



156 East First Street
New Richmond, WI 54017
Ph 715-246-4268 Fax 715-246-7129
www.newrichmondwi.gov

November 30, 2018

TO ALL PLAN COMMISSION MEMBERS:

Fred Horne	Michelle Scanlan
Jim Zajkowski	David Wilford
Mike Kastens	David Tyvoll
MaryKay Rice	

This is to notify you that there is a Plan Commission meeting scheduled for Tuesday, December 4, 2018 at 5:00 p.m. in the Council Chambers of the Civic Center, 156 East First Street, City of New Richmond, WI.

AGENDA:

- 1) Roll Call**
- 2) Adoption of Agenda**
- 3) Approval of the minutes from the previous meeting on November 8, 2018**
- 4) Phillips Medisize Administrative Permit**
- 5) Certified Survey Map – Oevering Properties LLC**
- 6) Communications and Miscellaneous**
- 7) Adjournment**

**Fred Horne
Mayor**

cc:

**The News
Mike Darrow
Bob Meyer
Beth Thompson
Noah Wiedenfeld
Kevin Blader**

**Northwest Cable
Nick Vivian
Jim VanderWyst
Rae Ann Ailts
Jeremiah Wendt**

**City Website
Mike Demulling
Craig Yehlik
Joel Enders
Weston Arndt**

PLAN COMMISSION MEETING
NOVEMBER 8, 2018 - 5:00 P.M.

Members Present: Fred Horne, Mike Kastens, Michelle Scanlan, MaryKay Rice, David Wilford and David Tyvoll

Members Absent: Jim Zajkowski

Fred Horne called the meeting to order and roll call was taken.

Mike Kastens moved to adopt the agenda as presented, seconded by Michelle Scanlan and carried.

MaryKay Rice moved to approve the minutes from October 2, 2018, seconded by David Tyvoll and carried.

Public Hearing

Fred Horne declared the Public Hearing open to discuss the following:

- a) Application for Conditional Use Permit to allow a car wash subject to 121-50.D of the Zoning Ordinance and a convenience gas station subject to Section 121-50.H of the Zoning Ordinance. Property is located at 1048 – 1132 North Knowles Avenue and 312 North Shore Drive and described as: OUTLOT 454 & N 17.5 FT OF W 165 FT OF OL 452; OUTLOT 455; OUTLOT 456 & LOT 4 OF CSM 1/23 BEING PART OF OUTLOT 457 EXC PT TO HWY PROJ 1559-08-24; LOT 1 CSM V1, P23 OUTLOT 457 DOC. #272654 RECORDED 6-7-63.

Noah Wiedenfeld explained the background of this application. Last November, the Governor passed Act 67 that requires municipalities to grant conditional use permits if an applicant meets or agrees to meet, all of the requirements and conditions specified in the relevant ordinance or imposed by the relevant zoning board. Any conditions must be related to the purpose of the ordinance and based on substantial evidence. Requirements and conditions shall be reasonable and to the extent practical, measurable. Nick Vivian, City Attorney, explained the performance standards Plan Commissions must use to review an application for Conditional Use Permit. If the applicant meets all of the requirements, it must be approved. Kwik Trip would like to construct a gas station, convenience store and car wash at the location on the corner of North Knowles Avenue and North Shore Drive. Noah explained the timeline of the process to date. The Development Review Committee began reviewing the application in September. There was a citizen meeting on October 12 and a neighborhood meeting on October 18. The Plan Commission meeting notice was published two times in the newspaper as required for the Plan Commission meeting on November 8, 2018. In addition, City staff had several in-person meetings and phone calls with property owners to answer questions. Several concerns were expressed at the various meetings. The following conditions have been included to address the various concerns.

1. Approval of the conditional use permits shall be contingent upon approval of the certified survey map.
2. The plans shall be modified to show the Ordinary High Water Mark (OHWM), the 35-foot vegetative buffer, and the 75-foot building setback.
3. The portions of the site within 35 feet of the OHWM shall be restored with native seeding or plantings.

4. The applicant shall work with the DNR to conduct a Natural Heritage Inventory of the proposed site, and comply with any DNR requirements that arise from that inventory.
5. Direct and indirect impacts to area wetland hydrology should be explored with coordination from the DNR wetland and waterways program.
6. The elevations shall be updated to indicate the type of material used for the auto fueling canopy.
7. All vending machines shall be located indoors.
8. Outdoor display of products shall not block vehicle and pedestrian access routes and is prohibited closer to the street than pump islands.
9. Car wash bay doors shall close automatically during the wash cycle to minimize noise impacts.
10. Car wash hours of operation shall be limited to between 7:00 a.m. and 10:00 p.m. daily.
11. Outdoor music shall be limited to between 7:00 a.m. and 10:00 p.m. daily.
12. Sound levels for the gas station/convenience store and car wash shall comply with Section 50-87.D of the City Code of Ordinances.
13. The landscaping plan shall be revised to include 10'- high evergreen trees in conjunction with a 6'- high fence as a proactive measure to limit possible concerns from the neighborhood about noise or vehicle headlights, and to further screen the loading area on the east side of the principal building.
14. The landscaping plan shall be revised to ensure that the plant schedule and plan notes are consistent with the actual number of plants shown on the landscaping plan.
15. Trees shall be replaced on a 1:1 replacement ratio. The City shall require a fee of not less than \$100 for each tree that is not replaced, per Section 121-55.C.
16. Landscaping improvements require a financial guarantee per Section 121-31 and shall not be deemed complete until the City has verified survivability of all required plantings through two winter seasons. The financial guarantee shall be received by the City on or before the date on which the building permit application is submitted.
17. WisDOT must approve the submitted Intersection Control Evaluation (ICE), and the Applicant must make any modifications to the ICE required by WisDOT.
18. The recommended intersection control alternative (traffic signals unless WisDOT requires a different alternative) shall be in place before a Certificate of Occupancy is issued for the Kwik Trip development.
19. The full cost of design and construction of the intersection improvements shall be borne by the applicant.
20. The intersection design shall include accommodations for bikes and pedestrians to cross Knowles Avenue as well as North Shore Drive.
21. All components of the intersection design are subject to the review and approval of the City and WisDOT.
22. Left turns directly onto Knowles Avenue from the Kwik Trip driveway shall be prohibited, with on-site signage indicating this restriction.
23. Left turns from Knowles Avenue into the Kwik Trip driveway may be restricted if it is determined necessary by the City and WisDOT – this issue will be further discussed as part of the ongoing Knowles Avenue corridor study.
24. The right-in access shall be shifted to the east, to provide additional distance from the Knowles Avenue intersection.
25. The right-in access shall include signage for “No Trucks” entering at that location, as well as “Do Not Enter” for vehicles exiting the site.
26. The width of the right-in access shall be increased to 16' to provide adequate space for turning vehicles.
27. The applicant shall verify that their snow removal equipment can accommodate the 16'-wide entrance.

28. As part of the intersection design, the access to the Pete's Pizza site shall be redesigned. The design costs shall be borne by the applicant, and the construction costs may be assessed to the applicant as part of the development agreement.
29. The applicant shall be required to grant an easement, and construct a trail along the river on the east side of the property. In the future, this would connect to the rest of the riverwalk along the Willow River when it is constructed to the south, but would also be connected along the south lot line to the Knowles Avenue sidewalk to provide direct bike/pedestrian access to the convenience store. To enable the future connection of the riverwalk trail along the Willow River, the applicant shall place \$125,000 in escrow for that project.
30. Dynamic display signs shall require approval of a valid license per Section 46-172.
31. The site plan shall be revised to indicate that the exterior refuse/recycling enclosure has a solid gate.
32. All utility, grading, drainage, and erosion control issues are subject to review and approval of the Public Works Director.
33. The sewer main and manhole on the site shall be reconstructed to ensure constructability and future accessibility for excavation.
34. The watermain and service laterals shall be placed at a minimum 8' bury, which will require dewatering.
35. A 4" flushing hydrant shall be installed on the site to allow for cleaning the water service at an adequate scouring velocity.
36. The existing water services that will not be used for the development shall be abandoned at the corporation stop to avoid future leaks.
37. The sanitary sewer shall be insulated as needed, in accordance with WI Administrative Code SPS 382.30.
38. While the existing boundary of the floodplain is shown on the survey for the proposed development, both the existing and proposed boundaries should be shown and clearly labeled on the site plans.
39. The plans shall be modified to bring the car wash building and adjacent grading into compliance with City Ordinance 109-190(d).
40. The applicant shall comply with the requirements of City Ordinance 109-59(b), and secure a Land Use Permit prior to issuance of a building permit.
41. The applicant shall submit a copy of an approved Conditional Letter of Map Revision (CLOMR) from the Federal Emergency Management Agency (FEMA) prior to issuance of a Land Use Permit.
42. The applicant shall submit a copy of an approved Letter of Map Revision (LOMR) prior to receiving a Certificate of Compliance.
43. The applicant shall comply with the requirements of City Ordinance 109-59(c), and secure a Certificate of Compliance prior to any buildings on the site being granted occupancy.
44. The applicant shall provide a plan, in accordance with Section 109-62, certified by a registered professional engineer or architect that the flood-proofing measures will protect the proposed underground tanks to the flood protection elevation.
45. The applicant shall be responsible to secure any permits that may be required by the United States Army Corps of Engineers (USACE), or any other state or federal regulatory agencies.
46. Approval of the application is contingent on approval of the construction and ongoing maintenance plans by DATCP.
47. The applicant shall develop and maintain a spill containment plan (with contact information), and have spill containment materials on hand at all times. A copy of the plan shall be filed with the City prior to issuance of occupancy.
48. The applicant shall coordinate with the DNR's wastewater program with regard to the state's general permit addressing discharge of petroleum contaminated water.
49. The applicant shall submit an as-built confirming the constructed embankment top elevation.

50. The applicant shall secure a DNR permit if the dewatering pumping rate exceeds 70 gallons per minute.
51. The plans shall be modified to show reinforced concrete pipe (RCP) within the street right-of-way.
52. The plans shall be modified to resolve the elevation conflict related to the pipe between Apron #13 and Outlet Structure #12.
53. The plans shall be modified to show the 2-year storm elevation on the detail for the wet detention basin liner.
54. The applicant shall consider the use of sediment forebays at inlets to ease maintenance efforts.
55. The applicant shall submit a long-term stormwater maintenance agreement that addresses the submerged outlets, catch basin snouts, inlets, pipes, and wet detention basin.
56. The use of trench drains around the car wash draining to the wet pond shall be confirmed with DPS code.
57. The length to width ratio of the stormwater pond flow path shall be maximized with a goal of 3:1 or greater to prevent short circuiting.
58. The applicant shall confirm that any storm up to the 10-yr, 24-hour design storm shall not flow backward through the principal outlet.
59. The applicant shall adjust the invert elevation of the submerged outlet as needed to maximize sediment removal efficiency.
60. The applicant shall submit a copy of their approved Wisconsin Pollution Discharge Elimination System (WPDES) Notice of Intent (NOI) permit prior to issuance of a building permit.
61. A development agreement shall be signed by both the applicant and the City to ensure that required public improvements are made and the City's financial interests are protected.

Considerable discussion followed. Several citizens expressed their concerns. Fred Horne declared the Public Hearing closed. Mike Kastens moved to approve the Conditional Use Permit for the gas station/convenience store and car wash with the 61 conditions listed, seconded by MaryKay Rice and carried.

Fred Horne declared the Public Hearing open to discuss the following.

- b) Application for Zoning map amendment rezoning property from Z3 District to Z7 District in accordance with the Comprehensive Plan, certified survey map, and site plan review for expansion of an existing office/warehouse building. Property is located at 1433 Cernohous Avenue and described as: SEC 10 T30N R18W PT SW NE & PT CSM 9-2430 LOT 1; BEING CSM 21-5248 LOT 16 (2.16 AC) & INC COMM SW COR SD LOT 16; TH N 89' W 106.00FT; TH N 00' W 304.56FT; TH E ALNG S LN LOT 12 CSM 21-5248 106.00FT TO NW COR SD LOT 16; TH S 304.56FT TO POB.

