVIDE 2 ELECTRIC VEHICLE CHARGING STATIONS, COORDINATE W/ OWNER & ARCHITECT.

**ABBREVIATIONS FOR SHEETS C1.2 - C1.9**

CONC.	CONCRETE
CMP	CORRUGATED METAL PIPE
ELEV.	ELEVATION
EXIST.	EXISTING
EX.	EXISTING
HYD.	HYDRANT
INL.	STORM INLET
INV.	INVERT
FL	FLOW LINE
FF	FIRST FLOOR
LAT.	LATERAL
MH	MANHOLE
PVC	POLYVINYL CHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
R/W	RIGHT OF WAY
SAN.	SANITARY
SDWK.	SIDEWALK
SEW.	SEWER
STM.	STORM
TC	TOP OF CURB
TYP.	TYPICAL
VAR.	VARIABLE



ELECT. TRANSFORMER PED, COORDINATE SIZE & LOCATION W/ UTILITY, SEE UTILITY PLAN

CONTRACTOR SHALL COORDINATE THE RELOCATION OF EXIST. TELEPHONE LINE, COORDINATE W/ UTILITY CO.

RELOCATE EXIST. WATERMAIN, SEE UTILITY PLAN

**SITE PLAN**

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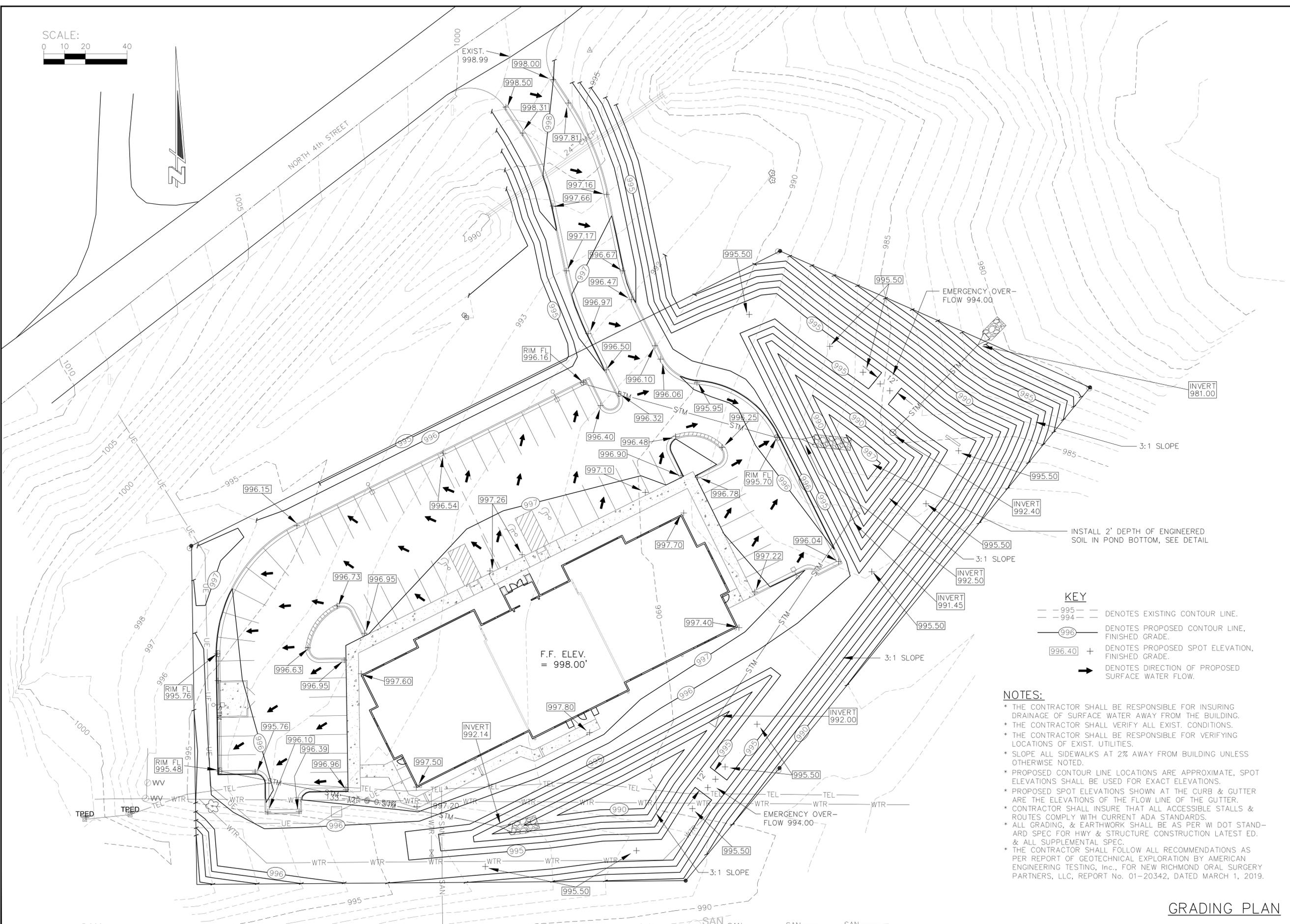
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SHEET NO.  
**C1.2**

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- KEY**
- 995 --- DENOTES EXISTING CONTOUR LINE.
  - 994 --- DENOTES PROPOSED CONTOUR LINE, FINISHED GRADE.
  - 996 DENOTES PROPOSED SPOT ELEVATION, FINISHED GRADE.
  - 996.40 + DENOTES PROPOSED SPOT ELEVATION, FINISHED GRADE.
  - ➔ DENOTES DIRECTION OF PROPOSED SURFACE WATER FLOW.

- NOTES:**
- \* THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING DRAINAGE OF SURFACE WATER AWAY FROM THE BUILDING.
  - \* THE CONTRACTOR SHALL VERIFY ALL EXIST. CONDITIONS.
  - \* THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF EXIST. UTILITIES.
  - \* SLOPE ALL SIDEWALKS AT 2% AWAY FROM BUILDING UNLESS OTHERWISE NOTED.
  - \* PROPOSED CONTOUR LINE LOCATIONS ARE APPROXIMATE, SPOT ELEVATIONS SHALL BE USED FOR EXACT ELEVATIONS.
  - \* PROPOSED SPOT ELEVATIONS SHOWN AT THE CURB & GUTTER ARE THE ELEVATIONS OF THE FLOW LINE OF THE GUTTER.
  - \* CONTRACTOR SHALL INSURE THAT ALL ACCESSIBLE STALLS & ROUTES COMPLY WITH CURRENT ADA STANDARDS.
  - \* ALL GRADING, & EARTHWORK SHALL BE AS PER WI DOT STANDARD SPEC FOR HWY & STRUCTURE CONSTRUCTION LATEST ED. & ALL SUPPLEMENTAL SPEC.
  - \* THE CONTRACTOR SHALL FOLLOW ALL RECOMMENDATIONS AS PER REPORT OF GEOTECHNICAL EXPLORATION BY AMERICAN ENGINEERING TESTING, Inc., FOR NEW RICHMOND ORAL SURGERY PARTNERS, LLC, REPORT No. 01-20342, DATED MARCH 1, 2019.

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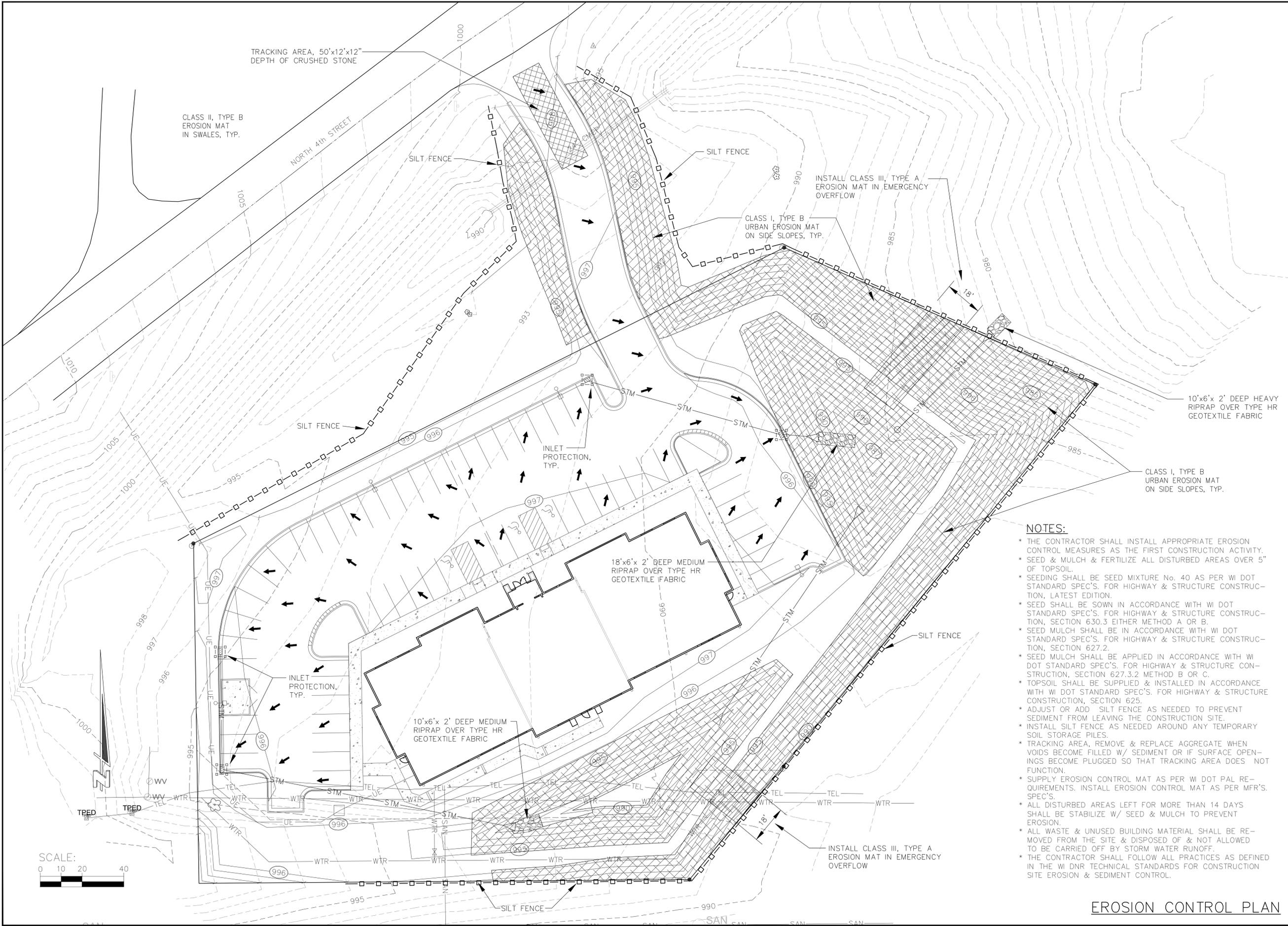
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**C1.3**

**GRADING PLAN**

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**NOTES:**

- \* THE CONTRACTOR SHALL INSTALL APPROPRIATE EROSION CONTROL MEASURES AS THE FIRST CONSTRUCTION ACTIVITY.
- \* SEED & MULCH & FERTILIZE ALL DISTURBED AREAS OVER 5' OF TOPSOIL.
- \* SEEDING SHALL BE SEED MIXTURE No. 40 AS PER WI DOT STANDARD SPEC'S. FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION.
- \* SEED SHALL BE SOWN IN ACCORDANCE WITH WI DOT STANDARD SPEC'S. FOR HIGHWAY & STRUCTURE CONSTRUCTION, SECTION 630.3 EITHER METHOD A OR B.
- \* SEED MULCH SHALL BE IN ACCORDANCE WITH WI DOT STANDARD SPEC'S. FOR HIGHWAY & STRUCTURE CONSTRUCTION, SECTION 627.2.
- \* SEED MULCH SHALL BE APPLIED IN ACCORDANCE WITH WI DOT STANDARD SPEC'S. FOR HIGHWAY & STRUCTURE CONSTRUCTION, SECTION 627.3.2 METHOD B OR C.
- \* TOPSOIL SHALL BE SUPPLIED & INSTALLED IN ACCORDANCE WITH WI DOT STANDARD SPEC'S. FOR HIGHWAY & STRUCTURE CONSTRUCTION, SECTION 625.
- \* ADJUST OR ADD SILT FENCE AS NEEDED TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION SITE.
- \* INSTALL SILT FENCE AS NEEDED AROUND ANY TEMPORARY SOIL STORAGE PILES.
- \* TRACKING AREA, REMOVE & REPLACE AGGREGATE WHEN VOIDS BECOME FILLED W/ SEDIMENT OR IF SURFACE OPENINGS BECOME PLUGGED SO THAT TRACKING AREA DOES NOT FUNCTION.
- \* SUPPLY EROSION CONTROL MAT AS PER WI DOT PAL REQUIREMENTS. INSTALL EROSION CONTROL MAT AS PER MFR'S SPEC'S.
- \* ALL DISTURBED AREAS LEFT FOR MORE THAN 14 DAYS SHALL BE STABILIZE W/ SEED & MULCH TO PREVENT EROSION.
- \* ALL WASTE & UNUSED BUILDING MATERIAL SHALL BE REMOVED FROM THE SITE & DISPOSED OF & NOT ALLOWED TO BE CARRIED OFF BY STORM WATER RUNOFF.
- \* THE CONTRACTOR SHALL FOLLOW ALL PRACTICES AS DEFINED IN THE WI DNR TECHNICAL STANDARDS FOR CONSTRUCTION SITE EROSION & SEDIMENT CONTROL.