Noah Wiedenfeld explained that Oevering Properties would like to construct an addition to their existing building at 1433 Cernohous Avenue. Oevering Properties will need to purchase additional land to the west of their property to allow for the addition. The two properties will need to have one zoning designation. At this time, Oevering's property is zoning Z3 and the City-owned property is Z7.

The DRC recommends changing the zoning on this property to Z7.

- c) Petition for Annexation for the following properties:
 - 1) ANNEXATION DESCRIPTION - PARCEL 1 - SOUTH SIDE OF PAPERJACK - Located in the SE1/4 of the NE1/4 of Section 10, T30N, R18W, Town of Richmond,

St. Croix County, Wisconsin; being that parcel described in Document Number 674372 and Document Number 674776, described as follows: Beginning at the northeast corner of Lot 1 of Certified Survey Map recorded in Volume 9, Page 2430, Document Number 476885 at the St. Croix County Register of Deeds Office, said point being on the south line of the plat of New Richmond Business and Technical Park; thence westerly, along the south line of said plat, 182 feet; thence southerly 33 feet; thence easterly 182 feet to the east line of said Lot 1; thence northerly, along said east line, 33 feet to the point of beginning. Parcel contains approximately 0.14 Acres (6,006 Sq. Ft.). Above described parcel was excepted from Parcel 1 described in Ordinance #418.

- 2) West Side of HWY "65" – South of Paperjack Drive Located in the SE1/4 of the NE1/4 of Section 10, T30N, R18W, Town of Richmond, St. Croix County, Wisconsin; described as follows: Beginning at the E1/4 Corner of Section 10; thence North, along the east line of the NE1/4 of said section, 1319 feet more or less; thence West, 75 feet more or less to the west right-of-way of Highway "65" as described in Document Number 290618 at the St. Croix County Register of Deeds Office; thence South, along said west line, 446 feet more or less to a north line of Parcel Number 5 described in Document Number 916885; thence East, along said north line, 42 feet more or less to the east line of said parcel; thence South, along said east line, 202 feet more or less to a south line of said parcel ; thence West, along said south line, 42 feet more or less to previously described west right-of-way line; thence South, along said west line, 670 feet to the east - west 1/4 line of said section; thence East, along said east - west 1/4 line, 75 feet more or less to the point of beginning. Parcel contains approximately 2.08 Acres (90,573 Sq. Ft.).
- 3) East Side of HWY "65" – South of Richmond Way
Located in the NW1/4 of the SW1/4 of Section 11, T30N, R18W, Town of Richmond, St. Croix County, Wisconsin; described as follows: Beginning at the W1/4 Corner of Section 11; thence S00°01'31"E, along the west line of the SW1/4 of said section, 589.86 feet to the westerly extension of the south line of a Certified Survey Map recorded in Volume 15, Page 4129, Document Number 651735 at the St. Croix County Register of Deeds Office; thence S89°51'41"E, along said westerly extension, 40.00 feet; thence N00°01'31"W 589.86 feet to the east-west 1/4 line; thence S89°58'20"W, along said east-west 1/4 line 40.00 feet to the point of beginning. Parcel contains approximately 0.54 Acres (23,592 Sq. Ft.).

Noah Wiedenfeld explained the locations for the three right-of-way areas to be annexed. This was an oversight when the abutting properties were annexed to the City. The WI DOT has approved this annexation. The Development Review Committee also recommends approval of the annexations. Fred Horne declared the Public Hearing closed.

MaryKay Rice moved to approve the zoning map amendment for Oeovering Properties, seconded by Michelle Scanlan and carried.

MaryKay Rice moved to approve the petitions for annexation for road rights-of-way, seconded by Michelle Scanlan and carried.

Certified Survey Map for Kwik Trip

The Certified Survey Map is required to combine the five parcels into one. The Development Review Committee recommends approval of the CSM with the following conditions:

- 1) All existing internal easements shall be vacated.
- 2) All utility, grading, drainage and erosion control issues are subject to review and approval for the Public Works Director.

David Tyvoll moved to approve the Certified Survey Map with the two conditions listed, seconded by David Wilford and carried.

Communications and Miscellaneous

None

MaryKay Rice moved to adjourn the meeting, seconded by David Wilford and carried.

Meeting adjourned at 5:55 p.m.

Tanya Batchelor
City Clerk



CITY OF NEW RICHMOND
THE CITY BEAUTIFUL

City of New Richmond
156 East First Street ❖ New Richmond, WI 54017
Phone: (715) 246-4268 ❖ Fax: (715) 246-7129

CITY ORDINANCE SECTION 117 & 121
www.newrichmondwi.gov

- SITE PLAN/STORM WATER REVIEW FEE:** \$250.00 ESCROW: \$1,500.00
- CONCEPT PLAN FEE:** \$150.00 ESCROW: \$1,500.00
- CERTIFIED SURVEY MAP FEE:** \$200.00 ESCROW: \$1,500.00
- AMENDED CERTIFIED SURVEY FEE:** \$200.00 ESCROW: \$1,500.00

Application fees should be made payable to City of New Richmond upon submittal of completed application. Escrow funds will be drawn to cover project-related costs. Additional funds may be required; surplus funds will be returned.

Please complete the application by typing or printing in ink. Use additional paper if necessary.

1. Property Owner Information:

Company name: Phillips Medisize

Last name: Larse First name: Cory

Address: 705 Wisconsin Drive City/State/Zip: New Richmond, WI 54017

Phone number: 715.233.4039 Email address: cory.larse@phillipsmedisize.com

2. Applicant Information: (if different from above)

Company name: River Valley Architects, Inc.

Last name: Dau First name: Wayne

Address: 1403 122nd. Street - Suite C City/State/Zip: Chippewa Falls, WI 54729

Phone number: 715.832.0875 Email address: wayne@rivervalleyarchitects.com

3. Address(es) of Property Involved: (if different from above)

4. Zoning Designation: Z-7 Industrial

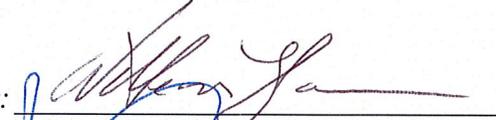
5. Statement of Intent: Briefly describe what will be done on or with the property: _____

New 10,430 s.f. office addition attached to existing manufacturing facility

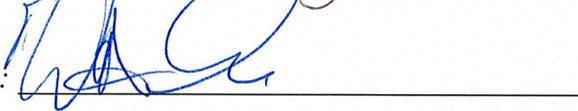
6. Additional Required Information:

- a. **Legal Description and PIN:** Provide the Parcel Identification Number(s) and the complete legal description(s) of the property involved.
- b. **Consultant Fees:** Whenever third party consultants are utilized in the preparation of application materials (e.g., a traffic study) or the City's review of an application (e.g., traffic study analysis), the applicant shall be responsible for paying the entirety of those costs.
- c. **Other Information:** In addition to a full size site plan and an 11" x 17" copy, topographic survey, landscape plan, grading and drainage plan, exterior building elevation drawings, and other information may also be required if deemed necessary by City Staff. Please refer to Sec. 121-31 for further information on Site Plans.

7. **Signature(s):** By signing below, you attest that the information above and attached is true and correct to the best of your knowledge.

Property Owner: 

Date: 10-4-18

Applicant: 

Date: 10-4-2018

Fee Paid: _____ Date: _____ Receipt # _____

Escrow Paid: _____ Date: _____ Receipt # _____

Zoning change applications must be received by the first Thursday of each month; applications received after this date cannot be heard at the Planning Commission meeting the following month.

PRODUCTION ALTERATION FOR PHILLIPS MEDISIZE NEW RICHMOND, WI

GENERAL NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS INCLUDING LOCATIONS OF EXISTING UTILITIES AND EASEMENTS.
- ALL WORK SHALL BE IN COMPLIANCE WITH LOCAL, STATE AND NATIONAL CODES FOR RESPECTIVE TRADES.
- DO NOT SCALE DRAWINGS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS.
- PROVIDE ILLUMINATED EXIT LIGHTS AT ALL EXTERIOR DOORS PER PLAN.
- PROVIDE FIRE EXTINGUISHERS AT THE LOCATIONS SHOWN ON THE PLANS.
- EXIT DOORS SHALL HAVE SUCH FASTENING OR HARDWARE THAT THEY CAN BE OPENED FROM THE INSIDE BY TURNING A SINGLE LEVER (USING A CLOSED FIST) WITHOUT THE USE OF A KEY.
- PROVIDE ACCESS FOR THE DISABLED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT. ICC/ANSI A117.1-2003.
- PROVIDE A DESIGNATED SPACE ADJACENT TO THE BUILDING FOR THE SEPARATION, TEMPORARY STORAGE AND COLLECTION OF RECYCLABLE MATERIALS.
- DRAWINGS AND SPECIFICATIONS ARE TO BE CONSIDERED AS SUPPLEMENTING EACH OTHER. WORK SPECIFIED, BUT NOT SHOWN, OR SHOWN, BUT NOT SPECIFIED SHALL BE PERFORMED AS THOUGH MENTIONED IN BOTH SPECIFICATIONS AND DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING EXPANSION/CONTROL JOINTS IN ALL MATERIALS, SYSTEMS AND BUILDING CONFIGURATIONS INCLUDING CAULKING AS REQUIRED. JOINTS SHALL BE PLACED NO MORE THAN 30 TIMES THE SLAB THICKNESS O.C. BOTH DIRECTIONS IN CONCRETE SLABS, 20' TO 25' O.C. FOR MASONRY WALLS AND 20' TO 30' O.C. BOTH DIRECTIONS FOR GYPSUM BOARD WALLS, SOFFITS, CEILINGS, ETC.
- THERE IS SOME OVERLAP BETWEEN ARCHITECTURAL AND STRUCTURAL PLANS. REVIEW COMPLETE PLANS FOR ARCHITECTURAL/STRUCTURAL WORK.
- INFORMATION PERTAINING TO EXISTING CONDITIONS IS BASED ON AVAILABLE RECORDS AND/OR VISUAL INSPECTION OF THE EXISTING CONDITIONS. WHILE SUCH DATA HAS BEEN COLLECTED WITH REASONABLE CARE, THERE IS NO EXPRESS OR IMPLIED GUARANTEE THAT CONDITIONS SO INDICATED ARE ENTIRELY REPRESENTATIVE OF THOSE ACTUALLY EXISTING. CONTRACTORS SHALL NOTIFY THE ARCHITECT AT ONCE OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS ENCOUNTERED. ALL EXISTING BUILDING/FLOOR HEIGHTS AND DIMENSIONS WHERE NEW WORK OCCURS SHALL BE VERIFIED BY ALL TRADES PRIOR TO STARTING CONSTRUCTION.
- THE OWNER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING BUILDING FLOOR ELEVATION. SLOPE GRADE AWAY FROM BUILDING TO INSURE PROPER DRAINAGE OF ALL SURFACES. VERIFY BUILDING ELEVATION AND ALL SITE GRADING WITH OWNER. ALL GRADING WORK OF MORE THAN ONE ACRE SHALL REQUIRE A WATER RESOURCES APPLICATION FOR PROJECT PERMITS (WRAPP) BE FILED WITH THE DNR.
- THE OWNER AND/OR CLIENT HAS ASSUMED RESPONSIBILITY FOR ALL BIDDING, CONSTRUCTION OBSERVATION AND RELATED DETAILS.
- ALL DETAILS NOT INDICATED SHALL BE THE RESPONSIBILITY OF THE OWNER AND CONTRACTOR.

BUILDING INFORMATION

- BUILDING OCCUPANCY: F-1 (FACTORY INDUSTRIAL - MODERATE HAZARD)
- CONSTRUCTION TYPE: IIB - METAL FRAME UNPROTECTED
- BUILDING AREA:
 - EXISTING BLDG: 79,769 S.F.
 - EXIST. MEZZANINE AREA: 4,102 S.F. (MATERIAL STORAGE ONLY)
 - EXIST. WAREHOUSE: 52,160 S.F.
 - TOTAL BLD'G. FOOTPRINT: 131,929 S.F.
- PROPOSED ALTERATION AREA: 5,930 S.F.
- FIRE PROTECTION: COMPLETE NFPA 13
- ALLOWABLE AREA: IBC 507 UNLIMITED AREA
 - F' OCCUPANCY WITH TYPE IIB CONSTRUCTION AND ADJOINED BY OPEN AREAS 60 FEET WIDE (MIN.) ON ALL SIDES OF BUILDING.
- ALLOWABLE EXIT TRAVEL DISTANCE:
 - MAX. EXIT TRAVEL = 250'
 - COMMON PATH OF TRAVEL = 100'-0"

LOCATION MAP



PROJECT LOCATION:

705 WISCONSIN DR.
NEW RICHMOND, WI



PROJECT DIRECTORY

OWNER:

PHILLIPS MEDISIZE
705 WISCONSIN DRIVE
NEW RICHMOND, WI 54017
PHONE: 715.233.4039

ARCHITECT:

RIVER VALLEY ARCHITECTS, INC.
1403 122nd STREET - SUITE C
CHIPPEWA FALLS, WI 54729
PHONE: 715.832.0875

GENERAL CONTRACTOR:

MARKET & JOHNSON INC.
2350 GALLOWAY ST., P.O. BOX 630
EAU CLAIRE, WI 54702-0630
PHONE: 715.834.1213 - FAX: 715.834.2331

CIVIL DESIGN:

ADVANCED ENGINEERING CONCEPTS
1360 INTERNATIONAL DR.
EAU CLAIRE, WI 54701
PHONE: 715.552.0330 - FAX: 715.552.0330

STRUCTURAL DESIGN:

A.M. STRUCTURAL ENGINEERING
112 EAST MAPLE ST.
RIVER FALLS, WI 54022
PHONE: 715.426.4930 - FAX: 715.426.4899

PME DESIGNS:

BY OTHERS

SHEET INDEX

- A0.1 TITLE SHEET
- A0.2 CODE REFERENCE PLAN
- A2.0 OVERALL FLOOR PLAN
- A2.1 ALTERATION FLOOR PLAN
- A3.1 NOT USED
- A4.1 DOOR & ROOM FINISH SCHEDULES, INTERIOR ELEVATIONS
- A5.1 REFLECTED CEILING PLAN
- A6.1 BUILDING & WALL SECTIONS

1403 122nd STREET - SUITE C
CHIPPEWA FALLS, WI 54729
PHONE: 715.832.0875
FAX: 715.126.1668
www.rivervalleyarchitects.com



PROPOSED - PRODUCTION ALTERATION FOR:
PHILLIPS MEDISIZE
WISCONSIN DR.
NEW RICHMOND, WI

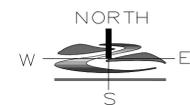
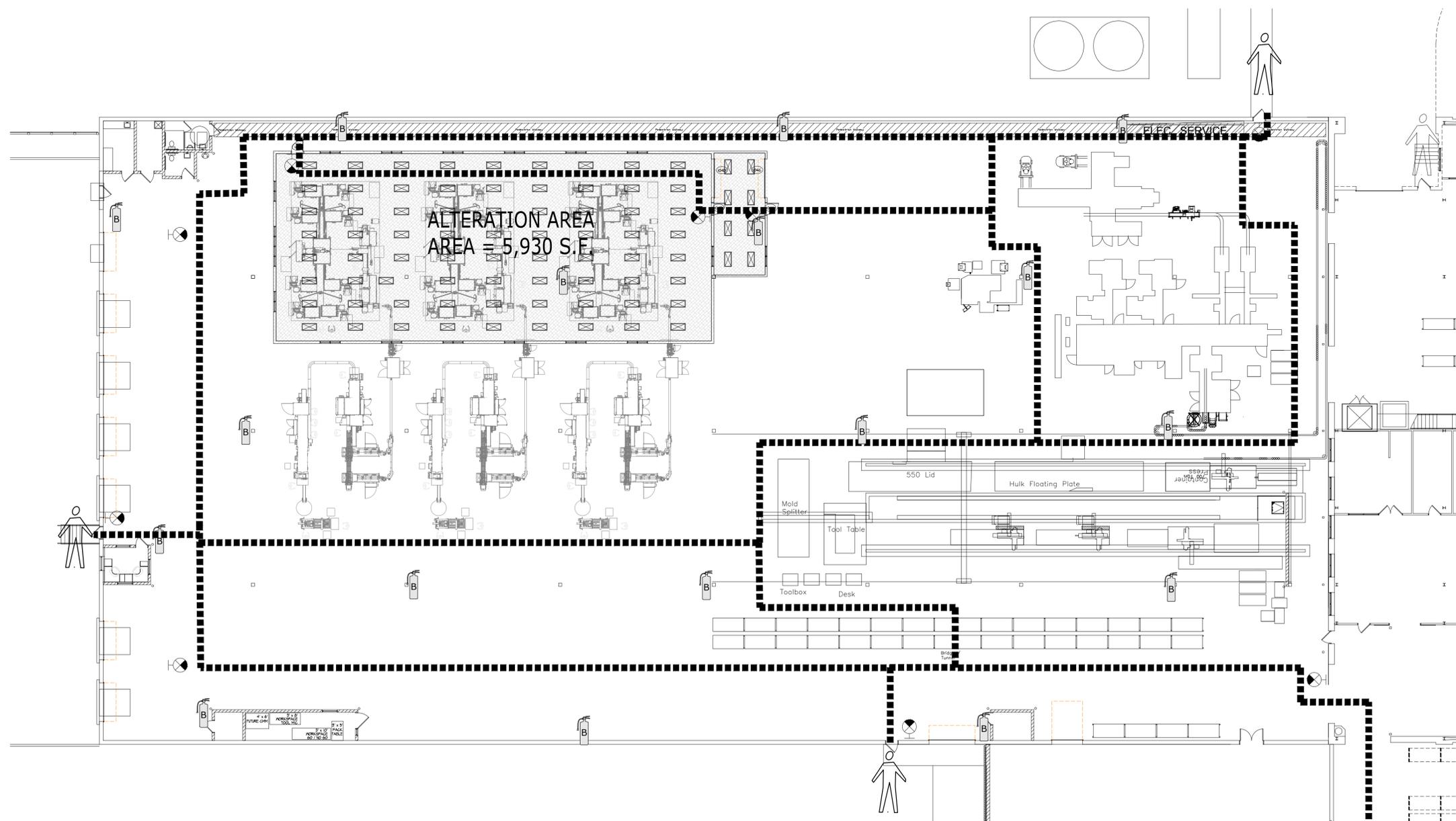
DATE:	DATE:
10-31-2018	
MARK:	DATE:
SHEET NO.	
A0.1	
DRAWN BY:	
MD	
JOB NO.	
18-123	

PROJECT INFORMATION / CODE DATA

- APPLICABLE CODES:
2009 INTERNATIONAL BUILDING CODE WITH
WISCONSIN AMENDMENTS ICG/ANSI A117.1 - 2009
ENTIRE BUILDING SHALL COMPLY WITH THE ANSI A117.1 - 2009
EDITION ACCESSIBILITY CODE
- BUILDING OCCUPANCY:
F-1 (FACTORY INDUSTRIAL - MODERATE HAZARD)
- CONSTRUCTION TYPE:
IIB - METAL FRAME UNPROTECTED
- FIRE PROTECTION:
COMPLETE COVERAGE FIRE SPRINKLER SYSTEM - NFPA 13
- ALLOWABLE BUILDING AREA:
UNLIMITED AREA BUILDING PER IBC 507.4
60'-0" MIN. OPEN AREA ON SIDES OF BUILDING.

BLDG. CODE PLAN LEGEND

- 1 HOUR FIRE BARRIER
- 2 HOUR FIRE BARRIER
- FIRE WALL
- EGRESS PATH
- ♀ BUILDING EXIT
- ☒ FIRE EXTINGUISHER
- ⊙ ILLUMINATED EXIT LIGHT



EGRESS CODE FLOOR PLAN
A0.2 1/16" = 1'-0"



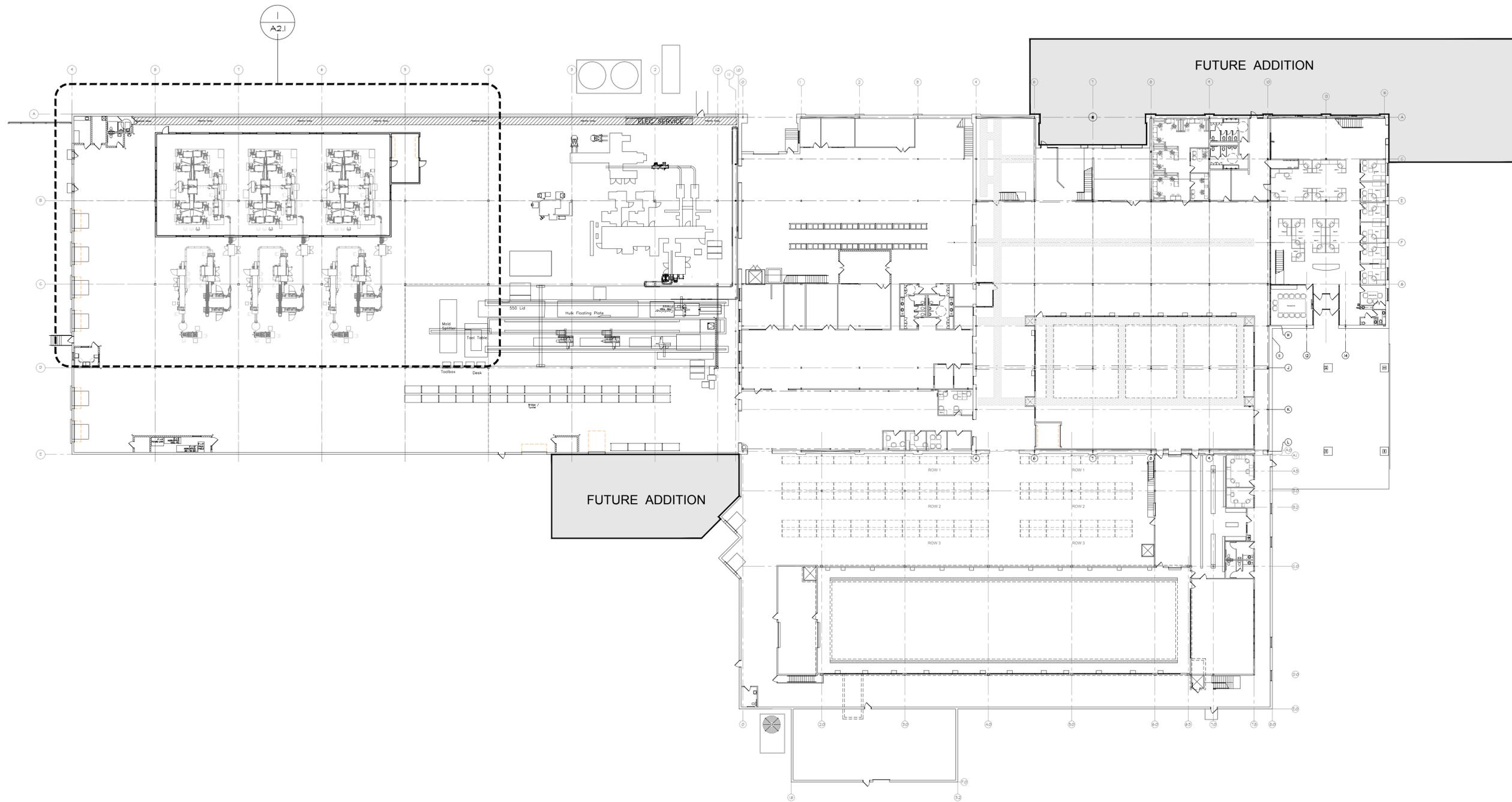
1403 122nd STREET - SUITE C
CHIPPEWA FALLS, WI 54724
PHONE: 715.932.0015
FAX: 715.726.1666
www.rivervalleyarchitects.com



PROPOSED - PRODUCTION ALTERATION FOR:
PHILLIPS MED/SIZE
WISCONSIN DR.
NEW RICHMOND, WI

NOT FOR CONSTRUCTION - DD

DATE:	10-31-2010
MARK:	DATE
SHEET NO.:	A0.2
DRAWN BY:	MD
JOB NO.	10-123



OVERALL FLOOR PLAN
A2.0 N.T.S.