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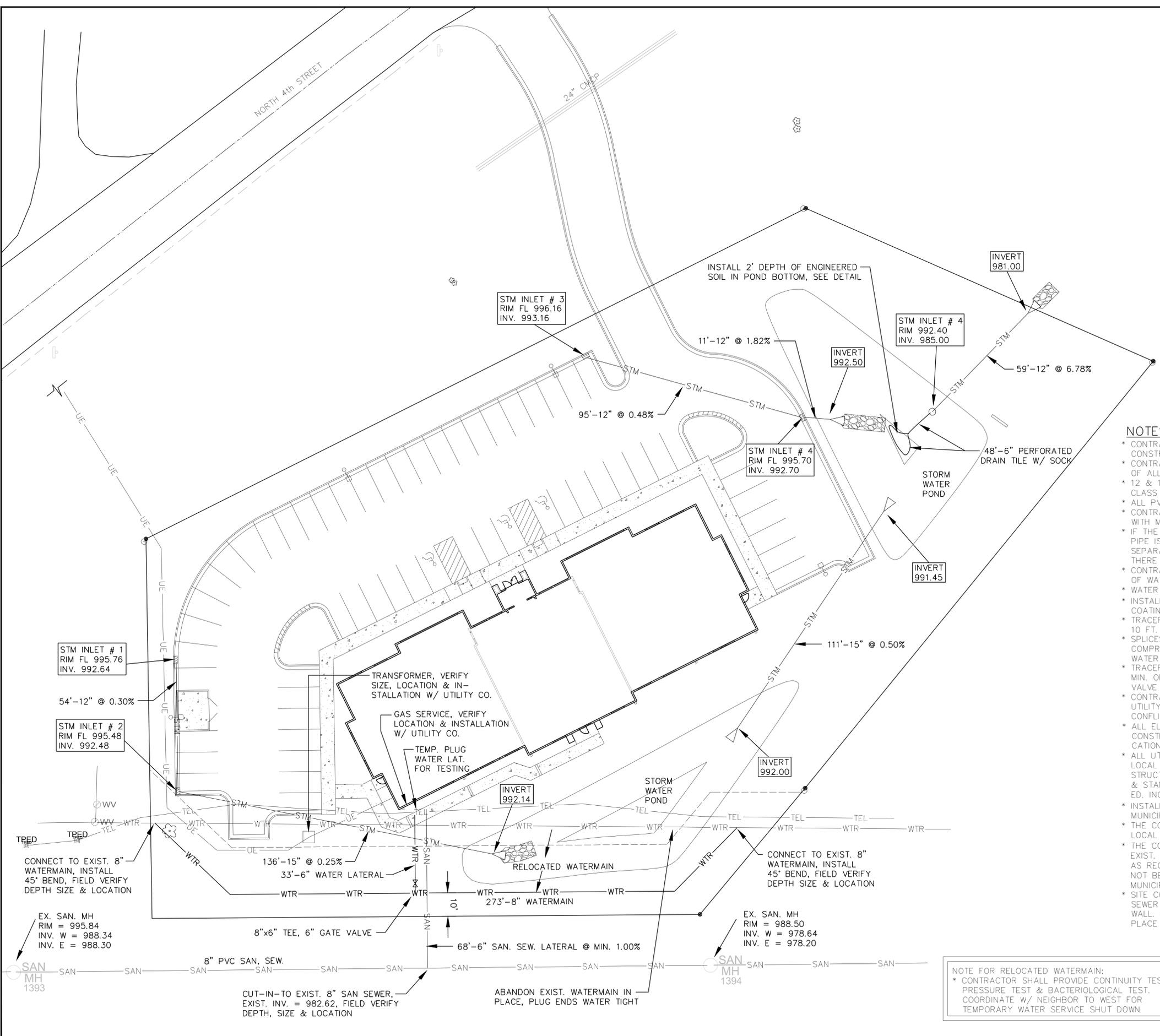
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**EROSION CONTROL PLAN**

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**ALTERNATE # 1**  
\* PROVIDE 2 ELECTRIC VEHICLE CHARGING STATIONS, COORDINATE W/ OWNER & ARCHITECT.

- NOTES:**
- \* CONTRACTOR SHALL LOCATE ALL EXIST. UTILITIES IN & AROUND CONSTRUCTION AREA.
  - \* CONTRACTOR SHALL FIELD VERIFY DEPTHS, LOCATIONS & SIZES OF ALL EXIST. UTILITIES, LOCATIONS ARE APPROXIMATE.
  - \* 12 & 15" STORM SEWER PIPE SHALL BE REINFORCED CONCRETE, CLASS 5.
  - \* ALL PVC SANITARY SEWER PIPES SHALL BE SDR. 35.
  - \* CONTRACTOR SHALL COORDINATE SEW. & WTR. CONNECTIONS WITH MUNICIPALITY.
  - \* IF THE WATERMAIN OR WATER LATERAL PIPE CROSSING A SEWER PIPE IS BELOW THE SEWER PIPE, THERE SHALL BE AN 18" MIN. SEPARATION, IF THE WATER PIPE IS ABOVE THE SEWER PIPE, THERE SHALL BE A 12" MIN. SEPARATION.
  - \* CONTRACTOR SHALL MAINTAIN A MIN. OF 8' COVER OVER TOP OF WATERMAIN & WATER LATERAL.
  - \* WATER MAIN & LATERAL SHALL BE DUCTILE IRON, CLASS 52.
  - \* INSTALL 12 GAUGE SOLID COPPER TRACER WIRE W/ PLASTIC COATING ON TOP OF ALL PLASTIC SEWER & WATER PIPES.
  - \* TRACER WIRE SHALL BE ATTACHED TO PLASTIC PIPE EVERY 10 FT. & AT EVERY BEND.
  - \* SPLICES IN TRACER WIRE SHALL BE MADE W/ SPLIT BOLT OR COMPRESSION-TYPE CONNECTORS. ALL SPLICES SHALL BE WATER PROOF.
  - \* TRACER WIRE SHALL HAVE ACCESS POINTS TO GRADE AT A MIN. OF EVERY 300' W/ VAULTS, CLEANOUTS, MANHOLES, VALVE BOXES OR OTHER COVERED ACCESS.
  - \* CONTRACTOR SHALL VERIFY LOCATIONS & ELEVATIONS FOR ALL UTILITY CROSSINGS (EXIST. & PROP.) TO ELIMINATE POSSIBLE CONFLICTS. REPORT ANY CONFLICTS TO ARCHITECT IMMEDIATELY.
  - \* ALL ELECTRIC, TELEPHONE & GAS SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY CO. SPECS. LOCATIONS SHALL BE COORDINATED W/ APPROPRIATE UTILITY CO.
  - \* ALL UTILITIES SHALL BE INSTALLED ACCORDING TO STATE & LOCAL REQUIREMENTS, WI DOT STANDARD SPEC FOR HWY & STRUCTURE CONSTRUCTION LATEST ED. & ALL SUPPLEMENTALS & STANDARD SPEC FOR SEWER & WATER CONST. IN WI LATEST ED. INCLUDING ALL ADDENDUMS & REVISIONS.
  - \* INSTALL TRAFFIC CONTROL & TEMP. DETOUR AS PER MUTCD & MUNICIPALITIES REQUIREMENTS.
  - \* THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICABLE LOCAL & STATE PERMITS AND PERMITS FEES.
  - \* THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXIST. UTILITIES. REMOVE, ABANDON, RELOCATE EXIST. UTILITIES AS REQUIRED, FIELD VERIFY. ALL UNDERGROUND UTILITIES MAY NOT BE SHOWN, FIELD VERIFY W/ DIGGERS HOTLINE, OWNER & MUNICIPALITY.
  - \* SITE CONTRACTOR SHALL INSTALL SANITARY SEWER, STORM SEWER AND WATER LATERALS 5' FROM BUILDING FOUNDATION WALL. CONTRACTOR SHALL CONNECT TO LATERAL STUBS IF IN PLACE BY BUILDING PLUMBING CONTRACTOR.

**NOTE FOR RELOCATED WATERMAIN:**  
\* CONTRACTOR SHALL PROVIDE CONTINUITY TEST, PRESSURE TEST & BACTERIOLOGICAL TEST. COORDINATE W/ NEIGHBOR TO WEST FOR TEMPORARY WATER SERVICE SHUT DOWN

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UTILITY PLAN



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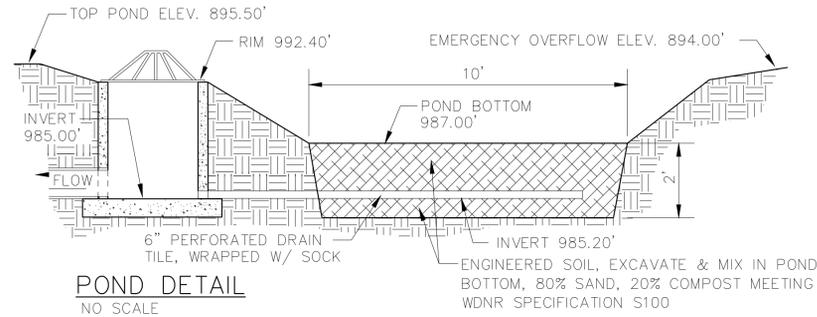
**PLANTING SCHEDULE**

KEY	QTY.	COMMON NAME	BOTANIC NAME	SIZE	ROOT	REMARKS
ABM	2	AUTUMN BLAZE MAPLE	ACER x FREEMANII JEFFERSRED'	3,1/2" DIA.	B&B	FULL
GL	2	GREENSPIRE LINDEN	TILIA CORDATA 'GREENSPIRE'	2,1/2" DIA.	B&B	FULL
SH	2	SKYLINE HONEYLOCUST	GLEDITSIA TRIACANTHOS INTERMIS 'SKYCOLE'	2,1/2" DIA.	B&B	FULL
SWO	2	SWAMP WHITE OAK	QUERCUS BICOLOR	2,1/2" DIA.	B&B	FULL
HB	2	HACKBERRY	CELTIS OCCIDENTALIS	2,1/2" DIA.	B&B	FULL
WG	33	WOODWARD GLOBE ARBORVITAE	TUJA OCCIDENTALIS 'WOODWARDII'	18" HT.	#3 CONT.	FULL GLOBE
AJ	6	ANDORRA JUNIPER	JUNIPERUS HORIZONTALIS 'COMPACTA'	24" SP.	#5 CONT.	FULL
AM	7	AUTUMN MAGIC BLACK CHOKEBERRY	AROMIA MELANOCARPA 'AUTUMN MAGIC'	18" HT.	#3 CONT.	FULL
AW	15	ANTHONY WATERER SPIREA	SPIREA x BUMALDA 'ANTHONY WATERER'	18" HT.	#3 CONT.	FULL
GFS	18	GOLDFLAME SPIREA	SPIREA x BUMALDA 'GOLDFLAME'	18" HT.	#3 CONT.	FULL
JW	10	JAPANESE WHITE SPIREA	SPIREA ALBIFLORA	12" HT.	#3 CONT.	
PJM	4	P.J.M. RHODODENDRON	RHODODENDRON 'P.J.M.'	18" HT.	#3 CONT.	FULL
GD	22	GOLD DROP POTENTILLA	POTENTILLA FRUTICOSA 'GOLD DROP'	12" HT.	#3 CONT.	
SDL	14	STELLA d' ORO DAYLILLY	HEMEROCALLIS 'STELLA	8" HT.	# 1 CONT.	FULL
AJS	8	AUTUMN JOY SEDUM	SEDUM SPECTABILE 'AUTUMN JOY'	12" SP.	#1 CONT.	FULL