1403 122nd STREET - SUITE C
CHIFFEWA FALLS, WI 54724
PHONE: 715.932.0075
FAX: 715.726.1666
www.rivervalleyarchitects.com

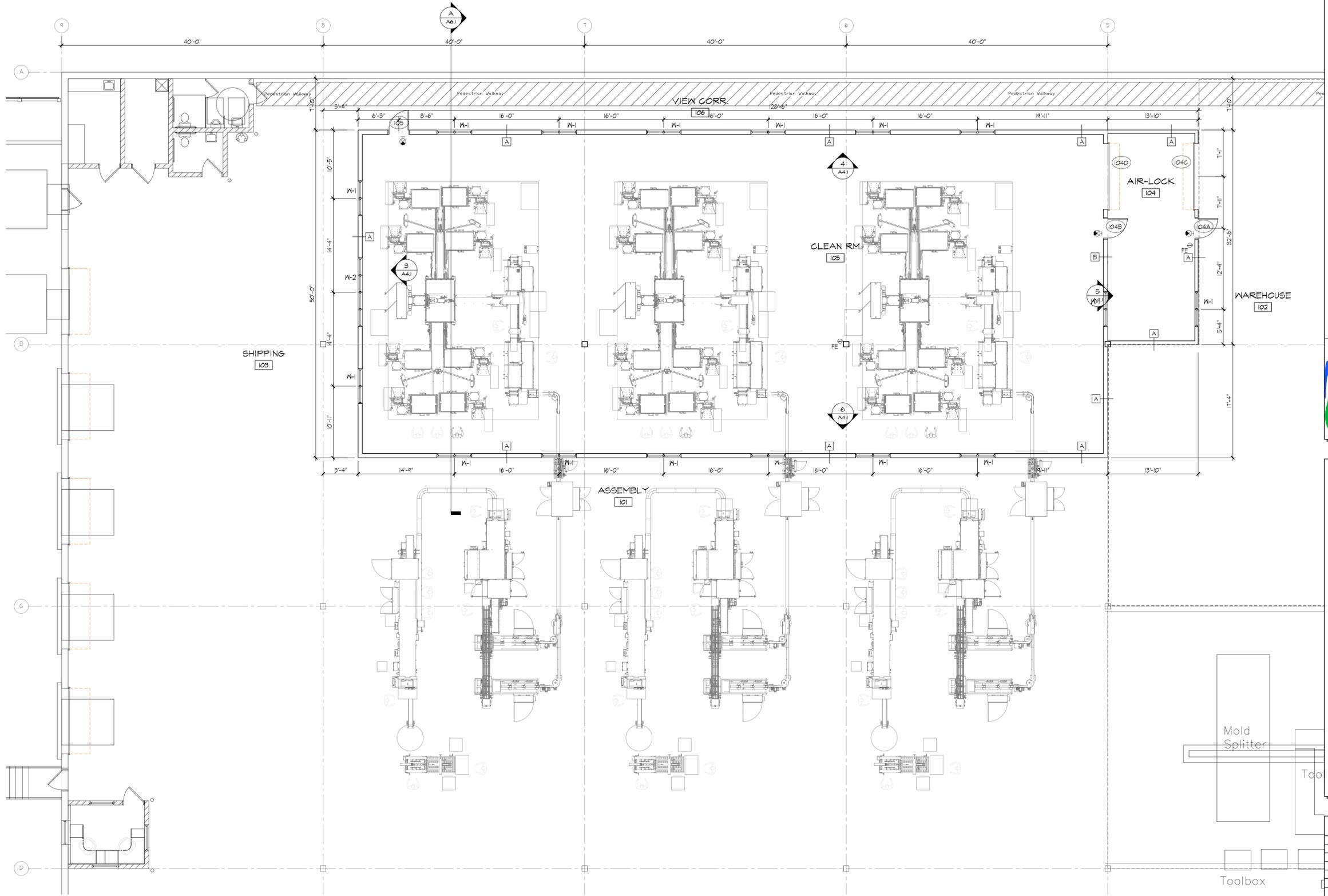


PROPOSED - PRODUCTION ALTERATION FOR:
PHILLIPS MEDICAL
WISCONSIN DR.
NEW RICHMOND, WI

DATE:	10-31-2018
MARK:	DATE
SHEET NO.:	A2.0
DRAWN BY:	YD
JOB NO.:	18-123

LEGEND

- PROPOSED CONSTRUCTION
- EXISTING CONSTRUCTION
- WORK**
- INDICATES ROOM NAME AND NUMBER (SEE SHEET A3.1 FOR ROOM FINISH SCHEDULE)
- INDICATES WALL TYPE (SEE DETAILS SHEET A3.1)
- INDICATES WINDOW OR BORROWED LITE TYPE (SEE SHEET A3.1 FOR ELEVATIONS)
- INDICATES DOOR TYPE (SEE SHEET A3.1 FOR DOOR SCHEDULE)
- INDICATES EXISTING DOOR TO REMAIN
- FIRE EXTINGUISHER/FIRE EXTINGUISHER CABINET
- ILLUMINATED EXIT LIGHT



1403 122nd STREET - SUITE C
 CHIPPEWA FALLS, WI 54724
 PHONE: 715.932.0075
 FAX: 715.726.1668
 www.rivervalleyarchitects.com

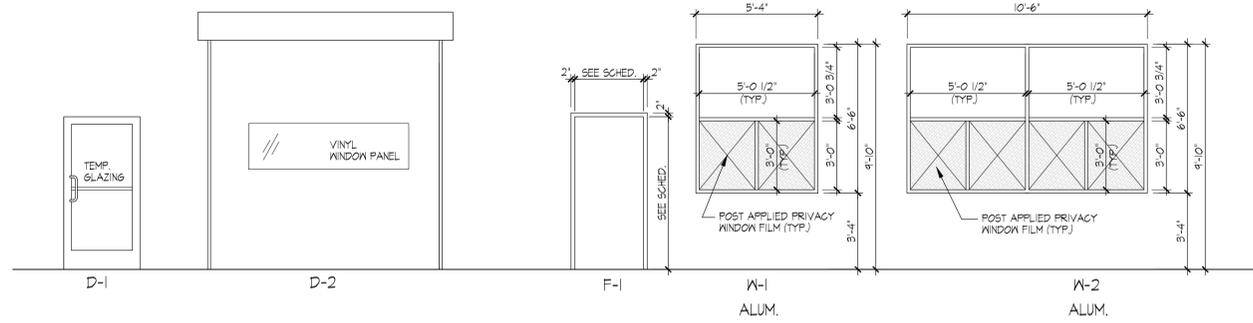


PROPOSED - PRODUCTION ALTERATION FOR:
 PHILLIPS MED/51ZE
 WISCONSIN DR.
 NEW RICHMOND, WI

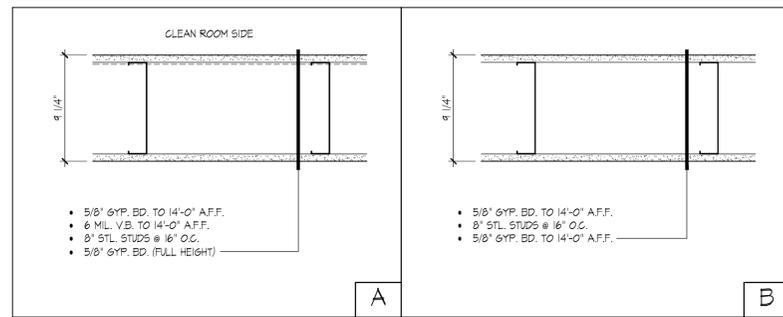


ALTERATION FLOOR PLAN
 SCALE: 1/8" = 1'-0"

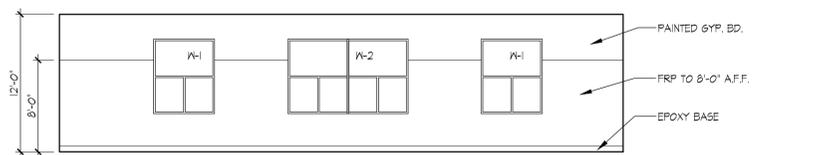
DATE:	10-31-2018
MARK:	DATE
SHEET NO.:	A2.1
DRAWN BY:	YD
JOB NO.:	18-123



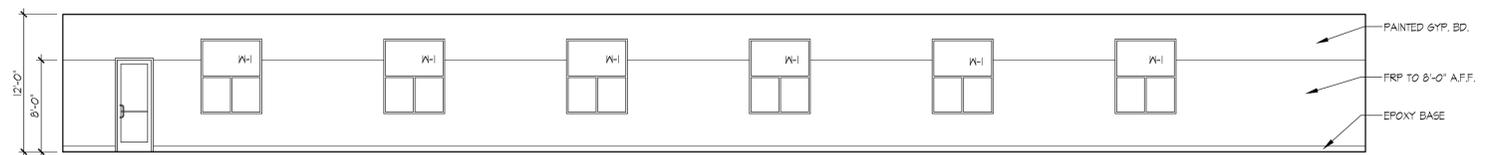
1 DOOR / WINDOW & FRAME ELEVATIONS
 A4.1
 SCALE: 1/4" = 1'-0"



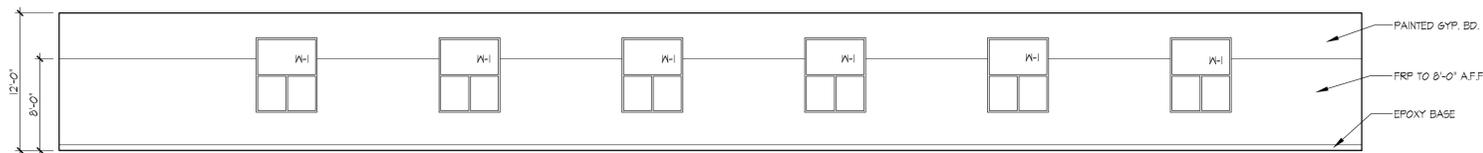
2 WALL TYPES
 A4.1
 SCALE: 1/2" = 1'-0"



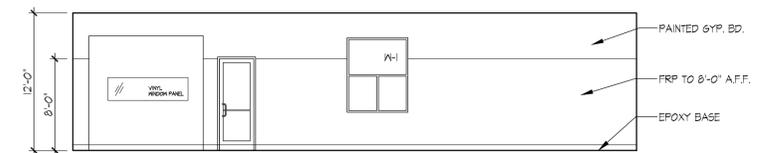
3 ELEVATION
 A4.1
 SCALE: 1/8" = 1'-0"



4 ELEVATION
 A4.1
 SCALE: 1/8" = 1'-0"



5 ELEVATION
 A4.1
 SCALE: 1/8" = 1'-0"



6 ELEVATION
 A4.1
 SCALE: 1/8" = 1'-0"

NO.	ROOM	FLOOR	BASE	NORTH WALL		WEST WALL		SOUTH WALL		EAST WALL		CEILING		NOTES
				MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	
101	ASSEMBLY	EXIST	6" VINYL	GYP BD	FRP/PAINT	-	-	-	-	-	-	-	EXIST	VARIES 1, 2
102	WAREHOUSE	EPOXY	6" VINYL	-	-	GYP BD	GLBD/PNT	-	-	-	-	-	EXIST	VARIES 1, 2, 5
103	SHIPPING	EXIST	6" VINYL	-	-	-	-	-	-	GYP BD	FRP/PAINT	-	EXIST	VARIES 1, 2
104	AIR-LOCK	EPOXY	6" EPOXY	GYP BD	FRP/PAINT	GYP BD	FRP/PAINT	GYP BD	FRP/PAINT	GYP BD	FRP/PAINT	SCRT	PRE-FIN	12'-0" 1
105	CLEAN RM	EPOXY	6" EPOXY	GYP BD	FRP/PAINT	GYP BD	FRP/PAINT	GYP BD	FRP/PAINT	GYP BD	FRP/PAINT	SCRT	PRE-FIN	12'-0" 1, 3, 4
106	VIEW CORR.	EXIST	6" VINYL	-	-	-	-	GYP BD	FRP/PAINT	-	-	-	EXIST	VARIES 1, 2

- INTERIOR FINISH NOTES:**
- GLASS BOARD TO 8'-0" A.F.F. WITH PAINT ABOVE.
 - PROVIDE VINYL BASE AT NEW GYP. BD. PARTITION WALLS.
 - PREP ALL EXISTING SURFACES AS REQ'D TO RECEIVE NEW FINISHES.
 - PAINT ALL NEW & EXIST. SURFACES.
 - PROVIDE NEW EPOXY FLOORING (LIMITS INDICATED ON PLAN). MATCH INTO EXIST. EPOXY FLOORING.