**LANDSCAPE NOTES:**

- \* THE CONTRACTOR SHALL VERIFY ALL EXIST. CONDITIONS.
- \* THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF EXIST. UTILITIES.
- \* USE GEOTEXTILE FABRIC WEED BARRIER UNDER ALL PLANTING BED MULCH UNLESS OTHERWISE NOTED. FABRIC WEED BARRIER SHALL CONFORM TO W DOT SSHSC SECT. 632.
- \* USE 1-1/2" WASHED AGGREGATE STONE MULCH IN PLANTING BEDS, 3" DEPTH. STONE MULCH SHALL BE CLEAN, & FREE FROM DELETERIOUS MATERIALS, STICKS, STONES, NOXIOUS WEEDS, SALT & FINE SILTS, CLAYS OR TOPSOIL.
- \* USE SHREDDED BARK MULCH AT ALL SINGULARLY PLANTED TREES, MIN. 3" DEPTH, 4" DIA.
- \* USE SHREDDED BARK MULCH IN ALL PERENNIAL BEDS, NO WEED BARRIER, 3" DEPTH.
- \* INSTALL 18" OF PLANTING SOIL IN ALL PERENNIAL BEDS.
- \* TOP OF MULCH IN PLANTING BEDS SHALL BE EVEN W/ TOP OF SURROUNDING SURFACES.
- \* IF DISCREPANCIES OCCUR, PLANT QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER PLANTING SCHEDULE.
- \* ALL PLANTS SHALL BE "SPECIMEN GRADE" AS PER AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
- \* ALL PLANT MATERIAL SHALL HAVE A ONE YEAR WARRANTY AGAINST DEATH & UNHEALTHY CONDITION, EXCEPT AS A RESULT OF NEGLIGENCE BY OWNER, DAMAGE BY OTHERS & UNUSUAL PHENOMENA BEYOND CONTRACTOR'S CONTROL. PLANT WARRANTY SHALL BEGIN ON THE DATE OF FINAL ACCEPTANCE OF THE PROJECT.
- \* ALL PLANTS SHALL CONFORM TO THE VARIETIES SPECIFIED IN THE PLANT LIST & SHALL BE TRUE TO BOTANICAL NAME AS IN HORTUS THIRDS.
- \* ALL PLANTS INCLUDING THEIR ROOTS SHALL BE FREE FROM DISEASE INSECTS & OTHER INJURIOUS QUALITIES & SHALL BE WELL FORMED, FULL, IN A HEALTHY VIGOROUS GROWING CONDITION, REAR OR AT SPECIMEN QUALITY.

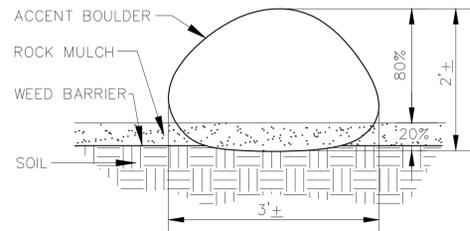
- \* ALL PLANTS SHALL BE SUBJECT TO INSPECTION BY THE OWNERS REPRESENTATIVE UPON DELIVERY. ANY PLANTS DEEMED NOT ACCEPTABLE BY THE OWNERS REPRESENTATIVE SHALL BE REMOVED FROM THE SITE & REPLACED WITH ACCEPTABLE MATERIAL.
- \* ANY ADDITIONAL TOPSOIL NEEDED FOR INSTALLING THE TREES & SHRUBS AS PER THE PLANTING DETAIL SHALL BE CONSIDERED INCIDENTAL TO THE PLANT MATERIAL PRICE.
- \* TOPSOIL SHALL CONSIST OF A HUMUS-BEARING LOAM ADAPTED TO SUSTAIN VIGOROUS GRASS GROWTH FREE FROM DELETERIOUS MATERIALS W/ A Ph RANGE OF 6.0 TO 7.0. TOPSOIL NOT MEETING THESE REQUIREMENTS SHALL BE AMENDED AT NO ADDITIONAL COST.
- \* PLANTING SOIL SHALL CONSIST OF 50% CLEAN, FERTILE FRIABLE NATURAL LOAM FREE FROM DELETERIOUS MATERIALS WITH A Ph VALUE BETWEEN 6.0 % 7.0 MIXED WITH ONE POUND OF 10-6-4 FERTILIZER PER CUBIC YARD OF TOPSOIL; THEN ADD 25% PEAT MOSS & 25% CLEAN COURSE SAND. MIX ALL COMPONENTS THOROUGHLY BEFORE BACKFILLING.
- \* SHREDDED BARK MULCH SHALL BE FRESHLY SHREDDED HARDWOOD BARK FREE FROM DELETERIOUS MATERIALS, STICKS, STONES, NOXIOUS WEEDS, SALT & OTHER MATERIALS HARMFUL TO PLANT GROWTH. SHREDDED BARK MULCH SHALL BE EITHER COMPOSTED OR TREATED WITH NITROGEN TO COMPENSATE FOR SUCH LOSS IN DECOMPOSITION.
- \* ANY PLANTS DELIVERED TO THE PROJECT SITE THAT ARE NOT INSTALLED THE SAME DAY SHALL BE "HEALED IN" W/ TOPSOIL, WOOD CHIPS, SHREDDED BARK, OR SAWDUST & ADEQUATELY WATERED UNTIL SUCH TIME THE PLANTS CAN BE INSTALLED.
- \* CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING ALL PLANT MATERIAL INCLUDING GRASS OR SOD FOR TWO WEEKS AFTER FINAL ACCEPTANCE OF PROJECT. WATER SHALL BE PROVIDED IN AN ADEQUATE AMOUNT TO SUSTAIN VIGOROUS PLANT GROWTH.



**POND DETAIL**  
NO SCALE

**NOTES:**

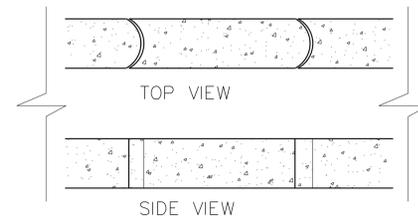
- \* THE CONTRACTOR SHALL NOT DRIVE ANY HEAVY EQUIPMENT ON OR AROUND THE POND BOTTOM.
- \* NO TOPSOIL, SEED OR MULCH ON POND BOTTOM.



**ACCENT BOULDER INSTALLATION DETAIL**  
NO SCALE

**NOTES:**

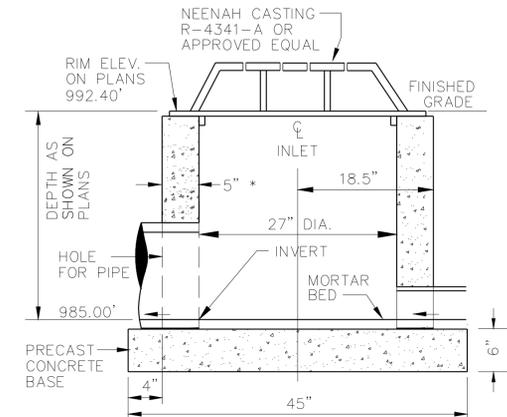
- \* BURY APPROX. 20% OF ACCENT BOULDER.
- \* THE BOULDERS SHALL BE NATIVE TO THE REGION & FREE FROM BREAKS, CRACKS & SCARS FROM HANDLING EQUIPMENT.
- \* ALL BOULDERS SHALL BE APPROVED BY LANDSCAPE ARCHITECT OR ENGINEER. ALL BOULDERS DEEMED NOT UNACCEPTABLE SHALL BE REPLACED W/ AN ACCEPTABLE BOULDER.



**BULLET EDGER**  
NO SCALE

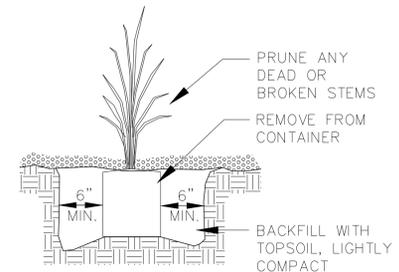
**NOTES:**

- \* BULLET EDGER, 3-5/8"x11-3/4"x3-5/8"HT.
- \* BULLET EDGER SHALL BE GRAY IN COLOR.
- \* INSTALL TOP OF CONCRETE BULLET EDGER FLUSH W/ FINISHED GRADE.

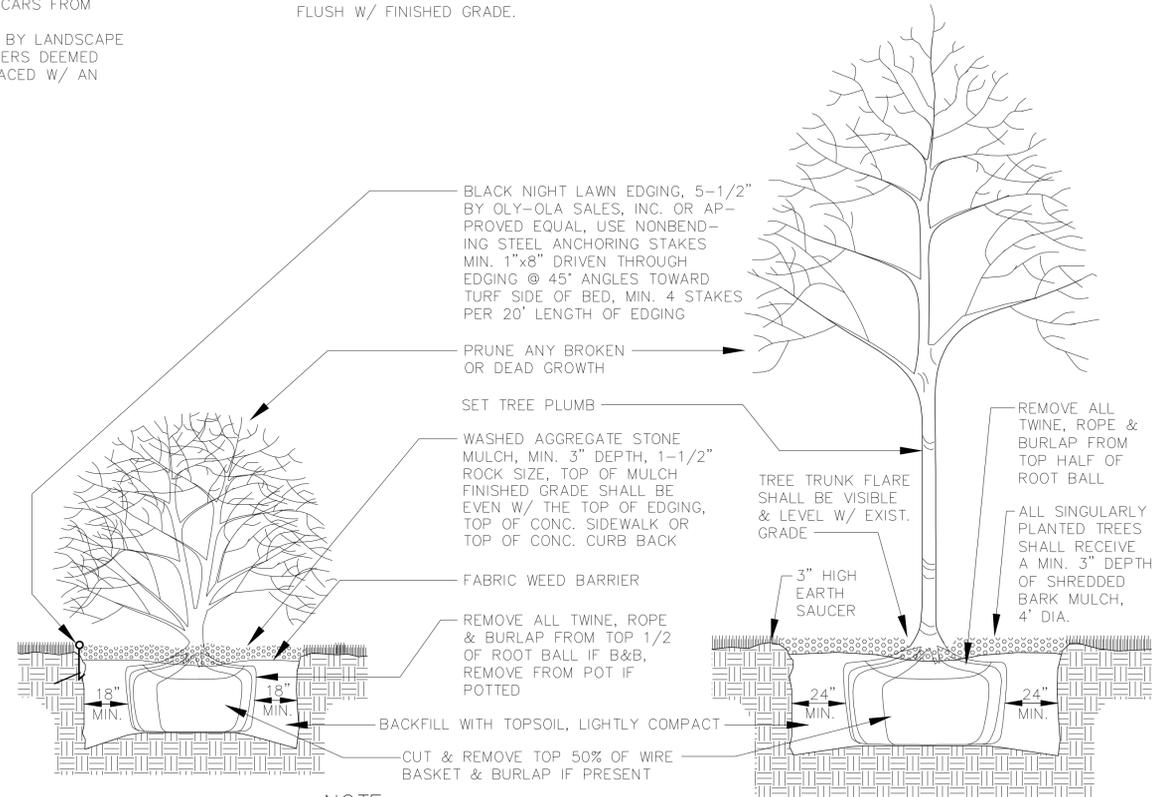


**INLET # 5** NO SCALE

- \* 6" MIN. THICKNESS FOR NONREINFORCED CONC. WALL OR WHEN USING CONCRETE BLOCK



**PERENNIAL, GRASS & VINE PLANTING DETAIL**  
NO SCALE



**NOTE:**

ALL PLANT MATERIAL SHALL BE IN ACCORDANCE WITH ANSI Z60.1, LATEST ADDITION.

**TREE & SHRUB PLANTING DETAIL**  
NO SCALE

**SITE DETAILS**

JOB NO. N6156-01
BOOK NO. BY OTHER
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CHECKED BY R K
DATE JULY 1, 2019
REVISIONS
REFERENCE FILE
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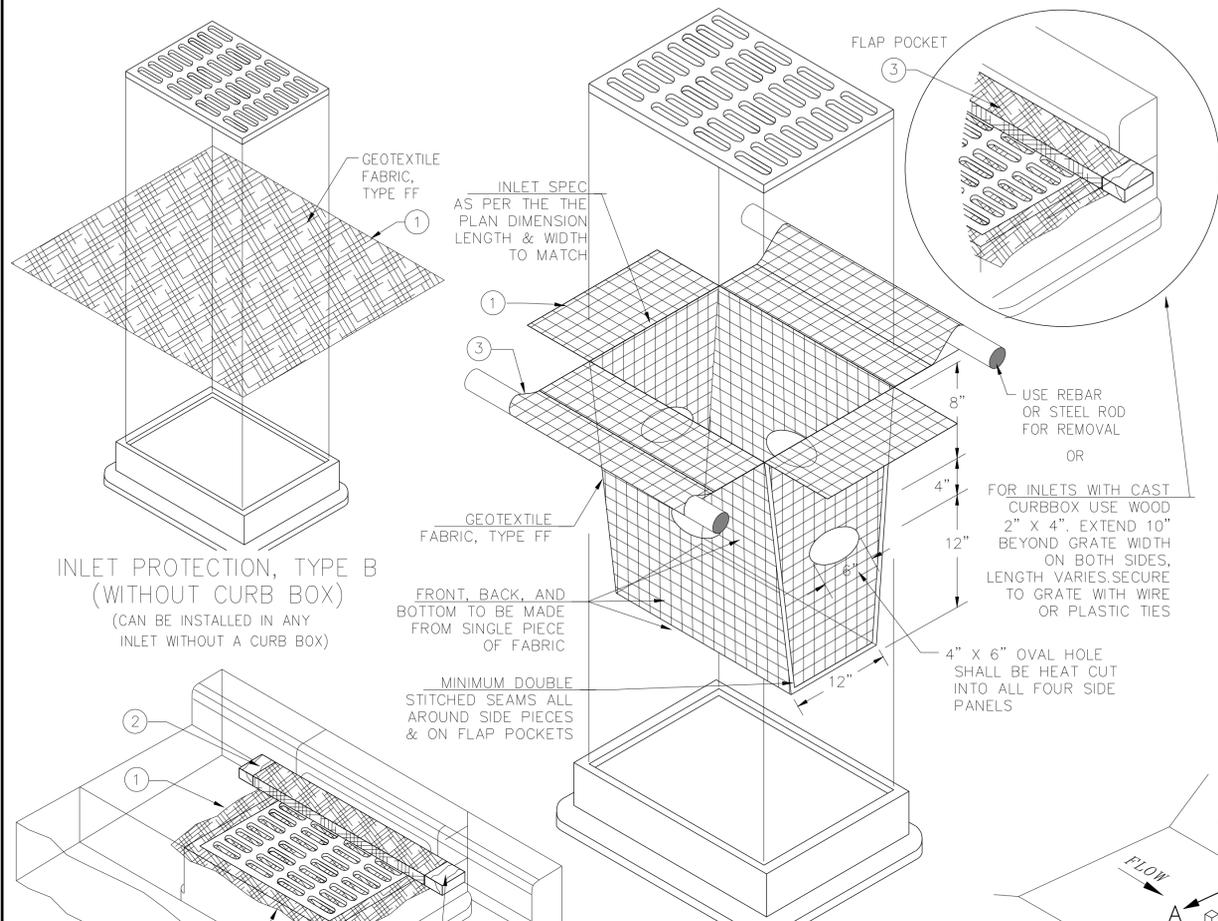
2820 Walton Commons West  
 Madison, WI 53718  
 608-354-0037  
 800-472-7372  
 www.cedarcorp.com

1496 Bellevue Street  
 Green Bay, WI 54311  
 920-491-9081  
 FAX 920-491-9020

**NEW RICHMOND PROFESSIONAL OFFICE CENTER**  
**NEW RICHMOND ORAL SURGERY PARTNERS, LLC**  
 NORTH 4th STREET  
 NEW RICHMOND, WI



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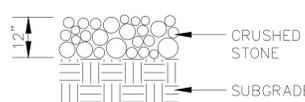
**INLET PROTECTION, TYPE B (WITHOUT CURB BOX)**  
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)

**INLET PROTECTION, TYPE D**  
(CAN BE INSTALLED IN ANY INLET TYPE WITH OR WITHOUT A CURB BOX AS PER NOTE ②)

**INLET PROTECTION, TYPE C INSTALLATION NOTES**

**TYPE B & C**  
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

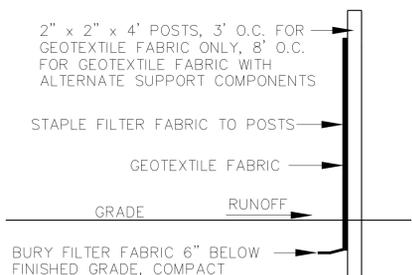
**TYPE D**  
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALL AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.



**TRACKING AREA** NO SCALE

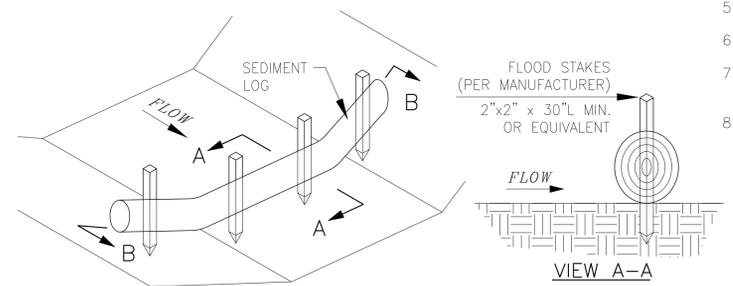
NOTES: \* SUPPLY CRUSHED STONE AS PER WI DNR STANDARD, 1057, TRACKOUT CONTROL PRACTICES.

\* REMOVE & REPLACE STONE WHEN VOIDS BECOME FILLED W/ SEDIMENT OR IF SURFACE OPENINGS BECOME PLUGGED SO THAT TRACKING AREA DOES NOT FUNCTION.

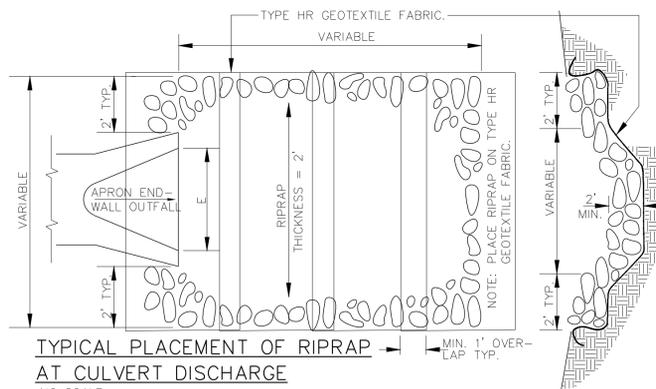


**SILT FENCE DETAIL**

NOTES: NO SCALE  
\* SILT FENCE SHALL BE SUPPLIED & INSTALLED AS PER THE WI DOT STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION.

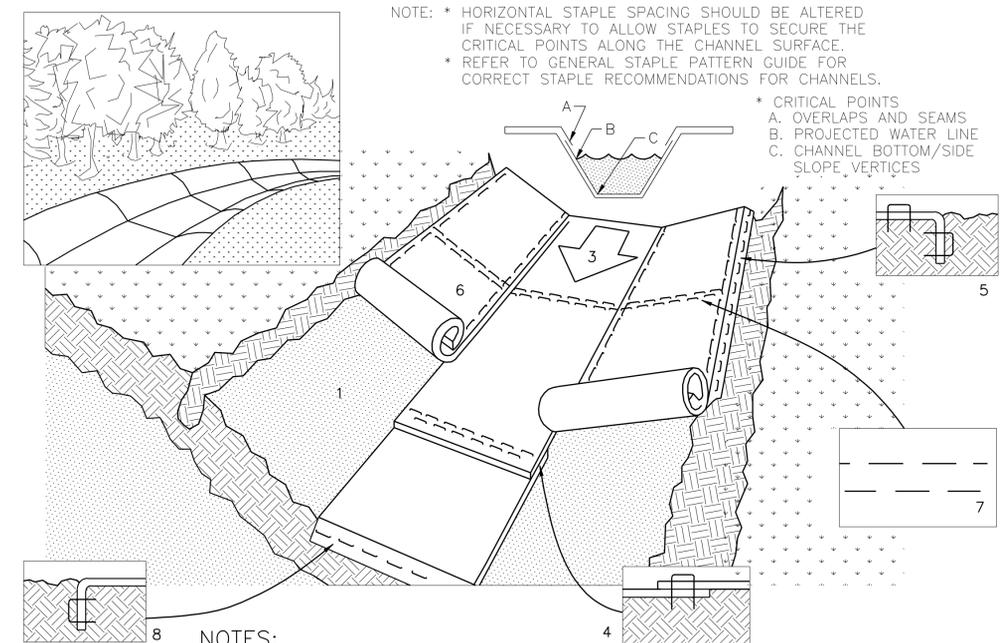


**TEMPORARY DITCH CHECK** NO SCALE



**TYPICAL PLACEMENT OF RIPRAP AT CULVERT DISCHARGE** NO SCALE

NOTES: \* RIPRAP & GEOTEXTILE FABRIC SHALL BE SUPPLIED & INSTALLED AS PER WI DOT STANDARD SPEC'S FOR HIGHWAY & STRUCTURE CONSTRUCTION.  
\* TIE APRON ENDWALL & LAST 2 PIPE SECTIONS TOGETHER, MIN. 2 TIES PER SECTION.  
\* INSTALL APRON ENDWALLS AT ALL PIPE OUTFALLS.



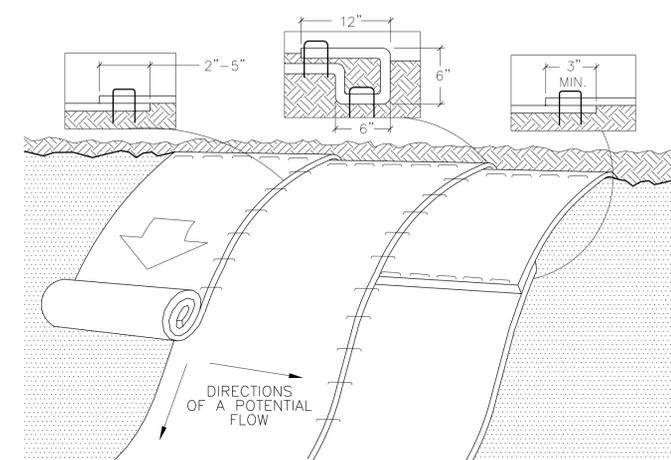
NOTE: \* HORIZONTAL STAPLE SPACING SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SURFACE.  
\* REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE RECOMMENDATIONS FOR CHANNELS.