LEGEND:

EXIST	EXISTING	PNT	PAINT
GYP BD	GYP. BOARD	PRE-FIN	PRE-FINISHED
FRP	FIBER REIN. PANEL	SCRT	SUSPENDED ACOUSTICAL CEILING TILE
SLR	SEALER	SCRT	SUSPENDED CLEAN ROOM CEILING TILE
STL	STEEL	MTL	METAL

DESCRIPTION	NO	WIDTH	HEIGHT	HDWR	DOOR		FRAME			UL-LIST	LOUVER	NOTES	
					MATERIAL	ELEV	MATERIAL	ELEV	HEAD DETAIL				JAMB DETAIL
	104A	3'-0"	7'-0"	H-1	ALUM	D-1	ALUM	F-1	X	X	X		1, 2
	104B	3'-0"	7'-0"	H-2	ALUM	D-1	ALUM	F-1	X	X	X		1, 2
	104C	10'-0"	10'-0"	H-3	FABRIC	D-2	STL	-	X	X	X		3
	104D	10'-0"	10'-0"	H-3	FABRIC	D-2	STL	-	X	X	X		3
	105	3'-0"	7'-0"	H-2	ALUM	D-1	ALUM	F-1	X	X	X		1, 2

- DOOR SCHEDULE NOTES:**
- VERIFY SECURITY ACCESS CONTROL WITH OWNER.
 - ELECTRIC STRIKE TO BE TIED INTO EXISTING BUILDING SECURITY SYSTEM.
 - DOOR & FRAME PROVIDE BY OWNER.
- NOTE: G.C. SHALL VERIFY ALL DOOR HARDWARE GROUPS W/ OWNER PRIOR TO CONSTRUCTION.

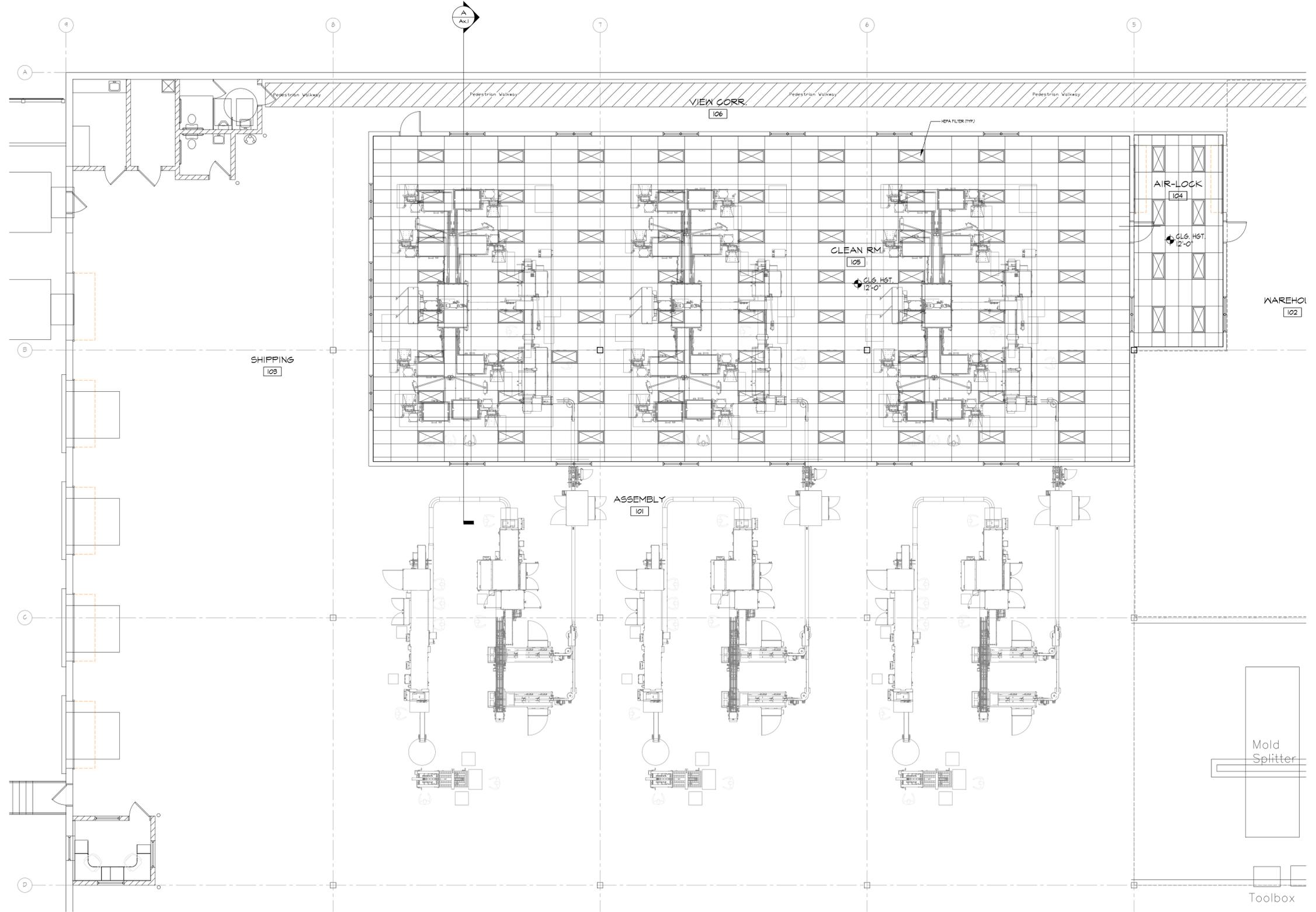
- HARDWARE GROUPS:**
- GROUP H-1**
 2 PAIR BUTT HINGES
 TOUCHBAR PANIC DEVICE
 PANIC DEVICE TRIM
 CLOSER W/ STOP
 ELECTRIC STRIKE
 SWEEP & WEATHER-SET
- GROUP H-1A**
 2 PAIR BUTT HINGES
 TOUCHBAR PANIC DEVICE
 EXTERIOR BLANK-OFF TRIM
 CLOSER W/ STOP
 SWEEP & WEATHER-SET
- GROUP H-2**
 MANUF'S STANDARD HDW.
 RAPID RISE OPERATOR
 DOOR CONTROLLER W/ INTERLOCK

1403 122nd STREET - SUITE C
 CHIPPEWA FALLS, WI 54729
 PHONE: 715.932.0075
 FAX: 715.726.1668
 www.rivervalleyarchitects.com



PROPOSED - PRODUCTION ALTERATION FOR:
 PHILLIPS MEDIC/SIZE
 WISCONSIN DR.
 NEW RICHMOND, WI

DATE:	10-31-2018
MARK:	DATE
SHEET NO.:	A4.1
DRAWN BY:	WD
JOB NO:	18-123



1403 122nd STREET - SUITE C
 CHIPPEWA FALLS, WI 54724
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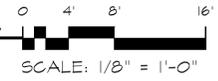


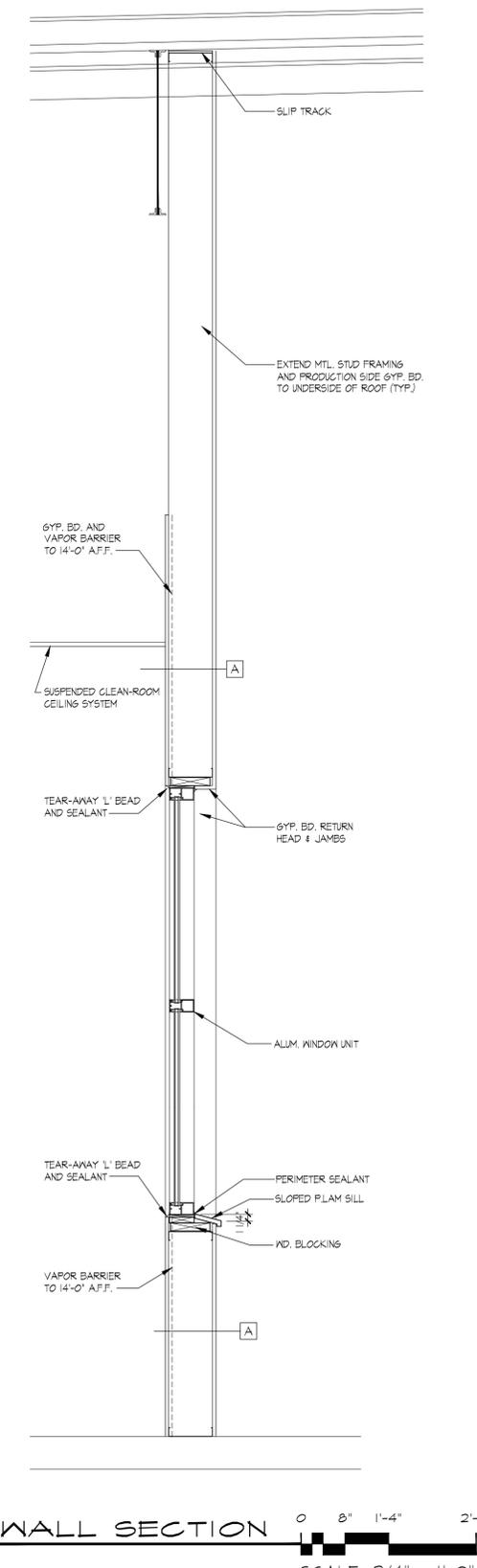
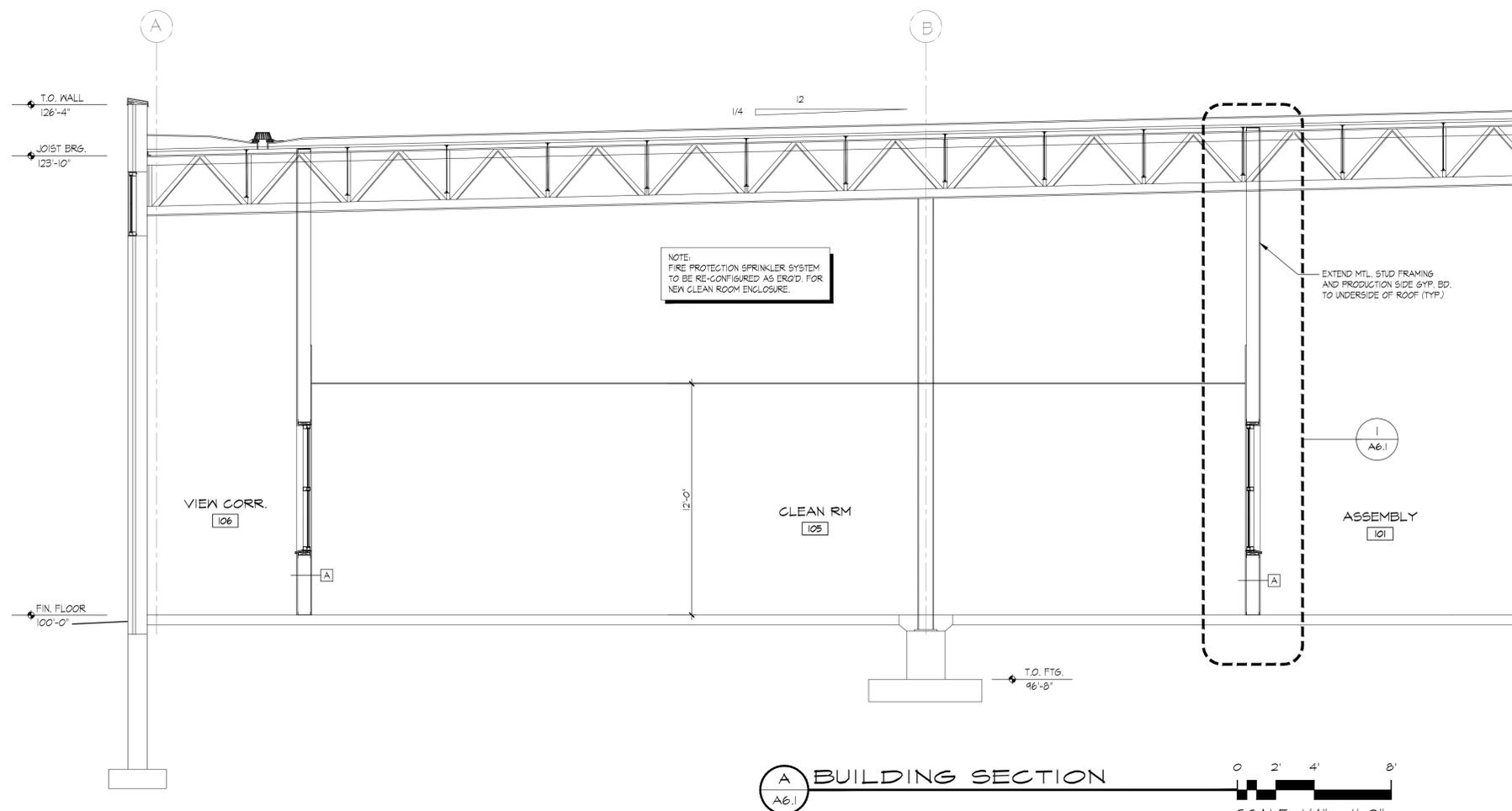
PROPOSED - PRODUCTION ALTERATION FOR:
 PHILLIPS MEDISIZE
 WISCONSIN DR.
 NEW RICHMOND, WI