\* CRITICAL POINTS  
A. OVERLAPS AND SEAMS  
B. PROJECTED WATER LINE  
C. CHANNEL BOTTOM/SIDE SLOPE VERTICES

**NOTES:**

1. PREPARE SOIL BEFORE INSTALLING MATS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED.
2. BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE MAT IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL CENTER MAT IN DIRECTION OF WATER FLOW ON BOTTOM OF CHANNEL.
4. PLACE MATS END OVER END (SHINGLE STYLE) WITH A 6" MIN. OVERLAP. USE A DOUBLE ROW OF STAGGERED STAPLES 4" APART TO SECURE MATS.
5. FULL LENGTH EDGE OF MATS AT TOP OF SIDE SLOPES MUST BE ANCHORED IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
6. MATS ON SIDE SLOPES MUST BE OVERLAPPED 4" MIN. OVER THE CENTER MAT AND STAPLED (2" FOR C350 MATTING).
7. IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A ROW OF STAPLES 4" APART OVER ENTIRE WIDTH OF THE CHANNEL. PLACE A SECOND ROW 4" BELOW THE FIRST ROW IN A STAGGERED PATTERN.
8. THE TERMINAL END OF THE MATS MUST BE ANCHORED IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

**EROSION MAT CHANNEL INSTALLATION** NO SCALE



\* PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL MAT, INCLUDING GRADING, TOPSOIL, SEED & FERTILIZER.  
\* BEGIN AT TOP OF SLOPE, BY ANCHORING MAT IN TRENCH, INSTALL STAPLES 12" APART, SEE DETAIL.  
\* ROLL MAT DOWN SLOPE AS SHOWN. FASTEN MAT TO SOIL SURFACE W/ STAPLES. STAPLE PATTERN GUIDE BY MFR.  
\* OVERLAP MAT AS PER MFRS. SPEC.  
\* NORTH AMERICAN GREEN, USA 1-800-772-2040, www.nagreen.com.

**EROSION CONTROL MAT DETAIL** NO SCALE

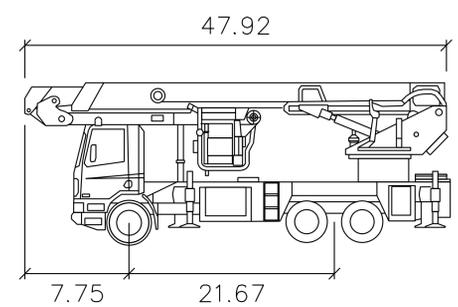
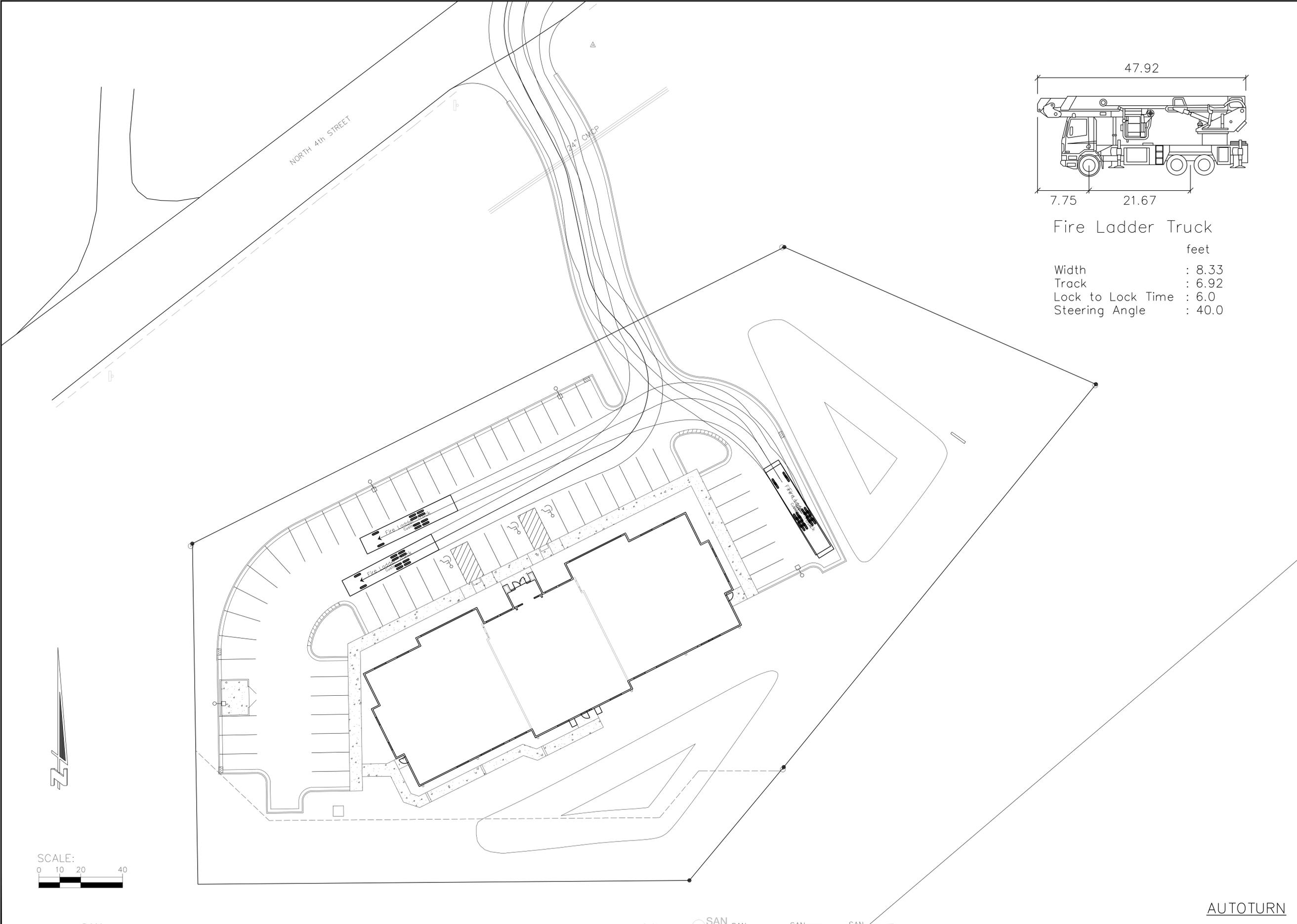
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NEW RICHMOND, WI

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Fire Ladder Truck

feet

Width : 8.33

Track : 6.92

Lock to Lock Time : 6.0

Steering Angle : 40.0

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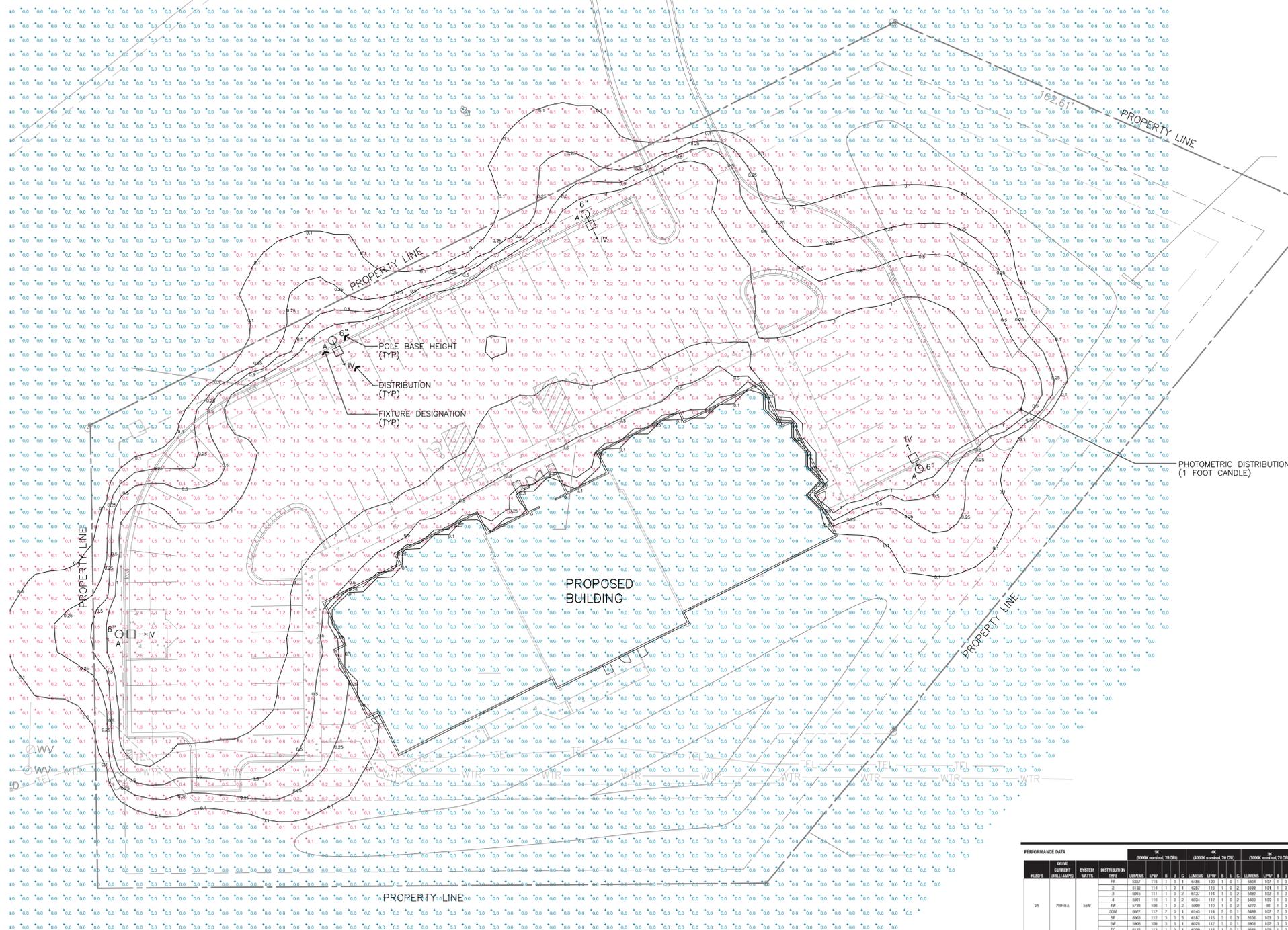
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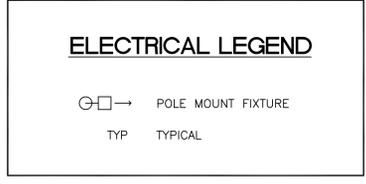
AUTOTURN



**SITE LIGHTING PHOTOMETRIC ANALYSIS**  
1" = 20'

**SITE LIGHTING PHOTOMETRIC ANALYSIS NOTES**

1. All readings/calculations are shown @ 0" AFF.
2. 25' pole height used for calculations.
3. Reflectances used for exterior calculations: Top 50%, Sides 50%, Bottom 50%.
4. No obstructions included in calculation study.



Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	4	Hubbell Lighting Inc, dba Beacon Products	VP-S-48L-110-4K7-4	X-70-CRI DATA SHOWN IS SCALED FROM TEST 11604137.07		1	VP-S-48L-110-4K7-4.ies	12070	0.9	108

SYSTEM	DISTRIBUTION	FC (0.0047 foot-candle)			FC (0.0047 foot-candle)			FC (0.0047 foot-candle)		
		MIN	Avg	MAX	MIN	Avg	MAX	MIN	Avg	MAX
24	700 NA	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000
30	500 NA	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000
36	700 NA	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000
48	700 NA	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000
60	700 NA	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000

**VIPER S STRIKE**  
SMALL DOWN LIGHTS

**BEACON**

**PRODUCT IMAGE(S)**

**DIMENSIONS**

**INSTALLATION**

**ORDERING INFORMATION** CHECKING EXAMPLE: VP-S-48L-110-4K7-4-108-0.9-108-0.9-108-0.9

VP-S TYPE	LED LUMENS	CCFL/CFL	WATTAGE	VOLTAGE	COLOR	OPTIONS
VP-S-48L-110-4K7-4-108-0.9-108-0.9-108-0.9	12070	CCFL	108	120V	5000K	None

**PHOTOMETRIC DATA**

**PHOTOMETRIC DATA TABLE**

POLE HEIGHT	BEAM SPREAD	MIN FC	Avg FC	MAX FC
24	24"	0.000	0.000	0.000
30	30"	0.000	0.000	0.000
36	36"	0.000	0.000	0.000
48	48"	0.000	0.000	0.000
60	60"	0.000	0.000	0.000

**PROJECTED LUMEN MAINTENANCE**

AGE	PERCENT	REMAINING LUMENS
0	100%	12070
1	90%	10863
2	80%	9666
3	70%	8469
4	60%	7272
5	50%	6075

**TIMPER ASSOCIATES ENGINEERS LLC**  
E5056 970th Ave  
Wheeler, WI 54772  
Tel (715) 632-2523  
info@timperassociates.com



**New Richmond Professional Office Center**  
**Site Lighting Photometric Analysis**  
Project Location: New Richmond, Wisconsin  
Project Title: Site Lighting Photometric Analysis

Revisions:

No.	Date:	Description:

Drawn By: IT  
Checked By: NT  
Graphic Scale: 0' 10' 20'  
Project Number: 070-033  
Date Issued: 07/01/2019  
Sheet Number: **E1**

**PRELIMINARY, NOT FOR CONSTRUCTION**

**SHEET INDEX - SITE PLAN REVIEW**

- ARCHITECTURAL**
- A1.1a BUILDING PLAN, ROOF PLAN
  - A1.1b PARTIAL BUILDING PLAN  
- COMMON AREAS, TOSC SUITE
  - A1.1c PARTIAL BUILDING PLAN  
- PEDIATRIC DENTAL SUITE
  - A2.1 EXTERIOR ELEVATIONS,  
REFUSE ENCLOSURE, SITE SIGNAGE NOTES
  - A3.1 BUILDING CROSS SECTIONS

**PROPOSED BUILDING DATA**

PROPOSED GROSS BUILDING AREA: 11,257 SF  
(TAKEN TO FACE OF FOUNDATION)

PROPOSED OCCUPANCY TYPE: B  
 PROPOSED CONSTRUCTION TYPE: IIB  
 AUTOMATIC SPRINKLER SYSTEM: YES  
 FIRE ALARM SYSTEM: YES  
 PROPOSED HEIGHT: 1 STORY, 30 FT

TENANT 1: ORAL SURGERY OFFICE  
 GROSS FLOOR AREA 3,752 SF

TENANT 2: PEDIATRIC DENTAL OFFICE  
 GROSS FLOOR AREA 3,752 SF

TENANT 3: TO BE DETERMINED  
 GROSS FLOOR AREA 1,898 SF

COMMON AREAS:  
 GROSS FLOOR AREA 1,225 SF

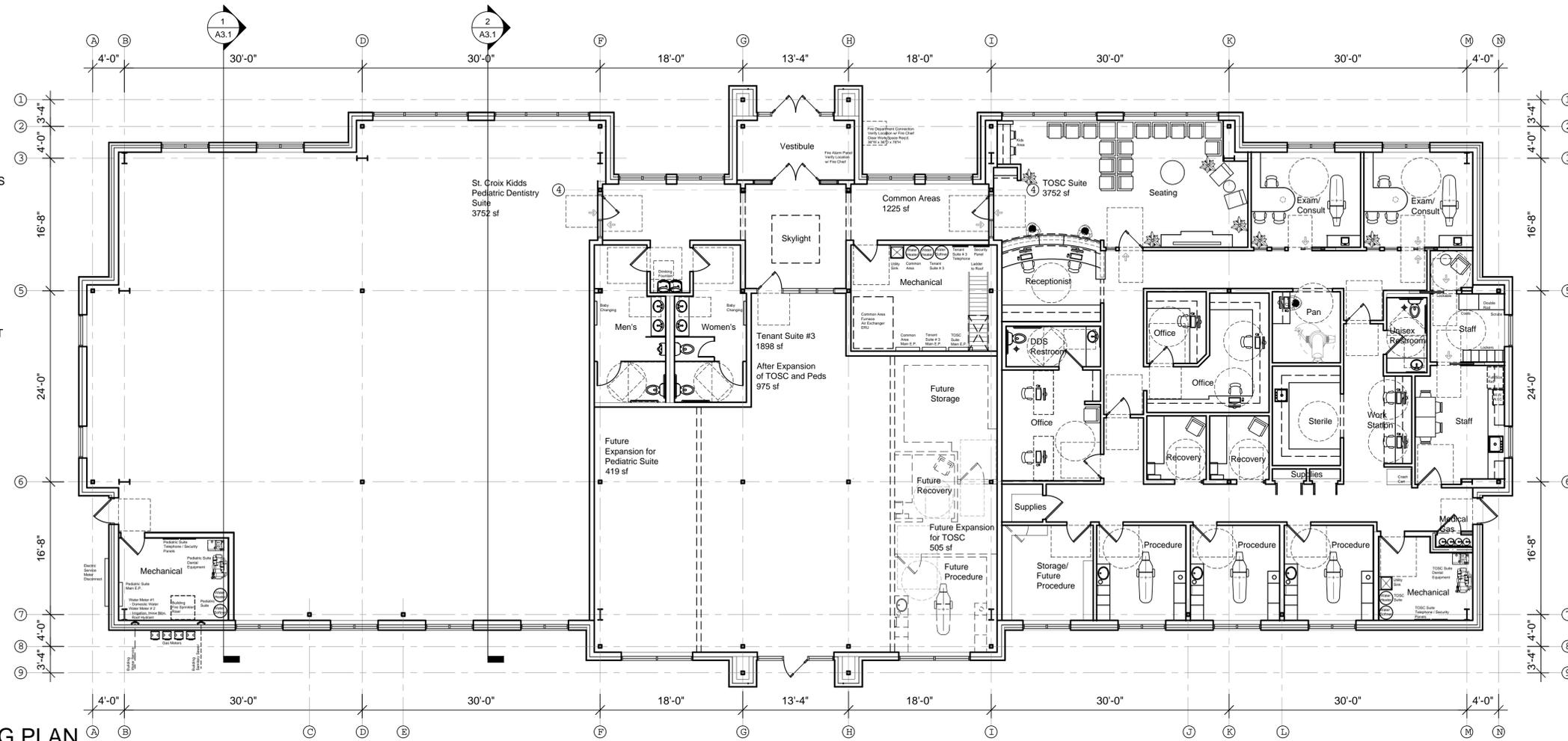
**BUILDING CODES**

- WISCONSIN STATE COMMERCIAL BUILDING CODE
- CHAPTERS COMM. 61-65
- 2015 IBC W / STATE AMMENDMENTS
- ICC A117.1-09 (REF. IN CHAPTER 35)
- WISCONSIN STATE ENERGY CODE
- 2015 IECC
- WISCONSIN STATE ELECTRICAL CODE
- CHAPTER COMM. 16
- WISCONSIN STATE PLUMBING CODE
- CHAPTER COMM. 81-86



**1 PROPOSED BUILDING PLAN**

A1.1a 1/8" = 1'-0"



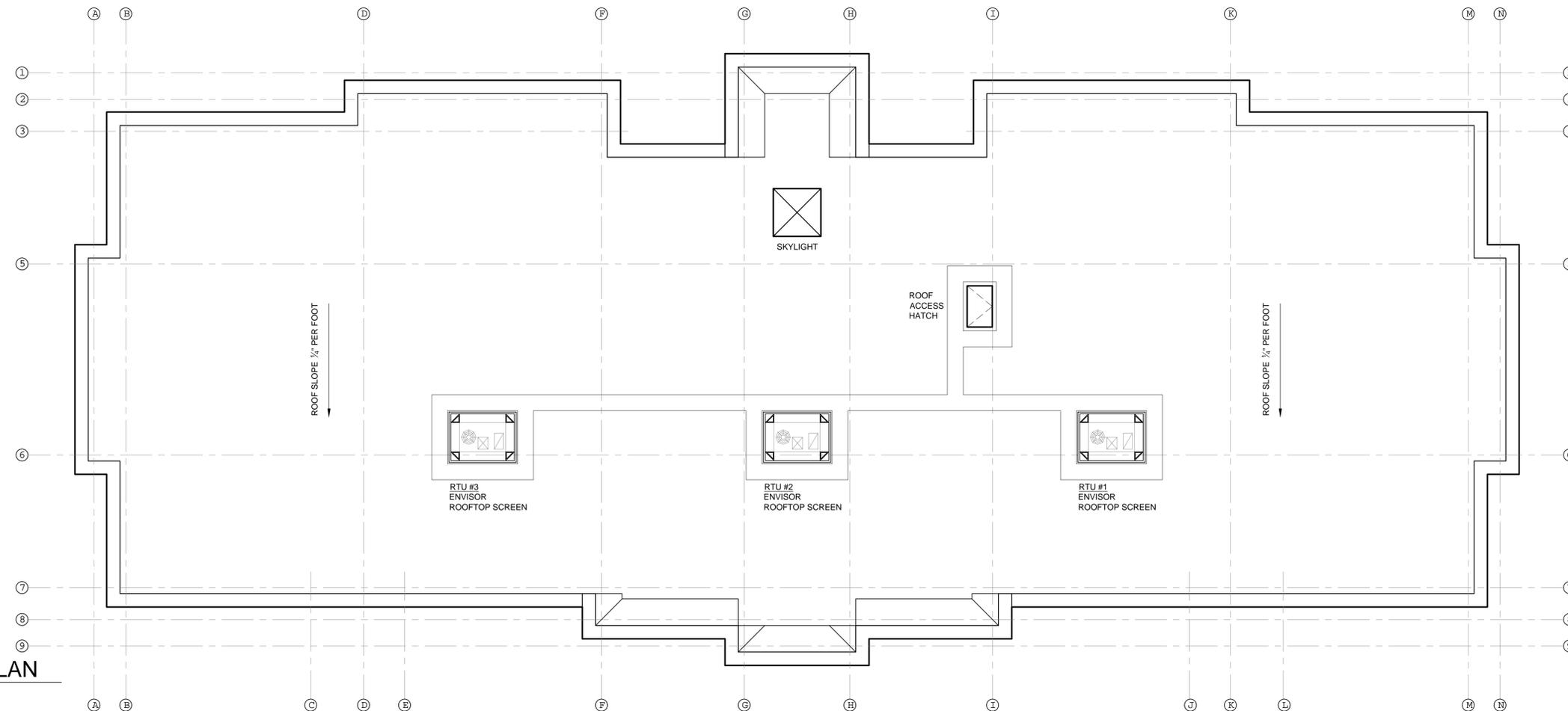
**PROPOSED ROOFTOP SCREENING**

- PREMANUFACTURED ROOFTOP HVAC UNIT SCREENS
- CITYSCAPES ARCHITECTURAL INNOVATIONS - ENVISOR
- PREFINISHED ACRYLIC OR METAL PANELS AND TRIM
- COLOR: TBD
- SCREEN SIZE AND CONFIGURATION TO BE DETERMINED AFTER EXACT EQUIPMENT/OPTIONS HAVE BEEN SELECTED.