DATE:	10-31-2018
MARK:	DATE
SHEET NO.:	A5.1
DRAWN BY:	YD
JOB NO.:	18-123



REFLECTED CEILING PLAN
 A5.1







156 East First Street
 New Richmond, WI 54017
 Ph 715-246-4268 Fax 715-246-7129
 www.newrichmondwi.gov

MEMORANDUM

TO: Plan Commission

FROM: Noah Wiedenfeld, Director of Planning

DATE: November 27, 2018

SUBJECT: Site Plan & Storm Water Review: Phillips-Medisize Addition

PROJECT PROPOSAL

Phillips-Medisize is proposing to construct a 10,430 square foot office addition to their existing manufacturing building located at 705 Wisconsin Drive in the City of New Richmond’s Business and Technical Park. The proposed addition would include offices, conference rooms, locker space, and a dining/break room.

PROCESS

Phillips-Medisize has completed a site plan/storm water review application and paid the required fee and escrow. No Class 1 or Class 2 notices are required to be published in the local newspaper. Manufacturing uses in the Z7 Zoning District are permitted administratively subject to submittal of a building permit application. Given the size of the project, the application has been referred to the Plan Commission for additional review.

STEP	SITE PLAN/STORM WATER REVIEW
1	Application Received
2	Development Review Committee Review & Recommendation
3	Plan Commission Review & Approval
4	Issue of Building Permit

EXECUTIVE SUMMARY OF ANALYSIS (RECOMMENDATIONS)

The Development Review Committee recommends approval of the site plan and storm water review application, subject to the following conditions:

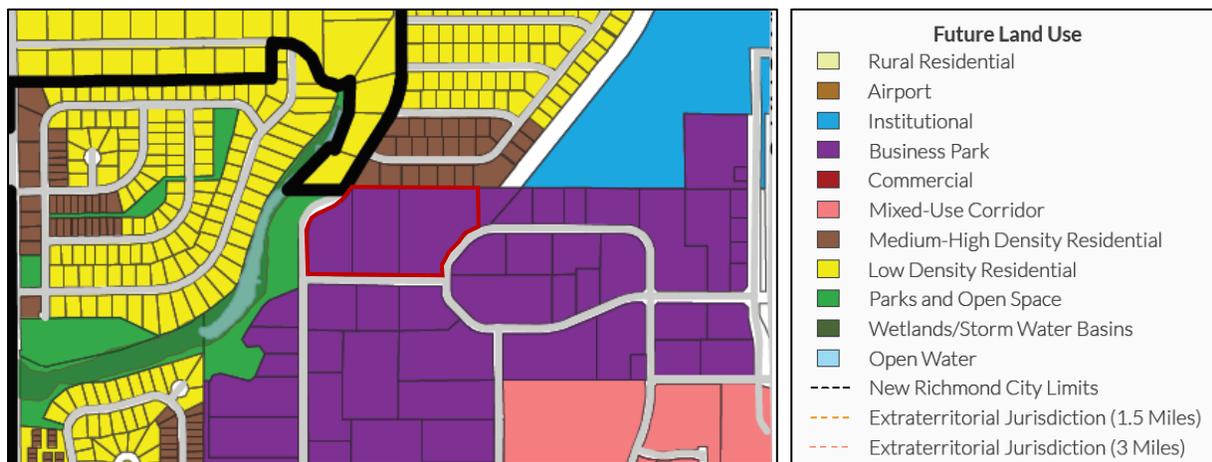
1. The south and east building elevations face the street, thus they shall be revised to have matching material and design from finished grade to roof level as the existing front elevation of the building per the protective covenants. The north wall elevation shall be revised so that no more than 50 percent of the surface of the building wall is exposed metal, per Section 121-49.G.

2. Landscaping improvements require a financial guarantee per Section 121-31 and Section 121-55. The financial guarantee shall be received by the City on or before the date on which the building permit application is submitted.
3. Any possible future signage shall be subject to the provisions in Section 121-44 and the protective covenants.
4. Lighting for the entire property shall comply with Section 121-51 of the City Code of Ordinances.
5. Any loading areas and trash/refuse collection areas shall be screened in accordance with Section 121-48 of the City Code of Ordinances.
6. All utility issues are subject to review and approval of the Public Works Director.
7. All easements shall be subject to review and approval of the Public Works Director.
8. The erosion control plan shall be revised to extend the silt fence around the north side of the proposed building addition (along the south side of the parking lot) and an aggregate tracking pad should be added to prevent tracking where construction vehicles will enter/leave the paved surface.
9. The applicant shall submit a stormwater management plan for review and approval by the Director of Public Works prior to the issuance of the building permit.
10. All grading, drainage, and erosion control issues are subject to review and approval of the Public Works Director.

DETAILED ANALYSIS

COMPREHENSIVE PLAN

The Future Land Use Plan in the City of New Richmond’s 2040 Comprehensive Plan guides the community’s land toward a desired land use pattern and identifies areas in the City for future growth. The long-range use for the property on which this proposed building addition is located is for Business and Technical Park use.



Beyond the Future Land Use Plan, additional goals and policies identified in the Comprehensive Plan that should also be considered include the following:

- Maintain and expand business parks in the City to create a diversified community economy and employment base.
- Encourage industrial/light industrial businesses to locate in designated business parks rather than in the downtown.
- Provide appropriate transitions and buffers between business parks and residential neighborhoods such as open space, landscaping, and fencing.
- Avoid the disruption of, and reduction of the quality of, nearby residential uses by commercial or industrial land uses.

The proposal with the conditions identified by City staff are consistent with the aforementioned policies. The project expands an existing industrial business in the business park that is one of the largest employers in the community, while maintaining the existing tree buffer on the north side of the property to minimize possible disruption to nearby residential uses.

ZONING

The proposed project is located in the Z7 Specific Use/Industrial District. The purpose of this district is to allow for continuation and expansion of industrial uses in specific areas of the City where they will have less conflict with other functions. Manufacturing uses in the Z7 Zoning District are permitted administratively subject to submittal of a building permit application.



WELLHEAD PROTECTION OVERLAY DISTRICT

The property is subject to land use and development restrictions because of its close proximity to a well and the corresponding high threat of contamination. City Code Section 121-60 identifies prohibited uses and separation distances. The proposed project complies with the provisions of the Wellhead Protection Overlay District.

SURROUNDING USES

The Phillips-Medisize property is located south of a residential neighborhood. Other nearby properties include ESR, Federal Foam Technologies, and the Rail Bridge Trail. Deciduous trees along the north property line provide screening between the parking lot and residential dwellings. The proposed addition is determined to be compatible with the surrounding uses.

LOT REQUIREMENTS

The total site area is 628,135 square feet. After completion of the proposed project, the building and paved areas will equal 50.3% of the site, which meets the 60% maximum lot coverage for the Z7 District.

SETBACKS

The proposed project meets all minimum setbacks as required in the Z7 District and the protective covenants applicable to the property, shown below. No changes are being made to the parking lot or the principal front of the building.

Requirement	Principal Front		Secondary Front		Side		Rear	
	Min.	Proposed	Min.	Proposed	Min.	Proposed	Min.	Proposed
Principal Building	30 ft.	N/A	25 ft.	130 ft.	15 ft.	N/A	20 ft.	187.5 ft.

BUILDING CONFIGURATION

Principal buildings can be a maximum of four stories in height. The plan’s exterior elevations indicate a building height of 22 feet, measured at the top of the pre-finished metal coping. The proposed building configuration complies with the Zoning Ordinance.

ARCHITECTURAL DESIGN

Per Section 121-49.G of the City Code of Ordinances, all sides of principal and accessory structures are to have essentially the same or coordinated, harmonious exterior finish materials and treatment. Up to 50 percent of the surface of any building wall may be exposed metal or fiberglass finish. Per the protective covenants, all exterior walls facing streets are to be faced with brick, decorative masonry, or equivalent material from finished grade to roof level.

The plan elevations consist of pre-finished metal coping, aluminum composite metal panels, and brick veneer. The metal wall panels and brick veneer match the colors of the existing building and provide a coordinated, harmonious finish. The south and east building elevations



face the street, thus they shall be revised to have matching material and design from finished grade to roof level as the existing front elevation of the building per the protective covenants. The north wall elevation shall be revised so that no more than 50 percent of the surface of the building wall is exposed metal, per Section 121-49.G.

LANDSCAPING

According to Table 15 of the Zoning Ordinance, the Z7 Zoning District requires a minimum of one new tree per 5,000 square feet of building area. Per the covenants, tree plantings shall be required on green space of lot not less than one tree per 1,000 square feet of landscaped area. The proposed project indicates the removal of 15 trees and the planting of 18 new trees, including 6 shade trees with a caliper size of 2.5 to 3.5 inches. Landscaping improvements require a financial guarantee equal to 125 percent of the cost for labor and materials for the landscaping plan and shall not be deemed complete until the City has verified survivability of all required plantings through two winter seasons, in compliance with Section 121-55.I.2. The financial guarantee shall be received by the City on or before the date on which the building permit application is submitted.

TRAFFIC IMPACT

The existing building has access from St. Croix Avenue, Wisconsin Drive, and Madison Avenue. The proposed project does not include any new access points, directly impact traffic, or raise any concerns about the ability of local streets to handle current or future traffic volumes.

PARKING

Table 14 of the Zoning Ordinance indicates that industrial uses within the Z7 Zoning District shall provide a minimum of 1 parking stall per 2 employees of the longest shift, plus 1 parking stall per 2,000 square feet for the principal building. The applicant's landscape plan states that the highest use shift has 220 employees. Upon completion of the proposed building addition, the total building area will be 147,804 square feet. Thus, 183 parking stalls are required.

$$\begin{aligned} 220 \text{ employees} / 2 &= 110 \text{ parking stalls} \\ 147,804 \text{ square feet} / 2,000 \text{ square feet} &= 73 \text{ parking stalls} \end{aligned}$$

The landscape plan shows 206 parking stalls, exceeding the minimum parking requirements in the City Code. Of the 206 parking stalls, 8 stalls are designated as handicap accessible, exceeding the minimum requirement of 7 stalls per the Americans with Disabilities Act (ADA) Standards for Accessible Design.

BICYCLE & PEDESTRIAN ACCOMMODATIONS

The City of New Richmond's Bicycle and Pedestrian Master Plan includes several recommendations in five categories, which are recognized by the League of American Bicyclists and are used by communities across the United States as a guide in developing comprehensive bicycle and pedestrian plans. One such category, "Encouragement," focuses on creating a strong culture that welcomes and celebrates bicycling and walking. The applicant has an existing bike rack near the parking lot to encourage employees to bike to work, which is consistent with the vision of the Bicycle and Pedestrian Master Plan.