**2 PROPOSED ROOF PLAN**

A1.1a 1/8" = 1'-0"



4157 MINNEHAHA AVENUE  
 MINNEAPOLIS, MN 55406  
 TEL 612-729-4112  
 FAX 612-729-4831



*James A. Strapko*  
 Exp. Date 7-31-2020

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 NO. DESCRIPTION DATE  
 1 Site Plan Review 7-03-2019

REVISION SCHEDULE  
 DESCRIPTION DATE

BUILDING PLAN  
 ROOF PLAN

**A1.1a**

PRELIMINARY - NOT FOR CONSTRUCTION



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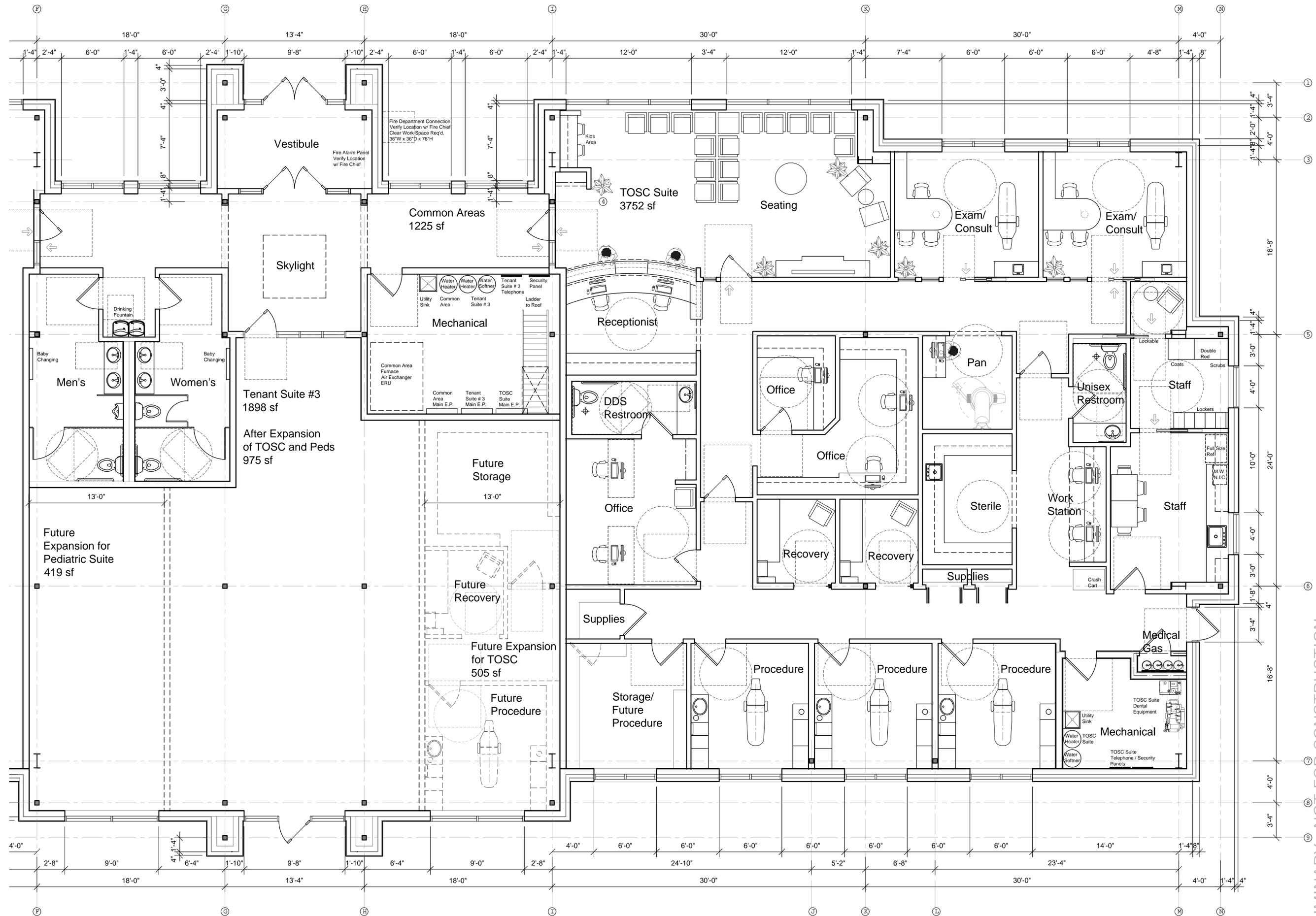
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REVISION SCHEDULE	
DESCRIPTION	DATE

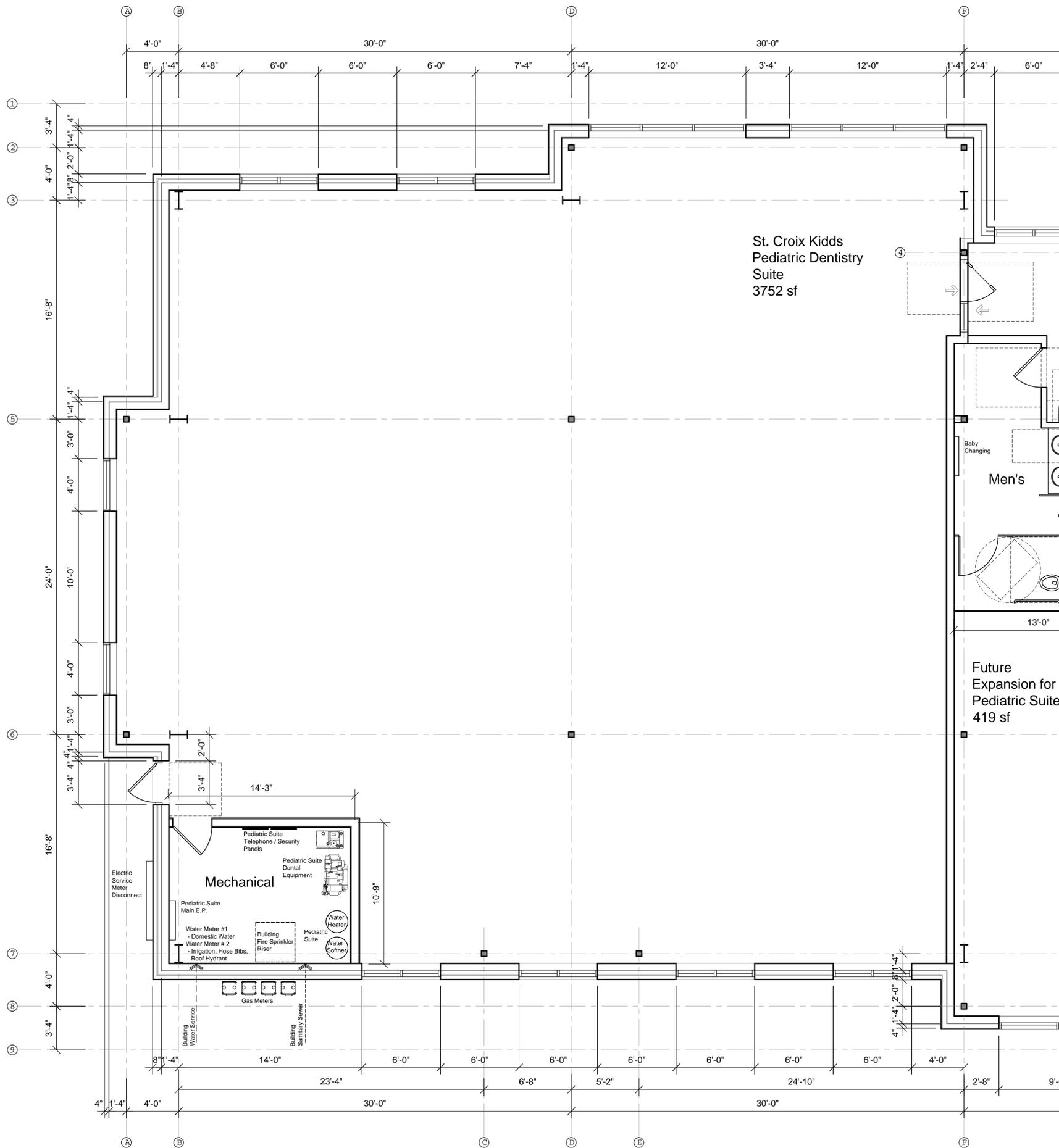
PARTIAL BUILDING PLAN

**A1.1b**



1 PARTIAL BUILDING PLAN - COMMON AREAS & OMS SUITE  
A1.1b 1/4" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION



St. Croix Kids  
Pediatric Dentistry  
Suite  
3752 sf

Future  
Expansion for  
Pediatric Suite  
419 sf

Mechanical

Pediatric Suite

Men's

Baby Changing

1 PARTIAL BUILDING PLAN - PEDIATRIC DENTAL SUITE  
A1.1c 1/4" = 1'-0"



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MINNEAPOLIS, MN 55406  
TEL 612-729-4112  
FAX 612-729-4831



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Exp. Date 7-31-2020

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CHECKED BY: JAS  
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NO.	DESCRIPTION	DATE
1	Site Plan Review	7-03-2019

REVISION SCHEDULE

DESCRIPTION	DATE
-------------	------

PARTIAL BUILDING PLAN

A1.1c

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ISSUE SCHEDULE

NO.	DESCRIPTION	DATE
1	Site Plan Review	7-03-2019

REVISION SCHEDULE

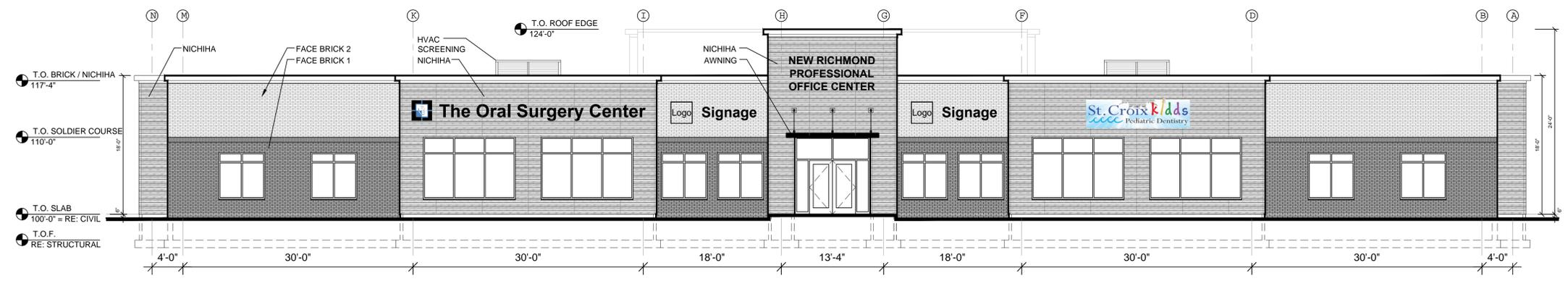
NO.	DESCRIPTION	DATE
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**EXTERIOR ELEVATIONS**

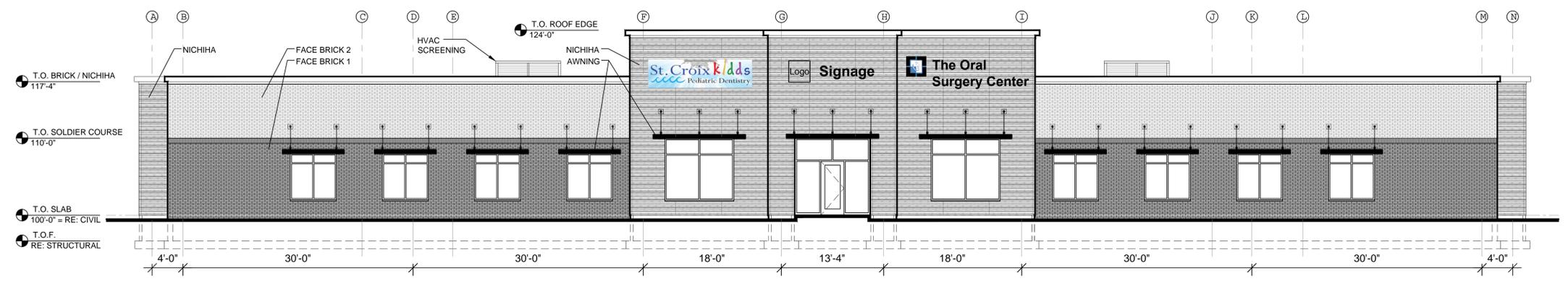
**A2.1**

PRELIMINARY - NOT FOR CONSTRUCTION

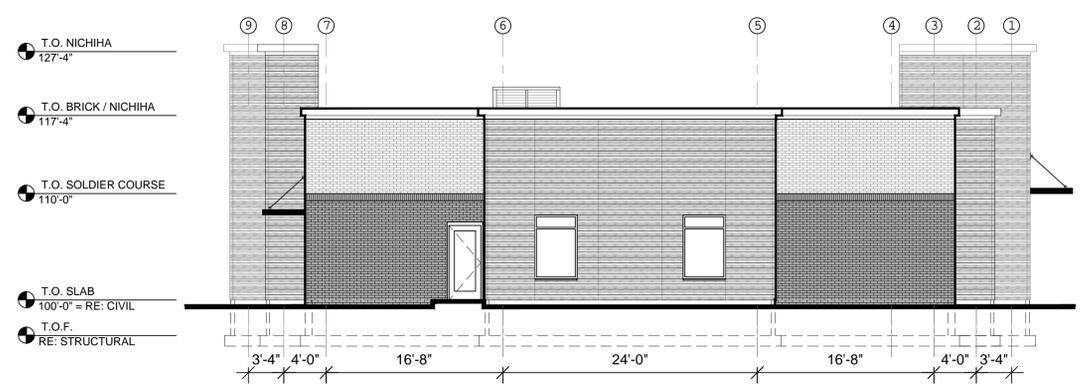
- PROPOSED EXTERIOR MATERIALS**
- NICHIHA COMPOSITE WALL PANEL SYSTEM
    - VINTAGEWOOD
    - COLOR: REDWOOD
  - FACE BRICK 1
    - MANUFACTURER: LAKEWOOD BRICK
    - COLOR: IRON MOUNTAIN
  - FACE BRICK 2
    - MANUFACTURER: TBD
    - COLOR: TBD
  - AWNINGS / SUNSCREENS
    - ALUMINUM
    - COLOR: TBD
  - ALUMINUM STOREFRONT
    - DARK BRONZE
  - ALUMINUM WINDOWS
    - DARK BRONZE
  - ROOF EDGE
    - PREFINISHED METAL
    - COLOR: TBD
  - WALL SIGNAGE
    - BY OWNERS SIGN DESIGNER
    - SIGN DESIGN: TBD
  - PREMANUFACTURED ROOFTOP HVAC UNIT SCREENS
    - CITYSCAPES ARCHITECTURAL INNOVATIONS - ENVISOR
    - PREFINISHED ACRYLIC OR METAL PANELS AND TRIM
    - COLOR: TBD