SIGNAGE

No sign plan was submitted with the application. Any possible future signage shall be subject to the provisions in Section 121-44 and the protective covenants.

EXTERIOR LIGHTING

No photometric plan was submitted with the application and no additional exterior lighting is indicated on the site plan or plan elevations. Lighting for the entire property shall comply with Section 121-51 of the City Code of Ordinances.

REFUSE & RECYCLING

The landscaping plan shows the addition of an 8-foot high screen fence on the north side of the loading area, located at the northwest corner of the existing building, in compliance with Section 121-48.C. The first level floor plan indicates an interior trash staging room. No exterior refuse and recycling enclosures are shown on the site plan. Any loading areas and trash/refuse collection areas shall be screened in accordance with Section 121-48 of the City Code of Ordinances.

UTILITIES

All utility issues are subject to review and approval of the Public Works Director.

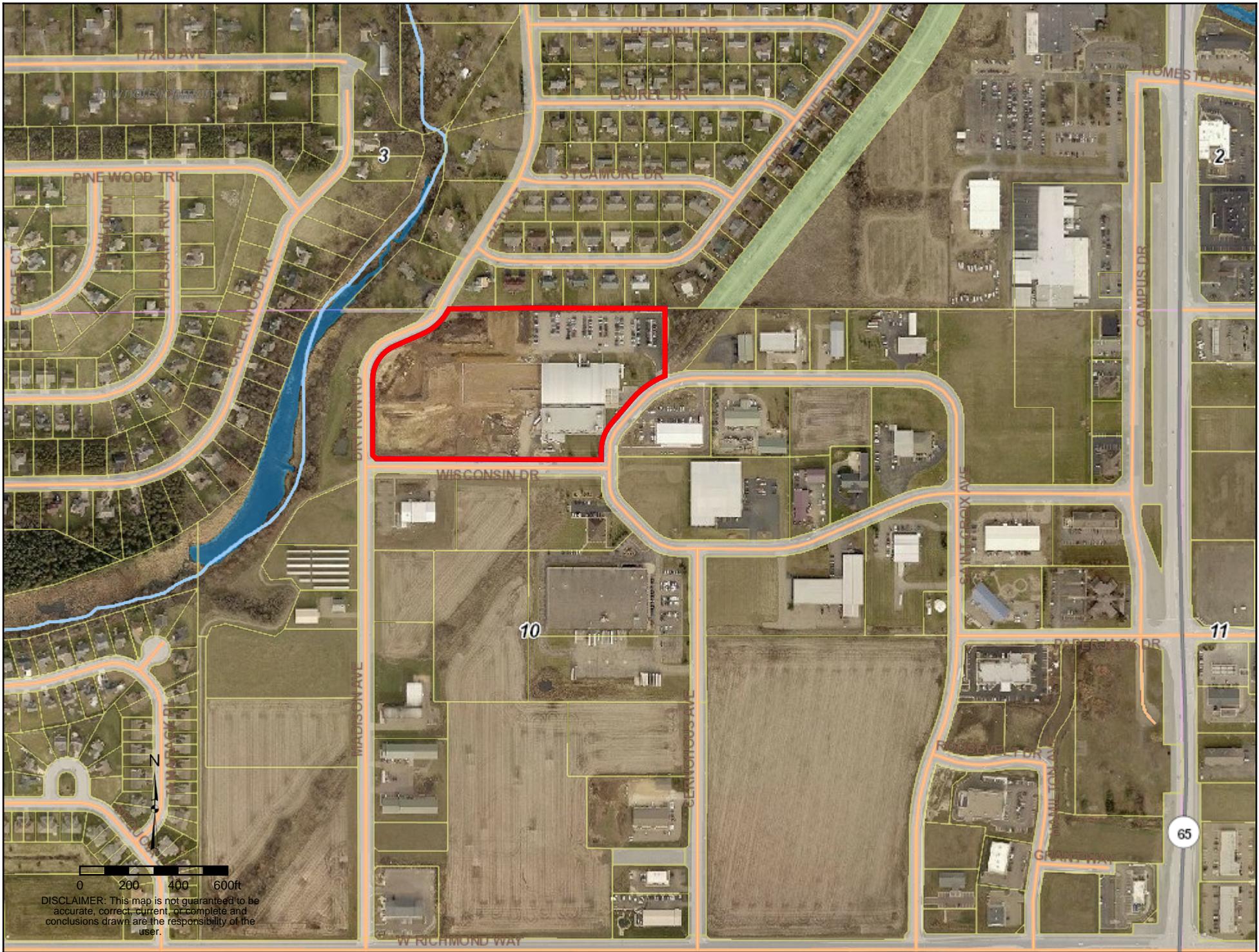
EASEMENTS

All easements shall be subject to review and approval of the Public Works Director.

GRADING & STORM WATER

A grading and erosion control plan has been submitted. The site is subject to the City’s erosion control requirements since it disturbs more than 3,000 square feet, per Section 109-285(b)(1). The erosion control plan shall be revised to extend the silt fence around the north side of the proposed building addition (along the south side of the parking lot) and an aggregate tracking pad should be added to prevent tracking where construction vehicles will enter/leave the paved surface. All grading, drainage, and erosion control issues are subject to review and approval of the Public Works Director.

The site is also subject to the City’s post-construction stormwater management requirements, as it meets the definition of redevelopment per Section 109-285(c)(2) and Section 109-286. The applicant shall submit a stormwater management plan for review and approval by the Director of Public Works prior to the issuance of the building permit.



0 200 400 600ft

DISCLAIMER: This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn are the responsibility of the user.



City of New Richmond
156 East First Street ❖ New Richmond, WI 54017
Phone: (715) 246-4268 ❖ Fax: (715) 246-7129

CITY ORDINANCE SECTION 117 & 121
www.newrichmondwi.gov

<input type="checkbox"/>	SITE PLAN/STORM WATER REVIEW FEE:	\$250.00	ESCROW:	\$1,500.00
<input type="checkbox"/>	CONCEPT PLAN FEE:	\$150.00	ESCROW:	\$1,500.00
<input checked="" type="checkbox"/>	CERTIFIED SURVEY MAP FEE:	\$200.00	ESCROW:	\$1,500.00
<input type="checkbox"/>	AMENDED CERTIFIED SURVEY FEE:	\$200.00	ESCROW:	\$1,500.00

Application fees should be made payable to City of New Richmond upon submittal of completed application. Escrow funds will be drawn to cover project-related costs. Additional funds may be required; surplus funds will be returned.

Please complete the application by typing or printing in ink. Use additional paper if necessary.

1. Property Owner Information:

Company name: Oevering Properties, LLC

Last name: Oevering First name: Oranzo

Address: 1433 Cernohous Avenue Suite A City/State/Zip: New Richmond WI 54017

Phone number: 715-760-0001 Email address: oranzo@oeveringhomes.com

2. Applicant Information: (if different from above)

Company name: _____

Last name: _____ First name: _____

Address: _____ City/State/Zip: _____

Phone number: _____ Email address: _____

3. Address(es) of Property Involved: (if different from above)

Same

4. Zoning Designation: Z7 Specific Use/Industrial District

5. Statement of Intent: Briefly describe what will be done on or with the property: _____

Building addition is being completed on the property and additional lands have been added.

PID #'s 261-1070-45-017 & 261-1070-44-970

6. Additional Required Information:

- a. Legal Description and PIN:** Provide the Parcel Identification Number(s) and the complete legal description(s) of the property involved.
- b. Consultant Fees:** Whenever third party consultants are utilized in the preparation of application materials (e.g., a traffic study) or the City's review of an application (e.g., traffic study analysis), the applicant shall be responsible for paying the entirety of those costs.
- c. Other Information:** In addition to a full size site plan and an 11" x 17" copy, topographic survey, landscape plan, grading and drainage plan, exterior building elevation drawings, and other information may also be required if deemed necessary by City Staff. Please refer to Sec. 121-31 for further information on Site Plans.

7. Signature(s): By signing below, you attest that the information above and attached is true and correct to the best of your knowledge.

Property Owner: Ownership Properties LLC Date: 11/20/18

Applicant: [Signature] Date: 11/20/18

Fee Paid: \$200- Date: 11/20/18 Receipt # 68519

Escrow Paid: \$1,500- Date: 11/20/18 Receipt # 68519

Zoning change applications must be received by the first Thursday of each month; applications received after this date cannot be heard at the Planning Commission meeting the following month.

Property Description, City of New Richmond to Oevering:

Part of the SW1/4 of the NE 1/4 of Section 10, T30N, R18W, City of New Richmond, being part of Lot 19 of that Certified Survey Map recorded in Volume 23 Page 5554 of said Maps as Document Number 880298 in the Register of Deeds office for St. Croix County Wisconsin and described as follows:

Commencing at the Northwest corner of Lot 16 of that Certified Survey Map recorded in Volume 21 Page 5248 of said Maps as Document Number 830539; thence S89°57'36"W a distance of 106.00 feet to the point of beginning; thence continuing S89°57'36"W a distance of 126.10 feet; thence S00°08'29"W a distance of 304.17 feet; thence S89°56'37"E a distance of 127.67 feet; thence N00°09'20"W a distance of 304.38 feet to the point of beginning. Containing 0.886 Acres. Subject to all easements, restrictions and covenants of record.

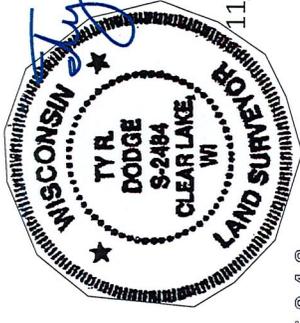
This parcel is being added to the parcel owned by the Grantee as shown in the Warranty Deed recorded as Document No. 883050 and Document No. 890142 and shall result in a single parcel.

CERTIFIED SURVEY MAP

LOCATED IN PART OF THE SW 1/4 OF THE NE1/4 OF SECTION 10, T30N, R18W,
CITY OF NEW RICHMOND, ST. CROIX COUNTY, WISCONSIN.

PREPARED FOR:
Overing Properties, LLC.
1433 CERNOHOUS AVE SUITE A.
NEW RICHMOND, WI 54017

SURVEYOR:
TY DODGE
AUTH CONSULTING & ASSOC.
2920 ENLOE ST. STE. 101
HUDSON, WI 54016



Dodge

11/12/18

LOT 12 C.S.M. VOL. 21, PG. 5248

N89°57'36"E 542.42'

310.32'

LOT 16 C.S.M. VOL. 21, PG. 5248

LOT 16
165,120 SQ. FT.
3.791 ACRES

PART OF LOT 19 C.S.M. VOL. 23, PG. 5554

DOC 890142

N00°08'29"E 304.17'

106.00'

N89°56'37"W 527.41'

293.74'

S45°05'56"W
21.23'

S00°08'29"W 290.08'

33'

61'6"

CERNOHOUS AVENUE

DEDICATED TO THE PUBLIC
VOL. 26, PG. 5939

N1/4 CORNER
SEC. 10



LEGEND

-  FOUND COUNTY SECTION CORNER MONUMENT OF RECORD
-  FOUND 3/4" REBAR
-  SET 1" OUTSIDE DIAMETER BY 18" LONG IRON PIPE, WEIGHING 1.13 LBS. PER LINEAR FOOT
-  10' UTILITY EASEMENT



THE NORTH-SOUTH 1/4 LINE OF SECTION 10 BEARS S00°07'11"W BASED UPON THE ST. CROIX COUNTY COORDINATE SYSTEM

SCALE: 1" = 80'



S1/4 CORNER
SEC. 10



S00°07'11"W 5264.04'
2193.86'
3070.18'
110.68'
--S89°56'37"E--

C.S.M. VOL. 23, PG. 5554

CERTIFIED SURVEY MAP

LOCATED IN PART OF THE SW 1/4 OF THE NE1/4 OF SECTION 10, T30N, R18W,
CITY OF NEW RICHMOND, ST. CROIX COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, Ty R. Dodge, Wisconsin Professional Land Surveyor, hereby certify that by the direction of Oevering Properties LLC., I have surveyed, divided and mapped a part of the SW1/4 of the NE 1/4 of Section 10, T30N, R18W, City of New Richmond, St. Croix County, Wisconsin; described as follows:

Commencing at the North 1/4 Corner of Section 10; thence, along the north south 1/4 line of Section 10, S 00° 07' 11" W for a distance of 2193.86 feet;
Thence S 89° 56' 37" E for a distance of 110.68 feet to the point of beginning;
Thence N 00° 08' 29" E for a distance of 304.17 feet;
Thence, along the westerly extension of the southerly boundary Lot 12 in Certified Survey Map Volume 21, Page 5248, and along said southerly boundary, N 89° 57' 36" E for a distance of 542.42 feet to the west right of way of Cernhaus Avenue and the Northeast corner of Lot 16 of Certified Survey Map Volume 21, Page 5248;
Thence, along said right of way, S 00° 08' 29" W for a distance of 290.08 feet;
Thence, along said right of way, S 45° 05' 56" W for a distance of 21.23 feet;
Thence, along the south line of said Lot 16 and the westerly extension thereof, N 89° 56' 37" W for a distance of 527.41 feet to the point of beginning.

Containing 3.791 Acres. Subject to all easements, restrictions and covenants of record.

I also certify that this Certified Survey Map is a correct representation to scale of the exterior boundaries surveyed and described; that I have fully complied with the provisions of Chapter 236.34 of the Wisconsin Statutes and the Subdivision regulations of the City of New Richmond in surveying and mapping same.

Ty Dodge
Ty R. Dodge PLS #2484

11/12/18
Date



OWNER'S CERTIFICATE OF DEDICATION

Oevering Properties, LLC, a Limited Liability Company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said limited liability company caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat. Oevering Properties, LLC, does further certify that this plat is required by S.236.10 OR S.236.12 to be submitted to the following for approval or objection: Village of Roberts, Department of Administration and St. Croix County Community Development.

IN WITNESS WHEREOF, the said Oevering Properties, LLC, has caused these presents to be signed by Oranzo J. Oevering, Member, this _____ day of _____, 20____.

Oranzo J. Oevering

STATE OF _____)
COUNTY OF _____)SS.

Personally came before me this _____ day of _____, 20____, Oranzo J. Oevering, member of the above named limited liability company, to me known to be the person who executed the foregoing instrument, and to me known to be such member of said limited liability company, and acknowledged that he executed the foregoing instrument as such member, as the deed of said limited liability company, by its authority.

Notary Public

My commission expires

CERTIFIED SURVEY MAP

LOCATED IN PART OF THE SE1/4 OF THE NW1/4 OF SECTION 11, T30N, R18W,
CITY OF NEW RICHMOND, ST. CROIX COUNTY, WISCONSIN.

CONSENT OF CORPORATE MORTGAGEE

_____, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, Mortgagee of the land described in this Certified Survey Map, does hereby consent to the surveying, dividing, mapping, and dedication of the land described on this plat, and does hereby consent to the above certificate of Overing Properties, LLC, owner.

IN WITNESS WHEREOF, the said _____ has caused these presents to be signed by _____ its _____, and its corporate seal to be hereunto affixed.

This _____ day of _____, 20_____.

Name Title

State of Wisconsin)
County of _____)SS

Personally came before me this _____ day of _____, 20_____, _____ of the above named corporation, to me known to be the person who executed the foregoing instrument, and to me known to be such _____ of said corporation and acknowledged that he executed the foregoing instrument as such officer as the deed of said corporation, by its authority.

Notary Public My Commission Expires _____

CITY TREASURER'S CERTIFICATE

State of Wisconsin)
County of St. Croix)SS

I, Beverly Langenback, being the duly elected, qualified and acting treasurer of the City of New Richmond, do hereby certify that the records in my office show no unpaid taxes or special assessments as of _____ affecting the land included on this Certified Survey Map.

Beverly Langenback, City Treasurer Date

COUNTY TREASURER'S CERTIFICATE

State of Wisconsin)
County of St. Croix)SS

I, Denise Anderson, being the duly appointed, qualified and acting treasurer of St. Croix County, do hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or special assessments as of _____ affecting the land included on this Certified Survey Map.

Denise Anderson, County Treasurer Date

CITY COUNCIL RESOLUTION

Resolved, that this Certified Survey Map, in the City of New Richmond, Oeving Properties, LLC owner, is hereby approved by the City Council.

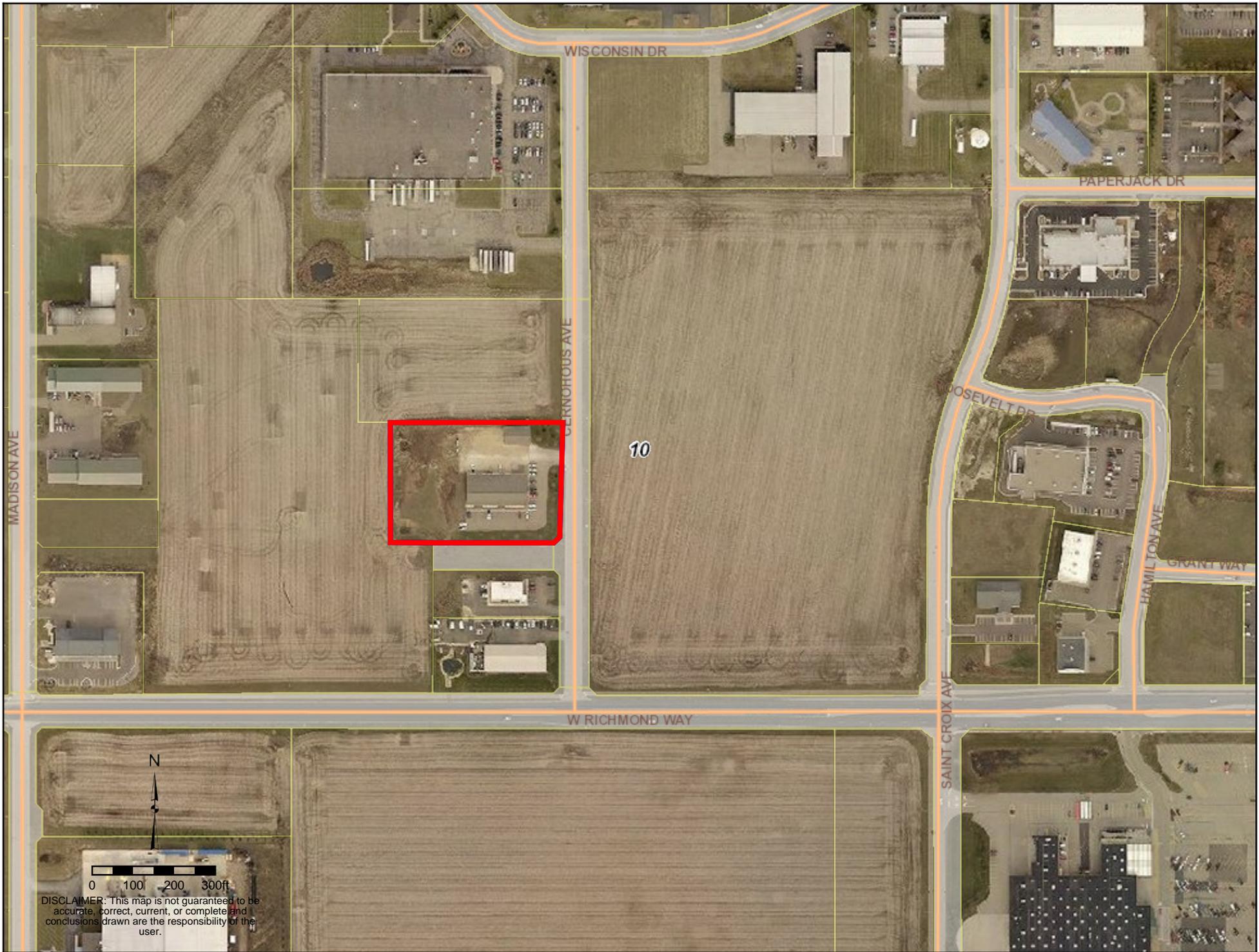
Fred Horne, Mayor Date

I hereby certify that the foregoing is a copy of a resolution adopted by the City Council of the City of New Richmond.

Tanya Batchelor, Clerk Date



11/12/18



WISCONSIN DR

PAPERJACK DR

MADISON AVE

GERNOHOUS AVE

10

ROOSEVELT DR

HAMILTON AVE

GRANT WAY

W RICHMOND WAY

SAINT CROIX AVE

N

0 100 200 300ft

DISCLAIMER: This map is not guaranteed to be accurate, correct, current, or complete and conclusions drawn are the responsibility of the user.



156 East First Street
 New Richmond, WI 54017
 Ph 715-246-4268 Fax 715-246-7129
 www.newrichmondwi.gov

MEMORANDUM

TO: Plan Commission

FROM: Noah Wiedenfeld, Director of Planning

DATE: November 28, 2018

SUBJECT: Oevering Properties LLC: Certified Survey Map

BACKGROUND

Oevering Properties LLC has submitted an application for certified survey map review. The applicant will be seeking to construct a building addition at 1433 Cernohous Avenue, and thus seeks to combine three parcels into one parcel.

Consideration of a certified survey map is governed by Section 117-20 of the City’s Code of Ordinances. If the proposed certified survey map complies with all City ordinances, rules, regulations, comprehensive plans, comprehensive plan components, and neighborhood plans, the certified survey map should be approved.

Date	Certified Survey Map
Nov. 20	Application Received
Nov. 27	Development Review Committee
Dec. 4	Plan Commission Meeting & Recommendation
Dec. 10	City Council Final Action

EXECUTIVE SUMMARY (RECOMMENDATION)

The Development Review Committee recommends the following action be taken by the Plan Commission:

Recommend approval of the certified survey map with the following conditions:

1. All utility, grading, drainage, and erosion control issues are subject to review and approval of the Public Works Director.

DETAILED ANALYSIS

COMPREHENSIVE PLAN

The Future Land Use Plan in the City of New Richmond's 2040 Comprehensive Plan guides the community's land toward a desired land use pattern and identifies areas in the City for future growth. The proposed project is located on land designated as Business Park. Areas with this land use category include manufacturing, assembly, warehousing, laboratory, distribution, tech/flex, related office uses, and truck/transportation terminals. The project complies with the Future Land Use Plan in the Comprehensive Plan.

ZONING

In November of 2018, the City Council adopted Ordinance #528 rezoning the applicant's existing building site from Z3 Multi-Use/Corridor to Z7 Special Use/Industrial. The purpose of the Z7 Special Use/Industrial Zoning District is to allow for continuation and expansion of industrial uses in specific areas of the City where they will have less conflict with other functions. The proposed uses (warehousing, medium box store, and office building) are allowed uses in the Z7 Zoning District.

SURROUNDING USES

Surrounding uses include Hair Company & Spa and Fitzgerald Lawn Care to the south, Federal Foam Technologies to the north, and undeveloped property to the east and west. The proposed CSM will not affect the compatibility of future development of the surrounding undeveloped property.

LOT OCCUPATION

The minimum lot width is 80 feet, and the maximum lot coverage is 60%. The existing lot width is not impacted by the proposed CSM.

SETBACKS

Principal building and off-street parking setbacks that apply to the subject site are shown in the table below. Some setbacks are more restrictive due to protective covenants.

SETBACK	PRINCIPAL FRONT	SECONDARY FRONT	SIDE	REAR
Principal Building	30 ft.	30 ft.	15 ft.	25 ft.
Off-Street Parking	15 ft.	10 ft.	5 ft.	5 ft.

ACCESS

The subject site has existing access to Cernohous Avenue, which will not be impacted by the proposed site expansion in the west direction.

UTILITIES

Municipal utilities are available at the property, including water, electric, and sanitary sewer. All utility issues are subject to review and approval of the Public Works Director.

GRADING

Development of the subject site will require preparation of a grading, drainage, and erosion control plan. A post construction stormwater management plan will also be required according to Section 109-285 of the City Code of Ordinances. All grading, drainage, and erosion control issues are subject to review and approval of the Public Works Director.

EASEMENTS

The proposed CSM dedicates a 10-foot wide utility easement at the perimeter of the proposed lot, per Section 117-41 of the City Code of Ordinances.