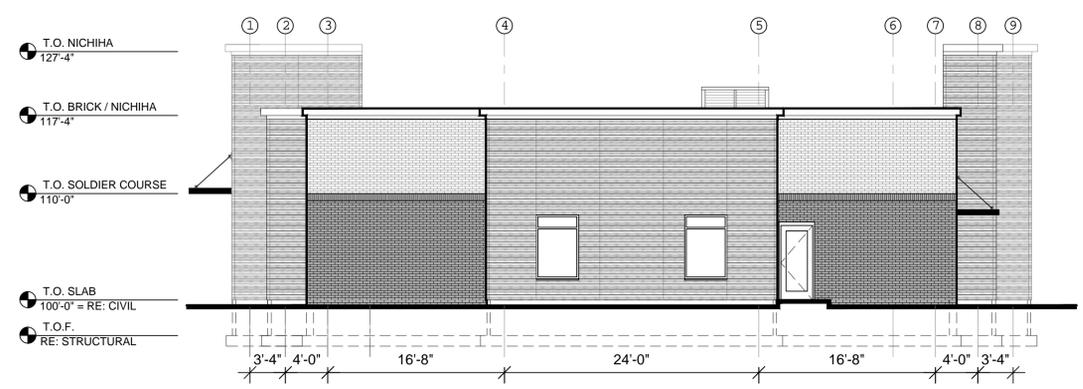
**1 PROPOSED FRONT ELEVATION - NORTHWEST**  
A2.1 1/8" = 1'-0"



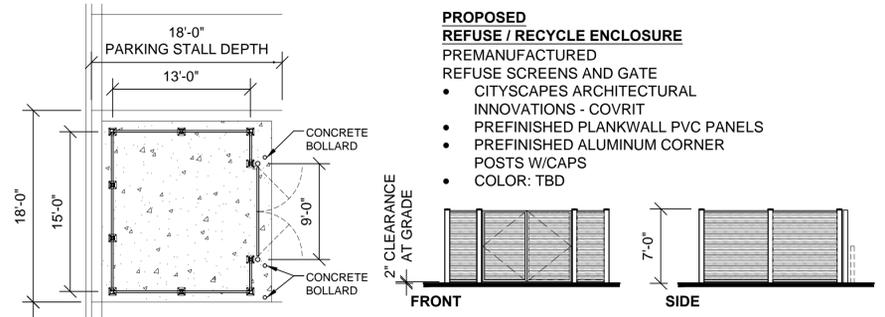
**2 PROPOSED REAR ELEVATION - SOUTHEAST**  
A2.1 1/8" = 1'-0"



**3 PROPOSED ELEVATION - NORTHEAST**  
A2.1 1/8" = 1'-0"



**4 PROPOSED ELEVATION - SOUTHWEST**  
A2.1 1/8" = 1'-0"



**5 PROPOSED REFUSE ENCLOSURE**  
A2.1 1/8" = 1'-0"

**PROPOSED SITE SIGNAGE**

- PYLON SIGN - SEE CIVIL DRAWINGS, SHEET C1.2 FOR LOCATION.
- SIGN DESIGN: TO BE DETERMINED BY OWNER'S SIGN DESIGNER.
  - SUBMITTED BY SIGN DESIGNER UNDER SEPARATE PERMIT.
- DESIGN TO MEET THE FOLLOWING CITY REQUIREMENTS:
- MINIMUM SETBACK: 10 FEET FROM PROPERTY LINE OR PUBLIC ROW.
  - NO ENCROACHMENT ALLOWED IN ANY EASEMENT OR TRAFFIC VISIBILITY ZONE.
  - MAXIMUM SIGN AREA: 300 SQUARE FEET.
  - MAXIMUM HEIGHT: 35 FEET
  - MAXIMUM 10 FEET OF CLEARANCE IF CLOSER THAN 30 FEET TO ROW OR IF THE SIGN IS 25 FEET IN HEIGHT.



*James A. Strapko*  
Exp. Date 7-31-2020

**NEW RICHMOND PROFESSIONAL PARTNERS, LLC**  
**NORTH 4TH STREET**  
**NEW RICHMOND, WI**

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PROJ. NO: **00-2019-01**

DRAWN BY: **NAR**

CHECKED BY: **JAS**

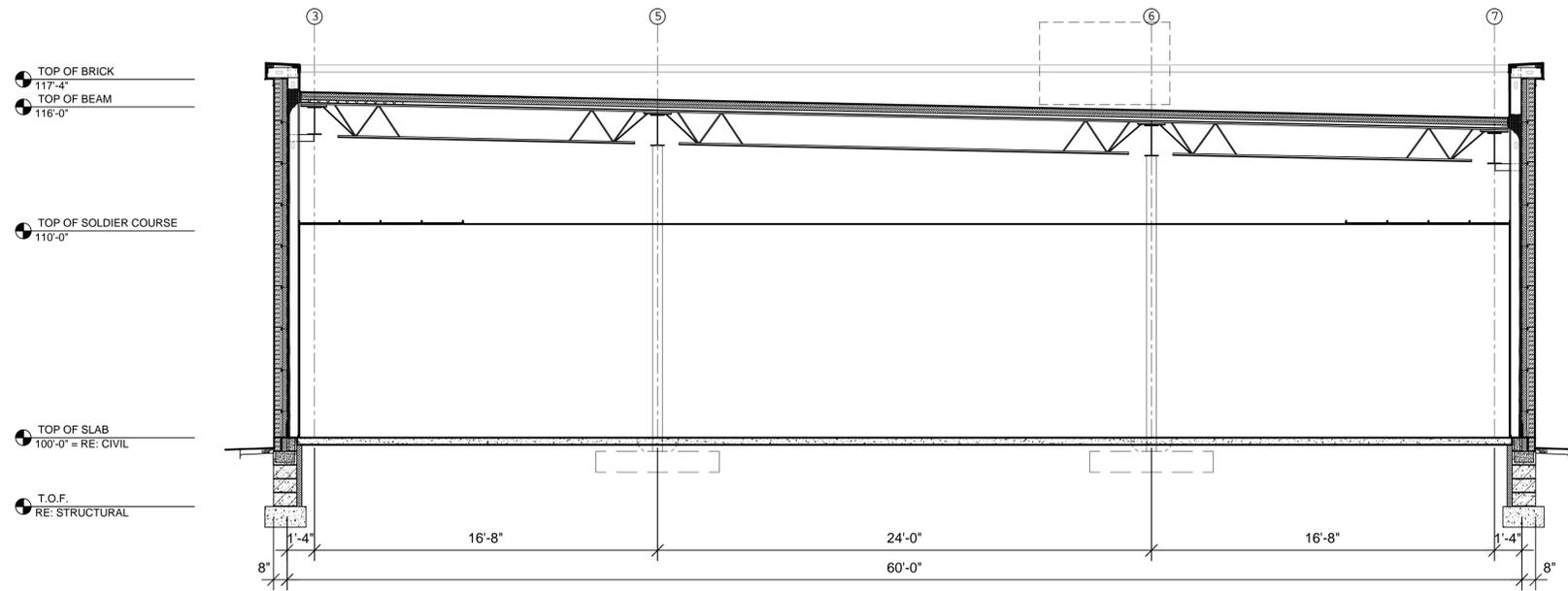
ISSUE SCHEDULE		
NO.	DESCRIPTION	DATE
1	Site Plan Review	7-03-2019

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

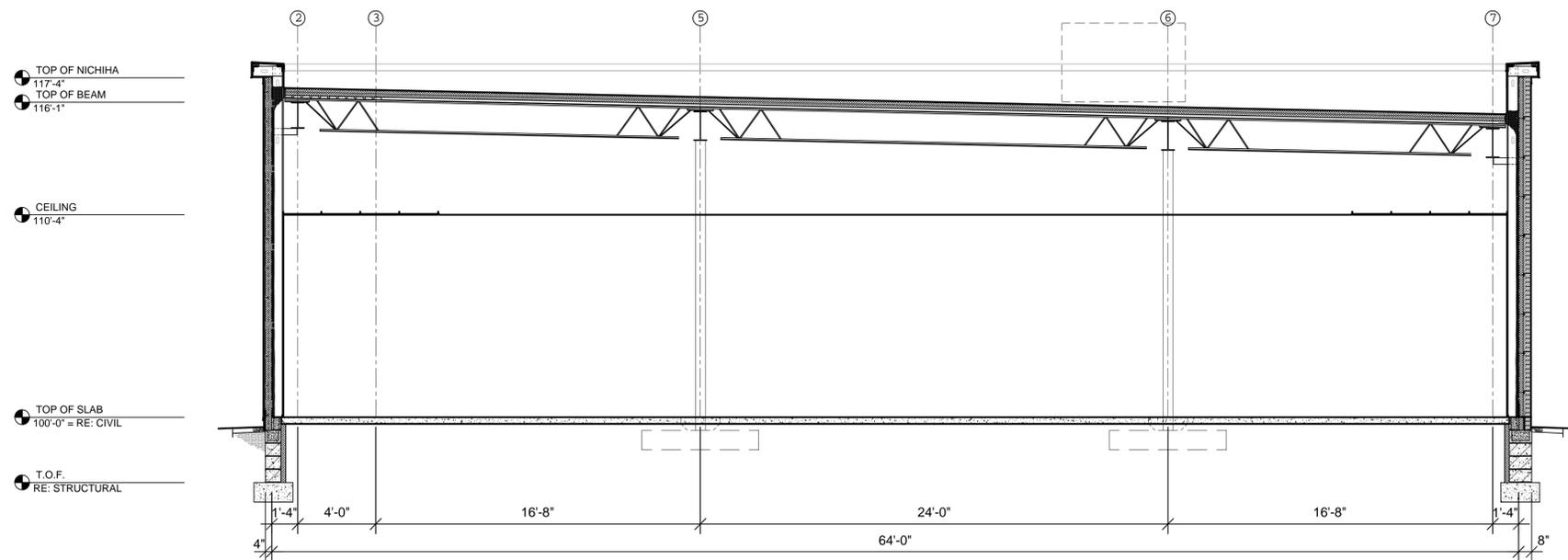
**BUILDING SECTIONS**

**A3.1**

PRELIMINARY - NOT FOR CONSTRUCTION



**1 BUILDING CROSS SECTION**  
A3.1 1/4" = 1'-0"



**2 BUILDING CROSS SECTION**  
A3.1 1/4" = 1'-0"